

**ENVIRONMENTAL SITE ASSESSMENT
(PHASE I)**

**HEARTHSIDE SUGARLOAF
1625 ATKINSON ROAD
LAWRENCEVILLE, GWINNETT COUNTY, GEORGIA 30043**

ONE GROUP PROJECT #A2029
JUNE 14, 2012

PREPARED FOR:

GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS
60 EXECUTIVE PARK SOUTH, NE
ATLANTA, GEORGIA 30329-2231

AND

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**ENVIRONMENTAL CONSULTANT SIGNATURE PAGE FOR
PHASE I REPORTS**

June 14, 2012

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that, to the best of my professional knowledge and belief, I meet the definition of Environmental Professional as defined in §312.10 of 40 C.F.R. 312.

I have specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. I have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 C.F.R. Part 312.



June 14, 2012

Date

Environmental Professional

We have performed a Phase I Environmental Site Assessment in conformance with the scope and limitation of 40 C.F.R. Part 312 and ASTM E1527-05 of Hearthside Sugarloaf at 1625 Atkinson Road, Lawrenceville, Gwinnett County, Georgia, 30043, the Site. Any exceptions or deletions from this practice are described in Section 2.6 of this report. We certify that the Phase I was performed by a qualified Environmental Professional meeting the requirements set forth in 40 C.F.R. §312.10(b).



June 14, 2012

Date

Principal of Consultant

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APPENDICES

1.0 EXECUTIVE SUMMARY

1.1 LOCATION AND LEGAL DESCRIPTION OF THE PROPERTY

The subject property, herein referred to as the “Site”, is a 6.721-acre, rectangular parcel located at 1625 Atkinson Road, Lawrenceville, Gwinnett County, Georgia, 30043. Currently vacant, it is owned by the HJE Simpson, LP. The applicant, Hearthside Sugarloaf, LP, intends to develop and operate the Site as a multi-family (elderly) facility.

The Site is undeveloped, vacant woodland.

Legal Description of the Site follows:

- All that tract or parcel of land lying and being in Land Lot 74 of The 7th Land District of Gwinnett County, Georgia and being more particularly described as follows:

To find the True Point of Beginning, begin at the intersection of the Southerly right-of-way of West Field Drive (50 foot right-of-way) and the Easterly right-of-way of Atkinson Road (right-of-way varies); THENCE following along the easterly right-of-way of Atkinson Road for a distance of 920.77 feet to a ½ inch rebar found, said point Being The True Point of Beginning; THENCE leaving said right-of-way North 56 degrees 36 minutes 16 seconds East for a distance of 471.96 feet to a ½ inch rebar found; THENCE North 74 degrees 03 minutes 16 seconds East for a distance of 377.96 feet to a point on the westerly right-of-way of Sugarloaf Parkway (right-of-way varies); THENCE along said right-of-way along a curve to the left having a radius of 11404.16 feet an arc length of 13.19 feet being subtended by a chord bearing of South 25 degrees 10 minutes 17 seconds East for a chord distance of 13.19 feet to a point; THENCE South 25 degrees 08 minutes 26 seconds East for a distance of 283.21 feet to a point; THENCE leaving said right-of-way South 59 degrees 30 minutes 08 seconds West for a distance of 772.76 feet to a ¾ inch rebar found on the easterly right-of-way of Atkinson Road; THENCE along said right-of-way North 36 degrees 13 minutes 49 seconds West for a distance of 368.05 feet to a ½ inch rebar found, said point being the True Point of Beginning.

Said property contains 6.721 acres.

1.2 ENVIRONMENTAL CONCERNS AND CONCLUSIONS

One Group has performed a Phase I ESA in conformance with the scope and limitations of ASTM Designation E 1527-05, Standard Practice for Environmental Site Assessments for the Site. Any exceptions to, or deletions from, this practice are described in Section 2.7 of the report. This assessment has revealed no evidence of *RECOGNIZED ENVIRONMENTAL CONDITIONS* in connection with the Site.

1.2.1 On-Site

A petroleum pipeline crosses the Site's southeast corner. However, a soil gas survey and soil and groundwater testing performed during May 2012 did not discover impact to the Site soil and groundwater from this below-grade utility. Based on soil and laboratory analytical data, the on-Site petroleum pipeline is discounted as a recognized environmental condition at this time. Local fire agencies and the Georgia Environmental Protection Division were contacted and there is no record of a reportable release of petroleum hydrocarbons to the environment at the Site. No evidence of a release has been discovered to date, and the threat of future releases are currently being mitigated with safety and release detection measures. There is no history of underground storage tanks on the Site and any future release from the pipeline would be the responsibility, both financially and legally, of the pipeline easement operators, both past and present.

1.2.2 Off-Site

No *recognized environmental conditions* were discovered associated with off-Site sources.

1.3 RECOMMENDATIONS

1.3.1 On-Site

One Group recommends no further investigation to determine the presence of *recognized environmental conditions* associated with on-Site sources.

New construction at the Site will require compliance with current USEPA requirements for radon resistant construction techniques, including, but not limited to, ASTM E1465-08 *Standard Practice for Radon Control Options for the Design and Construction of New Low-Rise Residential Buildings*. Confirmation Radon in Air Testing will be performed on all Site structures upon construction completion to verify compliance with DCA requirements.

1.3.2 Off-Site

One Group recommends no further investigation to determine the presence of *recognized environmental conditions* associated with off-Site sources.

2.0 INTRODUCTION

2.1 BACKGROUND (INCLUDING PURPOSE OF THE PHASE I)

Hearthside Sugarloaf, LP (client) retained One Consulting Group, Inc. (One Group) for the purposes of conducting a Phase I Environmental Site Assessment (ESA) at Hearthside Sugarloaf (Site) located at 1625 Atkinson Road, Lawrenceville, Gwinnett County, Georgia. The Site plan and location is presented on Figures 1 and 5 of Appendix A, respectively. Copies of available Site surveys are provided in Appendix A.

The purpose of this ESA is to allow its *user* to satisfy one of the qualifying requirements for *Landowner Liability Protections* under the Comprehensive Environmental Response, Compensation and Liability Act of 1980 (CERCLA), as currently amended and according to the American Society for Testing and Materials (ASTM) “Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process”, Designation: E 1527-05 (standard practice). This ASTM standard is intended to define good commercial and customary practice that constitutes “*all appropriate inquiry* into the previous ownership and uses of the Site” with respect to hazardous substances regulated by CERCLA, and petroleum products. One Group performed this ESA in accordance with the standard practice to identify “*recognized environmental conditions*” which exist in connection with the Site.

This ESA was also performed in accordance with additional non-scope issues as required by the Georgia Department of Community Affairs (DCA) in the most current DCA Affordable Housing Environmental Manual E. This ESA and its additional scope items were performed to ascertain whether the Site is environmentally suitable for construction of multi-family and/or seniors housing.

It is not the purpose of the ESA to determine the presence, degree, or extent of contamination, if any, but rather the potential for contamination. Performance of this ESA is intended to reduce, but not completely eliminate, uncertainty while performing *all appropriate inquiry*.

2.2 PROCEDURES (INCLUDING A DETAILED SCOPE OF SERVICES)

The scope of work for this ESA consisted of, but was not limited to, the following:

- SITE RECONNAISSANCE AND PHYSICAL INSPECTION;
- SITE BACKGROUND AND OPERATING HISTORY REVIEW;
- HISTORICAL RECORDS REVIEW INCLUDING HISTORICAL CITY DIRECTORIES, SANBORN FIRE INSURANCE MAPS, AERIAL PHOTOGRAPHS, ETC.;
- INTERVIEWS WITH INDIVIDUALS KNOWLEDGEABLE ABOUT THE SITE;
- REVIEW OF THE LOCAL GEOLOGY, SOILS, AND HYDROGEOLOGY;
- REVIEW OF THE LOCAL DRAINAGE, TOPOGRAPHY AND FLOOD ZONE;

- IDENTIFICATION OF POLY-CHLORINATED BIPHENYL (PCB) ELECTRICAL EQUIPMENT AND TRANSFORMERS;
- ENVIRONMENTAL DATABASE REVIEW UTILIZING A CONTRACTED SOURCE;
- CONTACT WITH REGULATORY AGENCIES, INCLUDING BUT NOT LIMITED TO THE APPLICABLE STATE ENVIRONMENTAL AGENCY;
- UNDERGROUND STORAGE TANK (UST) AND PETROLEUM PRODUCT SEARCH;
- HAZARDOUS SUBSTANCE, MATERIALS, AND/OR WASTE SEARCH INCLUDING IDENTIFICATION OF LARGE QUANTITY GENERATORS (LQGs), SMALL QUANTITY GENERATORS (SQGs), AND CONDITIONALLY EXEMPT SQGs (CESQGs).

Using readily ascertainable information, One Group performed to the best of our ability, the following items in completion of this ESA:

- Inspected the Site through a walking tour to identify direct evidence (USTs, hazardous waste generation, stained soils, drums, unauthorized dumping, etc.) and indirect evidence (distressed vegetation, barren areas, foul odors, etc.) of environmental issues or concerns.
- Interviewed the Site owner, as well as available tenants, site representatives, neighbors, and local officials, to establish a prior-use history of the subject, adjacent, and adjoining properties.
- Reviewed available maps, photographs, and historical records to establish a prior-use history of the subject, adjacent and adjoining properties.
- Determined the presence and ownership of electrical transformers or other electrical equipment on the Site that could contain PCBs.
- Identified aboveground, underground and/or leaking storage tanks on, adjacent to, and/or within applicable radii of the Site. These efforts included site reconnaissance and reviews of state and local records, described below.
- Identified past and/or present hazardous waste generation on, adjacent to, and/or within applicable radii of the Site. These efforts included site reconnaissance and reviews of state and local records, described below.
- Conducted a review of applicable and accessible environmental databases to identify potential environmental hazards on, or near, the Site. This review complied with the protocol of the standard practice.

Many terms contained in this report are specialized terms with special meanings and significance, as defined in the standard practice. Terms not so defined are to be construed by their common usage and meaning.

2.3 SIGNIFICANT ASSUMPTIONS

The following assumptions were made in preparation of this report:

- Groundwater flow direction – the direction of groundwater flow for the Site is based on a review of the appropriate USGS topographic map and on-Site surface water directional flow observed during the site inspection.

- Regulatory Records – it is assumed that information provided by the subcontracted, commercial service, Environmental Data Resources, Inc., (EDR) to conduct required records searches regarding regulatory status of surrounding facilities is complete and accurate.
- Regulatory Records – it is assumed that public record information obtained from the applicable environmental regulatory agency, the Georgia Environmental Protection Division (EPD), regarding regulatory status of the Site and surrounding facilities is complete and accurate;
- Interviews – it is assumed that information from interviews is true and accurate.

2.4 QUALIFICATIONS OF PERSONNEL/DOCUMENTATION OF QUALIFICATIONS AS AN “ENVIRONMENTAL PROFESSIONAL”

One Group provides environmental consulting services to the real estate, development, legal, lending, and manufacturing industries. Among the firm’s staff and associate professionals are Registered Professional Engineers and Geologists, Certified Hazardous Material Managers, Environmental Scientists, and Construction Specialists. Copies of client letters of reference are provided in Appendix M.

Mr. Robert Brawner, One Group Principal performed this ESA and his resume is provided in Appendix I.

2.5 ASSESSMENT OF SPECIALIZED KNOWLEDGE OR EXPERIENCE OF USER AND/OR “ENVIRONMENTAL PROFESSIONAL”

No user interviewed during this ESA had any specialized knowledge or experience regarding any recognized environmental conditions in connection with the Site.

2.6 LIMITATIONS AND EXCEPTIONS

This report pertains only to the current environmental condition of the premises and relates only to areas readily accessible for inspection. Our compensation for preparing this report is not contingent upon our observations or conclusions. To the best of our knowledge, the statements of fact contained herein, on which we based our opinions, conclusions, and recommendations, are true and correct. Information obtained from third parties, and included in this report, is deemed reliable; however, One Group does not represent or warrant the accuracy of this information. This report is intended for use in its entirety. Hearthside Sugarloaf, LP, The Georgia Department of Community Affairs, and the Georgia Housing and Finance Authority may rely on this report.

2.7 SPECIAL OR ADDITIONAL CONDITIONS OR CONTRACT TERMS

No special or additional conditions or contract terms were applicable to the completion of this ESA. One Group, its employees, assigns, and/or subcontractors, are not affiliated with the owner/developer or buyer or seller of this project.

3.0. SITE SETTING

3.1. GENERAL DESCRIPTION OF THE SITE AND VICINITY

The Site is an approximately 6.721-acre, rectangular parcel located in unincorporated Gwinnett County. A survey is provided in Appendix A that depicts the Site as a large undeveloped, single parcel. It is identified as tax parcel R7074 006 by the Gwinnett County Tax Assessor's office. A copy of available tax information is provided in Appendix D.

The topography can best be described as moderately sloping to the east across the Site.

The Site is at 1625 Atkinson Road, Lawrenceville, Gwinnett County, Georgia. It is on the east side of Atkinson Road between it and Sugarloaf Parkway. The intersection of Georgia Highway 316 and Interstate 85 is approximately 1.5 miles west of the Site.

3.1.1. Current Site Use and Description

The Site is currently vacant, undeveloped woodland.

3.1.2. Current Uses of Adjoining Properties

The Site is surrounded on all sides by residential development. These areas are discussed in detail in Section 5.6 of this ESA.

3.1.3. Description of Structures, Roads, and Other Improvements (including exterior and interior observations)

The Site is accessed from either Atkinson Road or Sugarloaf Parkway. The Site is currently undeveloped woodland.

3.2. HYDROGEOLOGY

According to the 1992 Georgia Groundwater Pollution Susceptibility Map, the Site lies in an area of low susceptibility for the migration of pollutants to drinking water supplies. This area is not considered a most significant groundwater recharge area for Georgia according to the Georgia Geologic Survey, Hydrologic Atlas 20.

3.2.1. Geologic Setting

The Site soils are loams: applying sandy; Gwinnett; Hard Labor sandy; Madison sandy clay; Wedowee sandy, as well as Chewacla soils. Underlying bedrock on the Site is classified as metagraywacke mica schist (pm2) according to the Geology Map of Georgia (1976). Depth to bedrock on the Site is not known; however, bedrock in this section of the Piedmont is usually less than fifty feet below ground surface (bgs).

3.2.2. Surface Drainage

According to the U.S. Geological Survey Topographic map, 7.5-Minute, Luxomni, Georgia Quadrangle, dated 1997; the elevation of the Site is approximately 930 to 964

feet above mean sea level, based on the National Geodetic Vertical Datum of 1929. The Topographic Map is presented as Figure 1 of Appendix A.

The Site has a mild downward gradient to the east. Drainage for the Site is provided by infiltration and overland flow. The storm water throughout the Site is directed off-Site to the east, towards a nearby tributary.

3.2.3. Groundwater

Surficial, unconfined groundwater is usually less than fifty feet bgs in this area of the Piedmont. Groundwater flow beneath the Site is predominantly controlled by fracture-flow in joints and openings of the underlying bedrock and/or pore spaces in the overlying residual soils. Groundwater flow direction generally follows surface topography down gradient. Unconfined, surficial groundwater likely flows east from the Site towards a nearby, unnamed tributary.

3.3. WETLANDS

No wetlands were observed on the Site. The eight-step wetland decision making process was concluded in the first step.

3.4. FLOODPLAIN/FLOODWAY

Floodplains were not observed on the Site. The eight-step floodplain decision making process was concluded in the first step. Flood Zone information for the Site was reviewed online at the Federal Emergency Management Agency (FEMA) website: <http://store.msc.fema.gov/>. The FEMA Flood Insurance Rate Map for Gwinnett County, Georgia depicts the Site in un-shaded Zone X, areas outside both the 100 and 500 year floods. The FEMA maps do not reflect potential local drainage problems or the ability of the local storm water management system to convey the surface water runoff created by storms or other occurrences.

During the inspection, there were no areas of significant ponding or erosion. Site drainage appears adequate for in its current developed state.

3.5. STATE WATERS

No state waters were observed on the Site.

3.6. ENDANGERED SPECIES

Both the US Fish and Wildlife list of protected species and the Georgia Natural Heritage Inventory Program occurrence lists were reviewed prior to the Site inspection. No on-Site habitats were encountered during this assessment, and due to the agricultural and developed nature of the Site and surrounding area it is unlikely that endangered species would be encountered at the Site. Both government agencies agreed with the above determination.

4.0 REGULATORY INFORMATION

4.1 DATA REVIEW

A review of applicable and accessible federal, state, and local databases was performed to identify if the subject, adjacent, adjoining, and/or nearby properties within a 1-mile radius have had environmental concerns, hazardous substance releases, petroleum product releases, environmental compliance violations, etc.

4.1.1 Standard Environmental Record Sources

4.1.1.1 Sites listed in Section 8.2.1 of ASTM E 1527-05 and in Exhibit B1

SOURCE	SEARCH DISTANCE	# OF SITES	SITE LISTED?
National Priorities List (NPL) – The USEPA’s database of uncontrolled or abandoned hazardous waste sites identified for priority remedial actions under the Superfund program.	1.0 Mile	0	No
CERCLIS – The list of sites compiled by USEPA that USEPA has investigated or is currently investigating for potential hazardous substance contamination for possible inclusion on the NPL.	0.5 Mile	0	No
NFRAP – Former CERCLIS sites where no further remedial action is planned under CERCLA.	1 Mile	0	No
CORRACTS – List of hazardous waste treatment, storage, or disposal facilities and other RCRIS facilities that have been notified by the USEPA to undertake corrective action under RCRA.	1.0 Mile	0	No
DOD – List of federally owned or administered lands that have any area equal to or greater than 640 acres, administered by the Department of Defense.	1 Mile	0	No
RCRA TSD – USEPA list of facilities on which treatment, storage, and/or disposal of hazardous wastes takes place, as defined and regulated by RCRA.	0.5 Mile	0	No
RCRA Generators – USEPA list of those persons or entities that generate hazardous wastes as defined and regulated by RCRA. RCRA large generators (LQGs) are facilities that generate at least 1,000 kg/month of non-acutely hazardous waste or 1 kg/month of acutely hazardous waste. RCRA Small and Very Small generators (SQGs) are facilities that generate less than 1,000 kg/month of non-acutely hazardous waste.	0.25 Mile	0	No

US ENG / US INST CONTROLS – Sites with engineering and institutional controls in place to prevent exposure to onsite contaminants, or to eliminate pathways for regulated substance so enter environmental media or affect human health.	1.0 Mile	0	No
FINDS – This database contains both facility information and identifies other sources that contain more detail.	0.25 Mile	0	No
ERNS – USEPA’s emergency response notification system list of reported CERCLA hazardous substance releases or spills in quantities greater than the reportable quantity, as maintained at the National Response Center.	Site	0	No
TRIS – This database identifies facilities that release toxic chemicals to air, water, and land in reportable quantities under SARA Title III Section 313.	Site	0	NO
SHWS - This database is a comprehensive list of sites that have had a release of hazardous substances and are listed as a State-equivalent CERCLIS site by the Georgia Department of Natural Resources, Environmental Protection Division (EPD).	1.0 Mile	1	No
SWF/LF - Solid Waste/Landfill Facilities database is a list of all permitted active, inactive, in-closure, and industrial solid waste facilities operating in the state provided by the EPD.	0.5 Mile	1	NO
HIST-LF - This database is an inventory of abandoned and/or closed solid waste disposal facilities and landfills in Georgia.	0.5 Mile	0	No
Non-HSI - This database is a comprehensive list of sites that have reportable concentrations of hazardous substances in their soil and/or groundwater. These conditions have been reviewed and given a conditional no further action status by EPD.	0.25 Mile	0	No
UST - The Georgia UST list is a comprehensive list of all registered active and inactive storage tanks in the state provided by the EPD.	0.25 Mile	1	No
LUST - The Georgia leaking UST list is a comprehensive list of all regulated and non-regulated confirmed/suspected releases in the state provided by the EPD.	0.5 Mile	2	No
BROWNFIELDS – This database is an inventory of sites where response actions under the Georgia Hazardous Site Reuse and Redevelopment Act are planned, ongoing, or completed.	0.5 Mile	0	No

The Site was not listed on any of the environmental databases reviewed during this assessment. Hazards associated with petroleum hydrocarbons and hazardous materials were not discovered in association with the Site during the environmental database review.

The listed facilities are not *recognized environmental conditions* based on their distance (>100 feet) from the Site, regulatory status, and/or topographically down-gradient location. Field reconnaissance verified this radius and inclusion of the remaining listed facilities would be unduly burdensome and would not change the determinations made during this inquiry.

4.1.1.2 Orphan/Unmappable Sites

Listed orphan facilities (unmappable due to insufficient data) were cross-referenced with area street names and determined to be outside the ASTM-designated radii of the Site during field reconnaissance. Therefore, orphan and unmappable facilities are not a *recognized environmental condition*. Inclusion of these listed orphan/unmappable listed sites would be unduly burdensome and would not change the determinations made during this inquiry.

4.1.2 Additional Environmental Record Sources

4.1.2.1 Local Brownfield Lists

A local Brownfield Site list was reviewed at EPD Brownfield Program. No Brownfield listings were identified within a one-mile radius of the Site.

4.1.2.2 Local Lists of Landfill/Solid Waste Disposal Sites

No local lists of landfill/solid waste disposal sites were identified during this ESA.

4.1.2.3 Local Lists of Hazardous Waste/Contaminated Sites

No local lists of Hazardous Waste/Contaminated sites were identified during this ESA.

4.1.2.4 Local Lists of Registered Storage Tanks

No local lists of registered storage tanks were identified during this ESA.

4.1.2.5 Local Land Records (for activity and use limitations)

According to the Gwinnett County Planning and Development Department, the Site is currently zoned for multi-family residential use. No record of environmental hazards or land use restrictions was discovered during this assessment.

4.1.2.6 Records of Emergency Release Reports

No records of emergency release reports for the Site were identified during this ESA.

4.1.2.7 Records of Contaminated Public Wells

No record of contaminated public wells was discovered during this ESA.

4.1.2.8 Planning Department Records

According to information provided by the Gwinnett County Planning and Development Department, there are currently no environmental liens or land use restrictions on the Site. No documentation of environmental hazards associated with the Site was discovered during this inquiry.

4.1.2.9 Local/Regional Pollution Control Agency Records

Not applicable.

4.1.2.10 Local/Regional Water Quality Agency Records

The Gwinnett County Water Department was contacted online and a copy of the 2012 Water Quality Report was reviewed. The water supply available to the Site is compliant both USEPA and EPD requirements.

4.1.2.11 Local Electric Utility Companies (for records related to PCBs)

Electrical equipment was not observed on the Site. This section is not applicable.

4.1.2.12 Other

Not applicable.

4.2 AGENCY CONTACTS/RECORDS

4.2.1 Local Fire Department Official

Misti Holbrook, Administrator for the Gwinnett County Fire and Emergency Services, was contacted for recorded information regarding UST installation/removal, chemical hazards, leaks, or spills on or near the Site. According to Mrs. Holbrook, there have been no reported environmental hazards on or near the Site.

4.2.2 State, Local, or Regional Health or Environmental Agency

The Gwinnett County Board of Health was contacted for information concerning current or past environmental concerns associated with the Site. There are no records indicating any releases or environmental concerns associated with the Site.

4.2.3 Local Building Permit Agency Official

According to information provided by the Gwinnett County Planning and Development Department, there are currently no environmental liens or land use restrictions on the Site. No documentation of environmental hazards associated with the Site was discovered during this inquiry.

4.2.4 Local Groundwater Use Permit Agency Official

The Gwinnett County Board of Health was contacted for information concerning groundwater withdrawal wells on the Site. No records concerning the Site were available for review. Further, a review of available USGS well data did not reveal any groundwater withdrawal wells on the Site.

4.3 INTERVIEWS

Interviews with a representative of the ESA user, Site owner, Site key site manager, and individuals knowledgeable about the Site were conducted to identify: the potential for recognized environmental conditions to exist as a result of identified Site usage; the presence, spills or releases of hazardous substances and petroleum products on and in the vicinity of the Site; and other known environmental concerns on and in the vicinity of the Site.

4.3.1 Current Key Site Manager, Occupants, or Owners of the Property

A DCA Owner Environmental Questionnaire was completed by Mr. Harold Simpson, representative of the current Site owner, the HJE Simpson, LP. He filled out an additional, more specific property questionnaire for the Site provided by One Group. Mr. Simpson was not aware of any issue of environmental concern associated with the Site. Mr. Simpson was not aware of any environmental liens, land use restrictions associated with the Site, or any impairment to the fair market value of the Site due to contamination or an environmental concern.

4.3.2 Current Owners or Occupants of Neighboring Properties

Neighboring property owners were not available for interview during this ESA

4.3.3 past Owners, Occupants, or Operators of the Property

Past owners were not available for review during this ESA.

4.3.4 User(s)

Mr. Jervon Harris, agent for Hearthside Sugarloaf, LP, the user of this ESA, filled out a general property questionnaire to facilitate the completion of this sub-section. This questionnaire is attached in Appendix H.

4.3.4.1 Title Records

Hearthside Sugarloaf, LP contracted Hunter Maclean of Savannah, Georgia to perform a title search and commitment for the Site. These documents are discussed in detail in Section 5.5.

4.3.4.2 Environmental Liens

Hearthside Sugarloaf, LP is not aware of any environmental liens or land use restrictions associated with the Site.

4.3.4.3 Specialized Knowledge of the User

Hearthside Sugarloaf, LP has no specialized knowledge regarding the Site.

4.3.4.4 Commonly Known/Reasonably Ascertainable Information

Hearthside Sugarloaf, LP, the user of this ESA, does not have any knowledge or experience related to the Site or nearby properties.

4.3.4.5 Reason for Performing the Phase I

This assessment was performed as a requirement to obtain financing for acquisition and construction of improvements required for the development of the Site. This assessment was also performed for Hearthside Sugarloaf, LP in order to receive a new allocation of 9% tax credits from the Office of Affordable Housing 2012 Current Funding Round.

4.3.4.6 Relationship of Purchase Price to Fair Market Value (if Property being purchased)

4.3.4.6.1 Purchase Price

No evidence of a discount to the fair market value of the Site due to environmental concerns was discovered or reported by the user during this inquiry.

4.3.4.6.2 Differential between Purchase Price and Market Value

Not applicable.

4.3.4.6.3 Reasons for Any Differential

Not applicable.

5.0 SITE INFORMATION AND USE

5.1 SITE RECONNAISSANCE METHODOLOGY AND LIMITING CONDITIONS

The objective of the site reconnaissance is to obtain information indicating the likelihood of identified *recognized environmental conditions* in connection with the Site. The site reconnaissance was conducted in accord with the principles, requirements, and limitations of the standard practice. The Site reconnaissance was conducted to identify: the potential for recognized environmental conditions to exist as a result of identified Site usage; the presence, spills, or releases of hazardous substances and petroleum products on and in the vicinity of the Site.

Robert Brawner of One Group visited the Site on May 2, 2012, and was unaccompanied during the inspections. The weather during the Site visits was sunny and warm (mid 70 to 80 degrees Fahrenheit), and did not impede the Site observations.

5.2 GENERAL SITE SETTING

The Site is in good condition and environmentally well-maintained. Photographic documentation of the Site is provided in Appendix B.

5.3 ASSESSMENT OF COMMONLY KNOWN/REASONABLY ASCERTAINABLE INFORMATION

There is no commonly known or reasonably ascertainable information regarding potential *recognized environmental conditions* at the Site.

5.4 CURRENT SITE USE

The Site is vacant, undeveloped woodland and this use is not considered environmentally significant as it does not represent a contaminant threat to the Site soil and/or groundwater. Therefore, the current Site use is not a *recognized environmental condition*.

5.4.1 Storage Tanks

No evidence of storage tanks was observed on the Site during the inspection.

5.4.2 Hazardous and Petroleum Products Containers/Drums

A petroleum pipeline crosses the Site's southeast corner. However, a soil gas survey and soil and groundwater testing (see attached Phase II ESA) performed during May 2012 did not discover impact to the Site soil and groundwater from this below-grade utility. Based on soil and laboratory analytical data, the on-Site petroleum pipeline is discounted as a recognized environmental condition at this time. Local fire agencies and EPD were contacted and there is no record of a reportable release of petroleum hydrocarbons to the environment at the Site. No evidence of a release has been discovered to date, and the threat of future releases are currently being mitigated with safety and release detection measures. There is no history of underground storage tanks on the Site and any future

release from the pipeline would be the responsibility, both financially and legally, of the pipeline easement operators, both past and present.

No further evidence of petroleum use, transportation, generation and/or storage was observed during our inspection of the Site.

No evidence of hazardous substance use, transportation, generation and/or storage was observed during our inspection of the Site.

5.4.3 Heating and Cooling

No structures are present on the Site; this section is not applicable.

5.4.3 Heating and Cooling

No structures are present on the Site; this section is not applicable.

5.4.4 Solid Waste

No structures are present on the Site, as it is currently vacant.

No signs of illegal or open dumping of solid waste were visible during Site inspection.

5.4.5 Sewage Disposal/Septic Tanks

Evidence of septic tanks was not observed on-Site during the inspection.

5.4.6 Hydraulic Equipment

Hydraulic equipment was not observed onsite during the inspection.

5.4.7 Contracted Maintenance Services

No structures are present on the Site; this section is not applicable.

5.4.8 Electrical Equipment/PCBs

PCBs are the common name for a class of carcinogenic chemicals used as antioxidants in cooling oils in older electrical transformers. No electrical equipment was observed on the Site. This section is not applicable.

5.4.9 Water Supply and Wells

No water supply wells were observed during the Site inspection.

The Site receives its water supply from Gwinnett County Water System.

5.4.10 Drains and Sumps

No drains or sumps were observed during the Site inspection.

5.4.11 Pits, Ponds, Lagoons, and Surface Waters

No surface waters were observed on-Site during the inspection. No pits, ponds, or lagoons were observed onsite during the inspection.

5.4.12 Stressed Vegetation

Stressed or stained vegetation was not observed during the Site inspection.

5.4.13 Stained Soil or Pavement

Stained soil and pavement was not observed during the Site inspection.

5.4.14 Odors

Odors were not observed during the Site inspection.

5.4.15 Utilities/Roadway Easements

The Site receives utility services from the following sources:

Electricity:	–	Not applicable
Natural Gas:	–	Not applicable
Water/Sewer:	–	Gwinnet County
Solid Waste:	–	Not applicable

Evidence of a septic field was not identified on-Site during the inspection.

5.4.16 Chemical Use

Cleaning supplies, chemicals, pesticides, herbicides, fuels, or other hazardous or waste materials were not observed on the Site. The Site is vacant and does not involve the use of hazardous substances. No evidence of hazardous substance use, transportation, generation and/or storage was observed during our inspection of the Site.

5.4.17 Water Leaks/Mold/Fungi/Microbial Growth

No structures are present on the Site; this section is not applicable.

5.4.18 Asbestos

No structures are present on the Site; this section is not applicable.

5.4.19 Lead-Based Paint

No structures are present on the Site, and there is no evidence of historical structures. This section is not applicable.

5.4.20 Lead in Drinking Water

The Site receives its water supply from the Gwinnett County Water System. Documentation of its compliance with USEPA and EPD requirements is provided in Appendix O.

No structures are present on the Site; this section is not applicable.

5.4.21 Radon

The Site is located in Gwinnett County, Georgia which was been assigned a Radon Zone 2 (orange) moderate potential designation as per the Georgia Radon Zones Map

published by the USEPA. Zone 1 counties have a predicted average indoor radon screening levels of greater than 4 pico curies per Liter.

New construction at the Site will require compliance with current USEPA requirements for radon resistant construction techniques, including, but not limited to, ASTM E1465-08 *Standard Practice for Radon Control Options for the Design and Construction of New Low-Rise Residential Buildings*. Confirmation Radon In Air Testing will be performed on all Site structures upon construction completion to verify compliance with DCA requirements.

5.4.22 Noise

Noise sources were evaluated as per the most current DCA Environmental Manual E and included rail, road vehicle noise, and air traffic sources. It was determined if the Site (or any part thereof as measured from the property line) was within radius of the following facility types. Available information follows each facility type.

- (i) five (5) miles of a civil airport
 - Not applicable.
- (ii) fifteen (15) miles of a military airfield
 - Not applicable.
- (iii) 1000 feet of a major highway or busy road with greater than 10,000 average daily traffic count
 - The Site has exposure to both Atkinson Road and Sugarloaf Parkway.
- (iv) 3000 feet of a railroad or rail line
 - Not applicable.

Available aerial photographs, online search engines, and online mapping software were used to determine distances to the above-referenced facilities. The Site fell within applicable radii of facilities identified as noise sources. However, the identified roadways will not impact the Site's proposed structures with noise above 65 decibels. The Site's Noise Assessment is provided in Appendix F.

5.4.23 Vapor Encroachment Screening

A petroleum pipeline crosses the Site's southeast corner. The potential impact pathway is soil and groundwater migration.

One Group personnel mobilized to the Target Property on May 25, 2012, and obtained measurements, soil, and groundwater samples from two, on-Site, temporary soil borings. This investigation was performed in accordance with the published USEPA Region IV

guidance documents “EISOPQAM” dated November 2007, and “SESD Field Branches Quality System and Technical Procedures”. Organic vapor readings exceeding background concentrations (greater than five parts per million) were not observed in any of the monitoring wells. Soil and groundwater samples were laboratory analyzed for volatile organic compounds USEPA Method 8260. USEPA Method 8260 specifically targets regulated constituents of petroleum hydrocarbons. Volatile organic compounds were not detected above laboratory detection limits in any soil and/or groundwater sample analyzed. Subsurface data obtained from the Site discounts the on-Site petroleum pipeline as a vapor encroachment condition, at this time.

No suspect or known contaminated sites were identified surrounding the Target Property within the approximate minimum search distances, as per the Standard Practice Section 8.3.2. A Vapor encroachment condition can be ruled out because a vapor encroachment condition does not or is not likely to exist. Vapor intrusion is unlikely to be an issue of concern in connection with existing or planned structures on the Target Property.

5.4.24 Other Site Reconnaissance Issues

No structures are present on the Site; this section is not applicable. No further Site reconnaissance issues were observed.

5.5 PAST SITE USE

5.5.1 Recorded Land Title Records

A chain of title search for the Site was prepared by Hunter Maclean Company of Savannah, Georgia. The chain-of-title goes back to 1919, and includes several deed exchanges. No information obtained during the title search indicated the presence of hazardous substances stored or generated at the Site. The chain of title documents the Site’s history as vacant land.

5.5.2 Environmental Liens

No record of environmental liens place on the Site deed and/or title was discovered during this assessment.

5.5.3 Activity and Use Limitations (a.k.a. Engineering and/or Institutional Controls)

No record of activity and use limitations filed on the Site deed or chain of title was discovered during a review of the available title information. The EPD Brownfield Program was contacted verified that no engineering and/or institutional controls have been proposed or implemented at the Site.

5.5.4 Aerial Photographs and Topographic Maps

Based on the review of aerial photographs alone, no *recognized environmental conditions* were discovered associated with the Site and/or the surrounding area.

5.5.5 Sanborn Fire Insurance Maps

EDR performed a search of Sanborn Fire Insurance Maps for the Site. According to EDR, there is no Sanborn coverage for the Site and surrounding area. In most instances, the lack of map preparation indicates the Site was not incorporated into a city, was in an area for which maps were never prepared, or was undeveloped land prior to construction of the current improvements.

5.5.6 City Directories

Historical directories for the Site were not readily available for the Site and surrounding area. However, this lack of information coupled with a review of aerial photography serves to confirm the lack of development on the Site. Therefore, a lack of historical directories is not considered a data gap in this instance.

5.5.7 Previous Environmental Studies

Not applicable.

5.5.8 Other

Not applicable.

5.6 CURRENT SURROUNDING LAND USE

Based on the reconnaissance, the current uses of the area surrounding the Site are not a *recognized environmental condition*.

5.6.1 North

Single-family, residential development.

5.6.2 East

Sugarloaf Parkway then single-family, residential development.

5.6.3 South

Single-family, residential development.

5.6.4 West

Atkinson Road and then single-family, residential development.

5.7 PAST SURROUNDING LAND USE

Based on the historical research, the past uses of the area surrounding the Site are not a *recognized environmental condition*.

5.7.1 North

Undeveloped, woodlands and agricultural land.

5.7.2 East

Undeveloped, woodlands and agricultural land.

5.7.3 South

Undeveloped, woodlands and agricultural land.

5.7.4 West

Undeveloped, woodlands and agricultural land.

5.8 HISTORIC PRESERVATION

There are no structures on the Site more than fifty years old; it is currently vacant. The Site is not listed on or eligible for listing on the National Register of Historic Places. The Site's area of potential effect does not include an historic district or property, and it is not within or directly adjacent to an historic district or property.

The proposed project will not have an effect upon properties included in or eligible for inclusion in the National Register of Historic Places (hereinafter "National Register") pursuant to Section 800.13 of the historic preservation regulations, 36 CFR Part 800. 36 CFR Part 800 also implements Section 106 of the National Historic Preservation Act, 16 U.S.C. 470f.

6.0 DATA GAPS

Data gaps represent a lack of, or inability to obtain, information required by this practice, despite *good faith* efforts by the *environmental professional* to gather such information. *Data gaps* may result from incompleteness in any of the activities required by ASTM Designation E 1527-05, Standard Practice for Environmental Site Assessments.

6.1 IDENTIFICATION OF DATA GAPS

Data gaps were not encountered during this assessment.

6.2 SOURCES OF INFORMATION CONSULTED TO ADDRESS DATA GAPS

Not applicable.

6.3 SIGNIFICANCE OF DATA GAPS

A *data gap* is only significant if other information and/or professional experience raises reasonable concerns involving the *data gap*. No significant *data gaps* were encountered during this assessment.

7.0 ENVIRONMENTAL CONCERNS

7.1 ON-SITE

A petroleum pipeline crosses the Site's southeast corner. However, a soil gas survey and soil and groundwater testing performed during May 2012 did not discover impact to the Site soil and groundwater from this below-grade utility. Based on soil and laboratory analytical data, the on-Site petroleum pipeline is discounted as a recognized environmental condition at this time. Local fire agencies and EPD were contacted and there is no record of a reportable release of petroleum hydrocarbons to the environment at the Site. No evidence of a release has been discovered to date, and the threat of future releases are currently being mitigated with safety and release detection measures. There is no history of underground storage tanks on the Site and any future release from the pipeline would be the responsibility, both financially and legally, of the pipeline easement operators, both past and present.

No further *recognized environmental conditions* were discovered associated with on-Site sources.

7.2 OFF-SITE

No *recognized environmental conditions* were discovered associated with off-Site sources.

8.0 CONCLUSIONS & RECOMMENDATIONS

8.1 ON-SITE

One Group recommends no further investigation to determine the presence of *recognized environmental conditions* associated with on-Site sources.

New construction at the Site will require compliance with current USEPA requirements for radon resistant construction techniques, including, but not limited to, ASTM E1465-08 *Standard Practice for Radon Control Options for the Design and Construction of New Low-Rise Residential Buildings*. Confirmation Radon in Air Testing will be performed on all Site structures upon construction completion to verify compliance with DCA requirements.

8.2 OFF-SITE

One Group recommends no further investigation to determine the presence of *recognized environmental conditions* associated with off-Site sources.

9.0 DATA REFERENCES

Standard Practice

American Society for Testing and Materials
“Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process”, Designation: E 1527-05 dated 2007

Georgia Department of Community Affairs
“Environmental Manual” dated 2012

Georgia Department of Community Affairs
“Quality Assurance Program” dated 2012

Site overview

Land Developers Surveyors, Inc.
Master Site survey dated April 20, 2012

Gwinnett County Tax Assessors Office online (www.Gwinnettassessor.com)
Tax parcel information

Google Earth (www.google.earth.com)
General property location map and current aerial

Municipal Government Information

Gwinnett County Tax Assessors Office
Telephonic interview/facsimile/electronic mail on May 3, 2012
FOIA request: tax parcel information; zoning; land use restrictions; environmental liens

Gwinnett County Planning, Zoning, Code, Building, and Development Department
Telephonic interview/facsimile/electronic mail on May 3, 2012
FOIA request: outstanding code violations; zoning; land use restrictions; environmental hazards

Gwinnett County Fire Department
Telephonic interview/facsimile/electronic mail on May 3, 2012
FOIA request: petroleum hydrocarbon and /or hazardous materials; spills or releases; onsite and nearby fire events; and environmental hazards

Gwinnett County Environmental and/or Health Department
Telephonic interview/facsimile/electronic mail on May 3, 2012
FOIA request: septic system, water wells, and environmental hazards

Physical Setting Review

Environmental Data Resources, Inc
EDR Geospatial Report dated April 6, 2012

Federal Register Volume 67, No. 10 dated Tuesday January 15, 2002
Surface Water Definitions

Federal Emergency Management Agency (www.fema.gov)
Flood Insurance Rate Map for Gwinnett County, Georgia
Community Panel Number 13135C0071F, dated September 29, 2006

Georgia Geologic Survey
Geologic Map of Georgia, 1976 reprinted 1997

Georgia Natural Heritage Inventory Program (<http://www.gadnr.org/>)
Endangered Species List and Habitat Search

National Register of Historic Places (www.nps.gov)
Historic Preservation Documentation

Trent, Victoria B., Groundwater Pollution Susceptibility Map of Georgia, Hydrogeologic
Atlas No. 20, 1992

United States Environmental Protection Agency, (www.epa.gov)
Current Georgia Radon Zone Map

United States Fish and Wildlife Service (www.fws.gov)
Endangered Species List
National Wetlands Inventory

United States Geologic Survey
Topographic map, 7.5-Minute, Luxomni, Georgia Quadrangle, dated 1997

User Information and Interviews

Jervon Harris (Site agent), Hearthside Sugarloaf, LP
Telephonic interview/facsimile/electronic mail on April 8, 2012
User Questionnaire completed on April 10, 2012

Harold Simpson (Site owner), HJE Simpson, LP
General Property Questionnaire completed on May 14, 2012
Owner Questionnaire and Disclosure completed on May 14, 2012

Historical research

Gwinnett County Library
Historical city directory search performed on May 2, 2012

Environmental Data Resources, Inc. (www.edrnet.com)
Aerial photograph decade package dated April 6, 2012

Environmental Data Resources, Inc. (www.edrnet.com)
Sanborn fire insurance map package dated April 6, 2012

Environmental Database Review

Environmental Data Resources, Inc
EDR Radius Map™ Report dated April 6, 2012

Georgia Environmental Protection Division, Underground Storage Tank Management Program
Office visit on May 15, 2012
File review: owner registration; compliance files; corrective action files

Georgia Environmental Protection Division, Hazardous Waste Branch
Office visit on May 15, 2012
File review: owner registration; compliance files; corrective action files

10.0 VALUATION REDUCTION

(Unless the specific information is previously provided by User in the User Interview)

10.1 PURCHASE PRICE

Not applicable. This information provided by user in the user interview.

10.2 INTERVIEW OF BROKER REGARDING MARKET VALUE

Not applicable. This information provided by user in the user interview.

10.3 DIFFERENTIAL BETWEEN PURCHASE PRICE AND MARKET VALUE

Not applicable. This information provided by user in the user interview.

10.4 ENVIRONMENTAL REASONS FOR ANY DIFFERENTIAL

Not applicable. This information provided by user in the user interview.

APPENDIX A
FIGURES AND MAPS

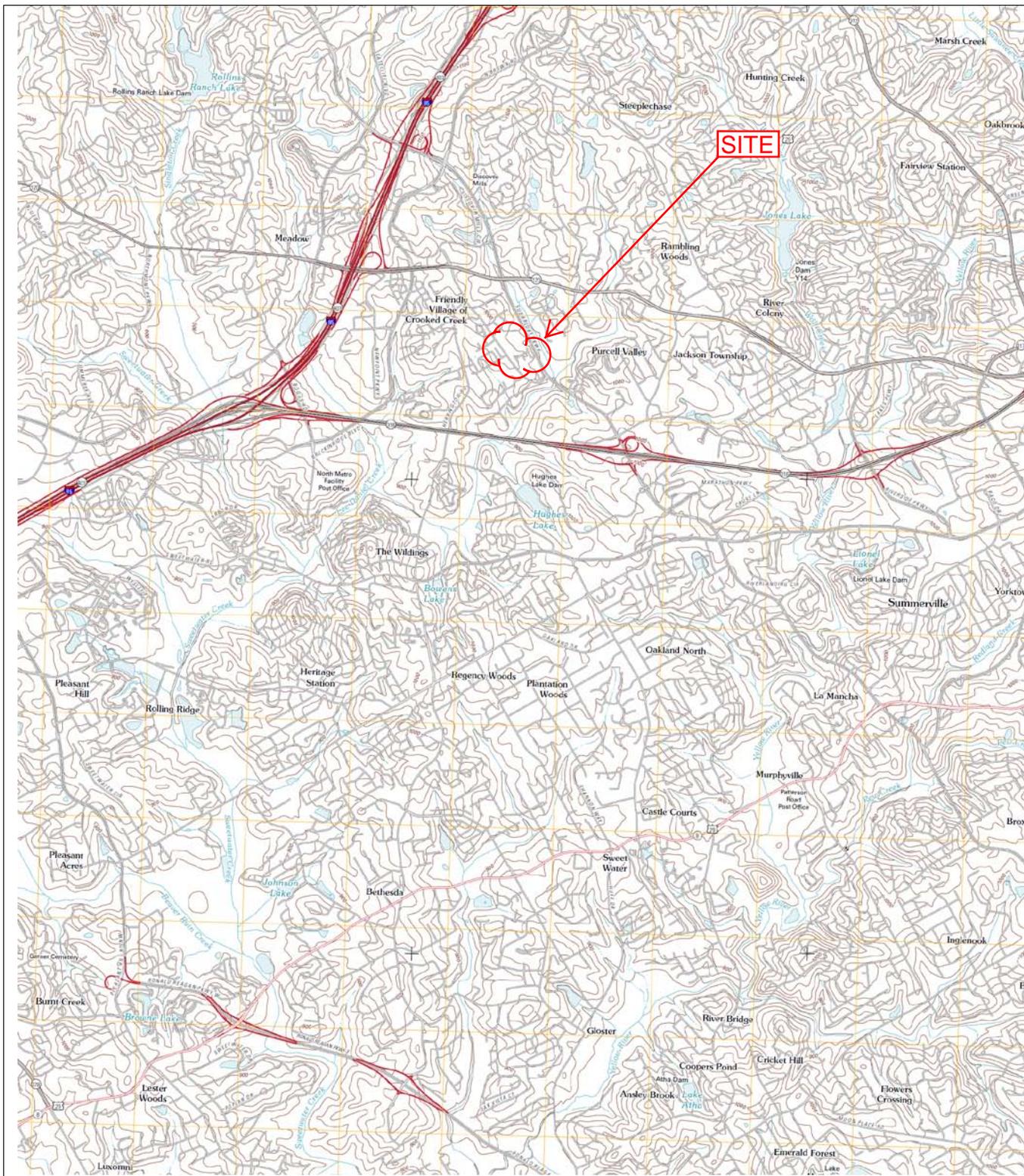
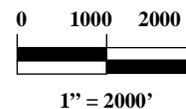


Figure 1 – Topographic Map

Map Date: 2011

**Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia**



One Group Project#A2029

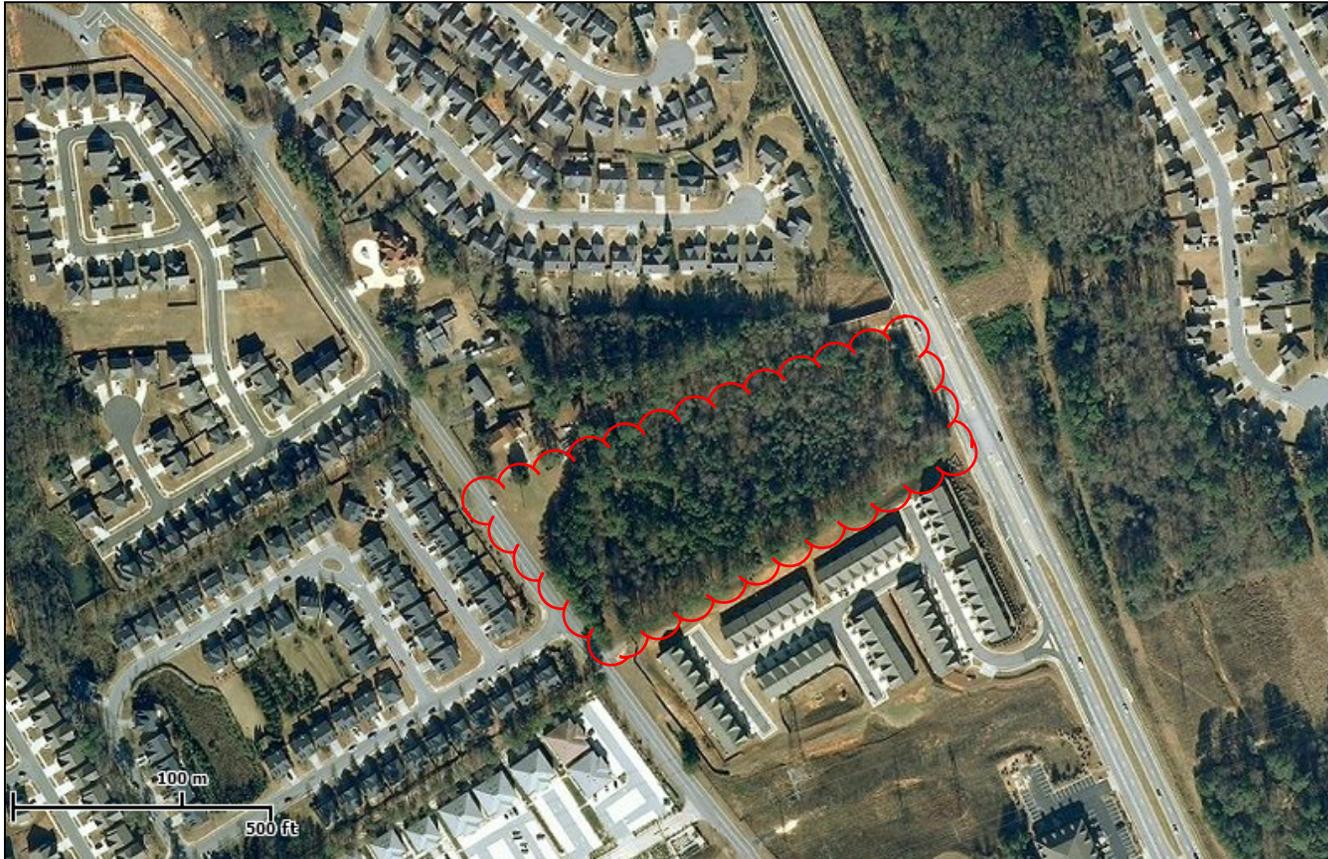
Source: USGS Luxomni GA Quad, 7.5-Minute, Topo



U.S. Fish and Wildlife Service National Wetlands Inventory

Proposed Hearthside at Sugarloaf

Apr 9, 2012

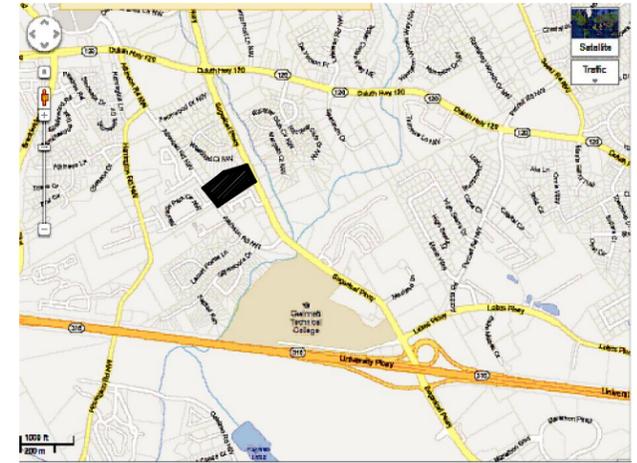
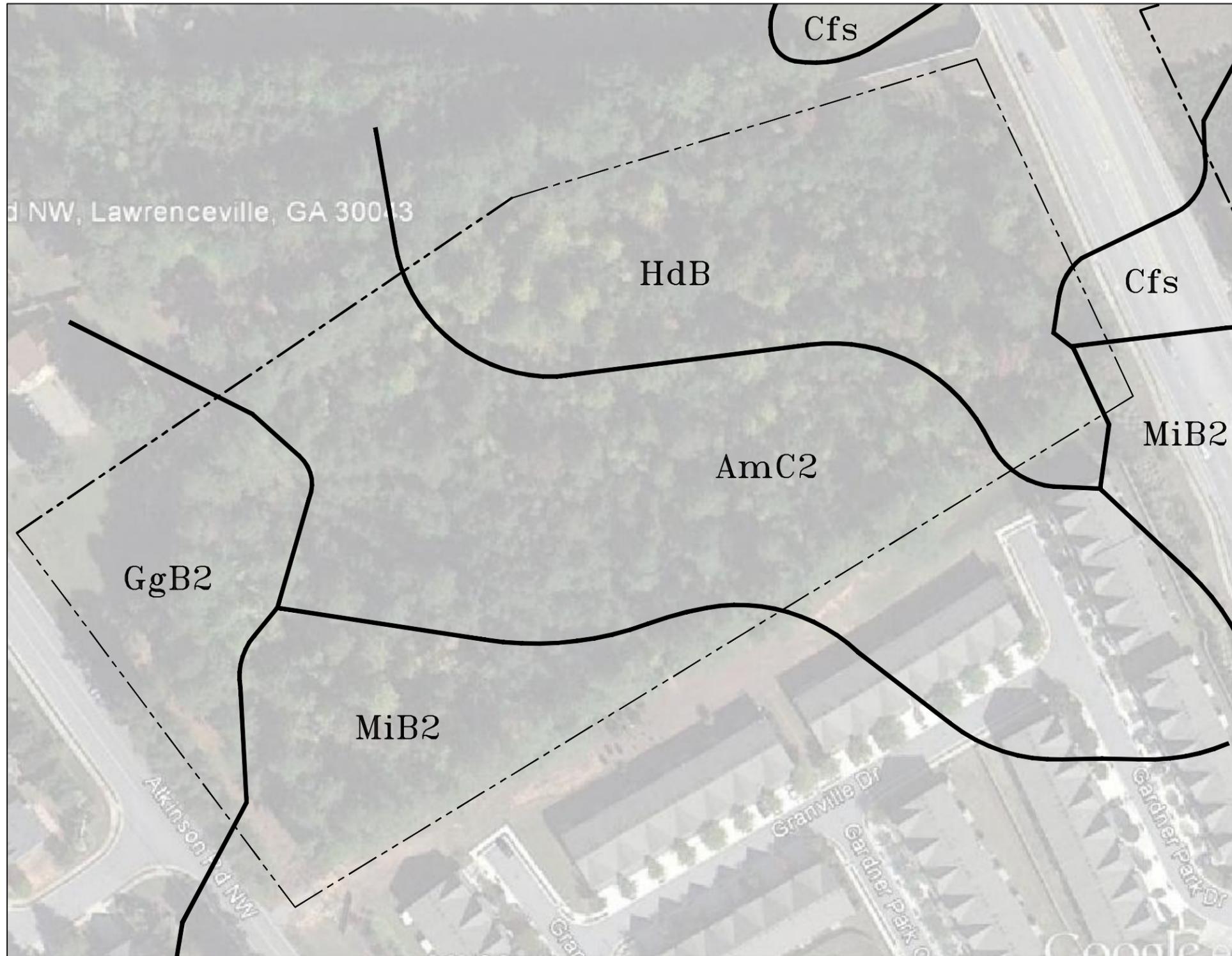


Wetlands

-  Freshwater Emergent
-  Freshwater Forested/Shrub
-  Estuarine and Marine Deepwater
-  Estuarine and Marine
-  Freshwater Pond
-  Lake
-  Riverine
-  Other

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

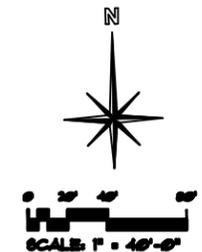
User Remarks:



VICINITY MAP

Gwinnett County, Georgia (GA135)

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AkA	Altavista fine sandy loam, 0 to 2 percent slopes	0.0	0.0%
AmC2	Appling sandy loam, 6 to 10 percent slopes, eroded	5.2	22.2%
ApB	Appling-Hard Labor complex, 2 to 6 percent slopes	0.5	2.2%
Cfs	Chewacla soils, frequently flooded	0.7	3.1%
CYB2	Cecil sandy loam, 2 to 6 percent slopes, eroded	0.0	0.0%
GeB2	Gwinnett clay loam, 2 to 6 percent slopes, eroded	0.9	4.0%
GeC2	Gwinnett clay loam, 6 to 10 percent slopes, eroded	0.0	0.1%
GgB2	Gwinnett loam, 2 to 6 percent slopes, eroded	4.2	17.9%
HdB	Hard Labor sandy loam, 2 to 6 percent slopes	4.4	18.9%
MiB2	Madison sandy clay loam, 2 to 6 percent slopes, eroded	3.1	13.4%
MiC2	Madison sandy clay loam, 6 to 10 percent slopes, eroded	0.6	2.6%
PgC2	Pacolet sandy clay loam, 6 to 10 percent slopes, eroded	1.6	6.8%
WrE2	Wedowee sandy loam, 10 to 25 percent slopes, eroded	2.0	8.8%
Totals for Area of Interest:		23.3	100.0%



HEARTHSIDE SUGARLOAF

3-12-2012
SCALE: 1" = 40'-0"
SOILS MAP

1625 ATKINSON ROAD, GWINNETT COUNTY
NORSOUTH DEVELOPMENT CO. OF GEORGIA

FOLEY DESIGN ASSOCIATES ARCHITECTS INC.
1513 Cleveland Avenue Building 100 Suite 102 East Point, Georgia 30344 (404) 761-1290

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Units

Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot
-  Spoil Area
-  Stony Spot

 Very Stony Spot

 Wet Spot

 Other

Special Line Features

-  Gully
-  Short Steep Slope
-  Other

Political Features

 Cities

Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

MAP INFORMATION

Map Scale: 1:1,650 if printed on A size (8.5" × 11") sheet.

The soil surveys that comprise your AOI were mapped at 1:15,840.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for accurate map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
Coordinate System: UTM Zone 16N NAD83

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

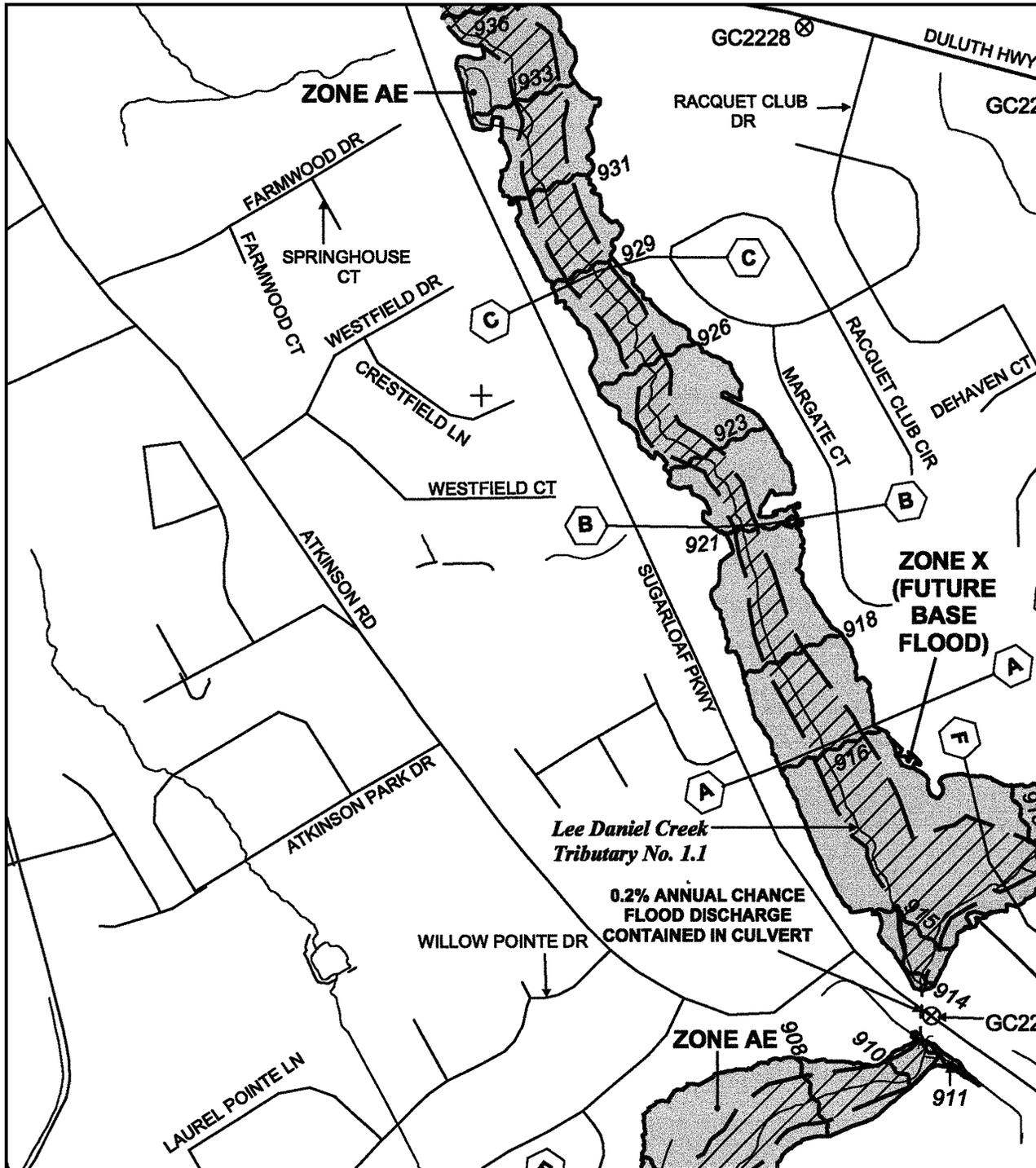
Soil Survey Area: Gwinnett County, Georgia
Survey Area Data: Version 4, Dec 22, 2006

Date(s) aerial images were photographed: 8/21/2007

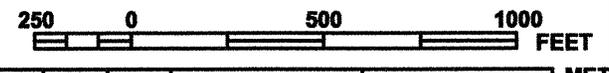
The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Gwinnett County, Georgia (GA135)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AmC2	Appling sandy loam, 6 to 10 percent slopes, eroded	2.6	38.2%
Cfs	Chewacla soils, frequently flooded	0.0	0.6%
GgB2	Gwinnett loam, 2 to 6 percent slopes, eroded	1.2	17.6%
HdB	Hard Labor sandy loam, 2 to 6 percent slopes	1.5	22.7%
MiB2	Madison sandy clay loam, 2 to 6 percent slopes, eroded	1.4	20.2%
WrE2	Wedowee sandy loam, 10 to 25 percent slopes, eroded	0.0	0.6%
Totals for Area of Interest		6.8	100.0%



MAP SCALE 1" = 500'



PANEL 0071F

FIRM
FLOOD INSURANCE RATE MAP
GWINNETT COUNTY,
GEORGIA
AND INCORPORATED AREAS

PANEL 71 OF 155
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
GWINNETT COUNTY	130322	0071	F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
13135C0071F

EFFECTIVE DATE
SEPTEMBER 29, 2006

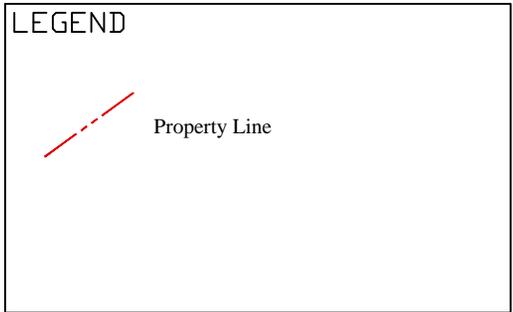
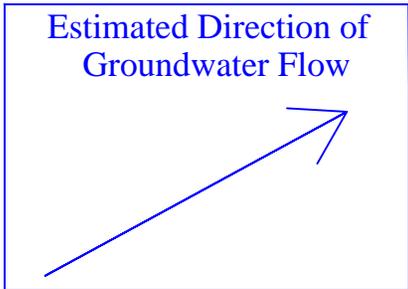
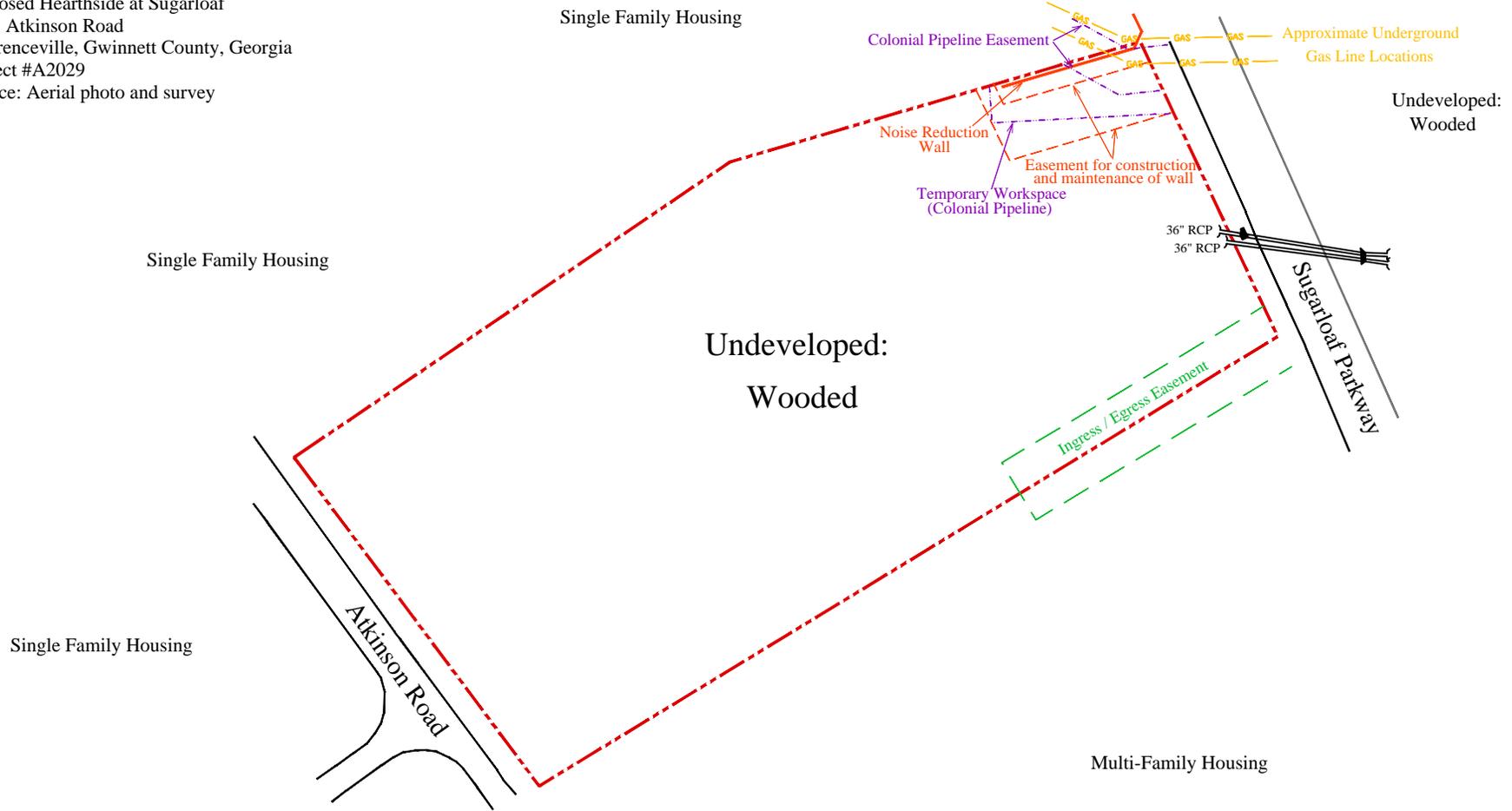


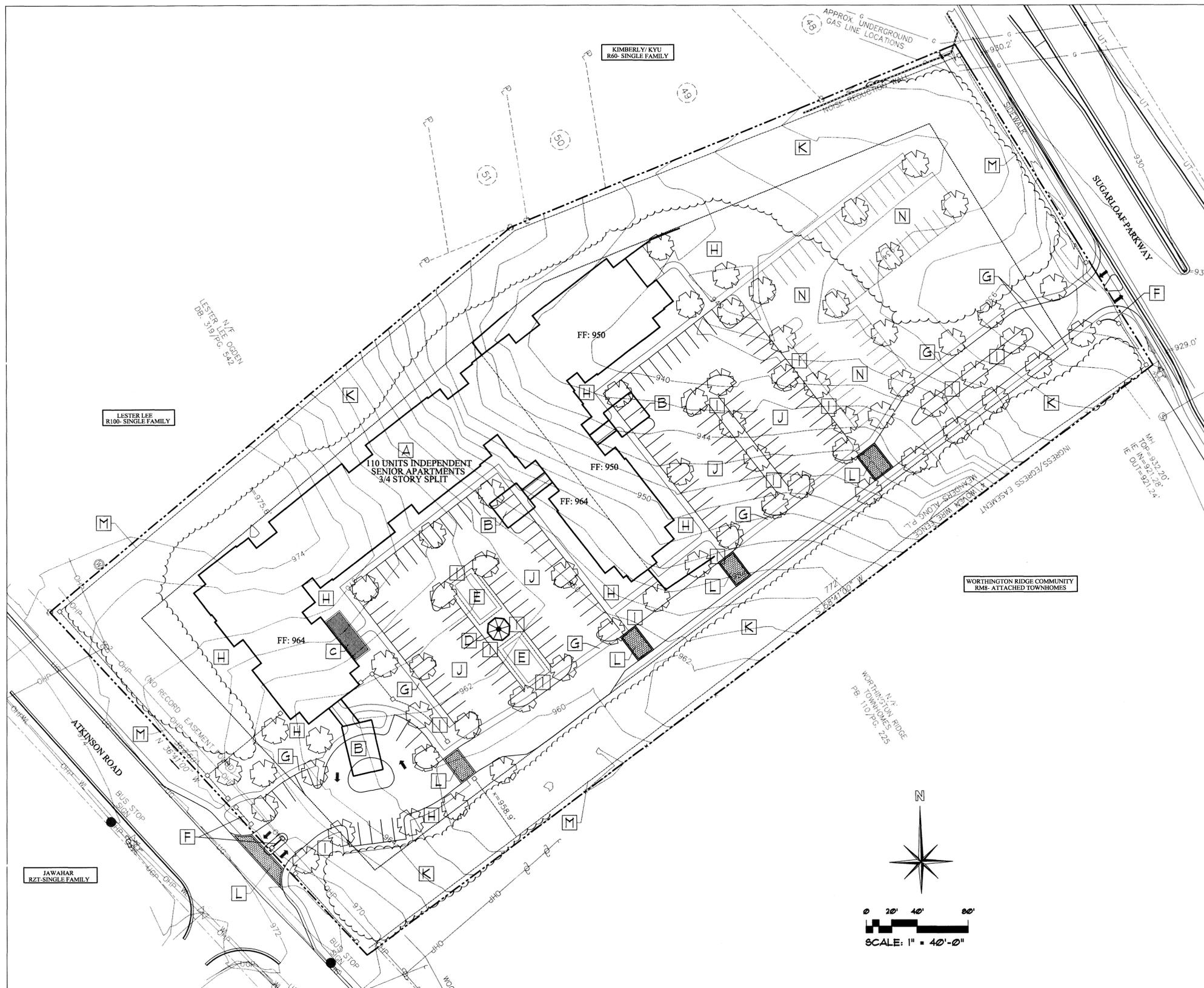
Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

Figure 5 Existing Site Plan

Proposed Hearthside at Sugarloaf
 1625 Atkinson Road
 Lawrenceville, Gwinnett County, Georgia
 Project #A2029
 Source: Aerial photo and survey





LEGEND

- A SENIOR RESIDENCE APARTMENTS - 3/4 SPLIT- 110 UNITS
- B COVERED ENTRY
- C EXTERIOR GATHERING AREA
- D COVERED PAVILION WITH PICNIC / BARBEQUE FACILITIES
- E ATTRACTIVELY FENCED, ORGANIC COMMUNITY GARDEN W/ POTTING SHED
- F SITE ENTRY WITH PERMANENT, ILLUMINATED ENTRY SIGN, DECORATIVE FENCE AND SEASONAL PLANTING
- G INTERNAL SIDEWALK CONNECTIONS TO STREETS
- H RE-VEGETATED GREEN SPACE WITH XERISCAPE LANDSCAPE
- I SITE LIGHTING
- J PARKING - NOT GATED
- K TREE SAVE - BUFFER AREAS
- L DECORATIVE CROSSWALKS - TRAFFIC CALMING
- M DECORATIVE PERIMETER FENCE
- N ADDITIONAL PARKING SHOWN TO MEET 165 SPACES PER CODE. VARIANCE TO BE SUBMITTED FOR REDUCTION OF SPACES AND AN INCREASE IN TREE SAVE AND OPEN SPACE ON SITE.

NEW TREES - 3" MIN. CALIPER

EXISTING LANDSCAPE

UNIT MIX & SQUARE FOOTAGES

Unit Type	Unit Sq. Ft.	1st Flr	2nd Flr	3rd Flr	4th Flr	Total
1 Bedrm/1 Bath	752 s.f.	05	06	07	07	25
2 Bedrm/1 Bath	942 s.f.	08	08	09	09	34
2 Bedrm/2 Bath	1015 s.f.	12	13	13	13	51
Total		25	27	29	29	110

PROJECT DESCRIPTION

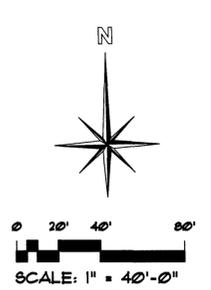
- Project Name/ Address
Hearthside Sugarloaf
1625 Atkinson Road
Gwinnett County, Ga
- Owner
Hearthside Sugarloaf, LP.
2000 Riveredge Parkway
Atlanta, Georgia 30328
- Developer
Norsouth Development Company of Georgia, LLC
2000 Riveredge Parkway
Atlanta, Georgia 30328
- Tenancy of Project: Senior Apartment (Elderly)
- Site Data
 - Number of Buildings: 1
 - Number of Units: 110
 - Total Square Footage:

Floor	Sq. Ft.
1st Floor	40,971 s.f.
2nd Floor	40,971 s.f.
3rd Floor	40,971 s.f.
4th Floor	19,080 s.f.
Total	141,993 s.f.
- Zoning: O-1 w/ Special Use Permit
- Density: Proposed: 110 Units (16.37 Units/ Acre)
- Site Acreage: 6.721 acres
- Parking:

Category	Required	Proposed
Required	165	165
Proposed	165	165

Design Features...

- Green Building Certifications:
 1. EarthCraft Multi-family Building Program
 2. EarthCraft Communities Program
- Accessibility Standards:
 1. handicap accessible units (5%) = 6.0 units
 2. roll-in showers (2% of 5%) = 1.0 units
 3. hearing and visual impaired units (2%) = 3.0 units
- Exterior Wall Finish (1 required):
 1. exterior wall faces in excess of 40% brick
- Attractive Features (2 required):
 1. covered entry to all buildings and units
 2. durable attractive railing elements at stairs, porches & patios
- Major Building Component Materials and Upgrades (1 required):
 1. fiber cement siding and panels on exterior walls not required to be brick
- Landscaping and Site Design Features (2 required):
 1. site entry locations delineated w/ permanent entry sign
 2. substantial replanting of trees and integrated vegetation (1 tree per 8 units)
- Standard Amenities (3 required):
 1. community room
 2. exterior gathering area (gazebo)
 3. onsite laundry (1 washer & dryer per 25 units = 5.0 sets)
- Standard Amenities for Seniors Projects (3 required):
 1. elevators
 2. interior gathering areas
 3. accessible and adaptable units (100%)
- Additional Site Amenities (2 required):
 1. equipped fitness center
 2. equipped computer center
- Unit Amenities:
 1. HVAC
 2. emergency pull cord system
 3. stove - electric range
 4. powder based stove top fire suppression system
- Sustainability Features for Units:
 1. refrigerator - energy star
 2. dishwasher - energy star
 3. water heaters - energy star qualified homes, version 3
 4. bath fans - energy star connect to light switch
 5. lighting - 80% fluorescent
 6. showerheads - less than 2.25 gpm
 7. bathroom faucets - less than 1.5 gpm
 8. kitchen faucets - less than 2.0 gpm
 9. toilets - less than 1.28 gpf

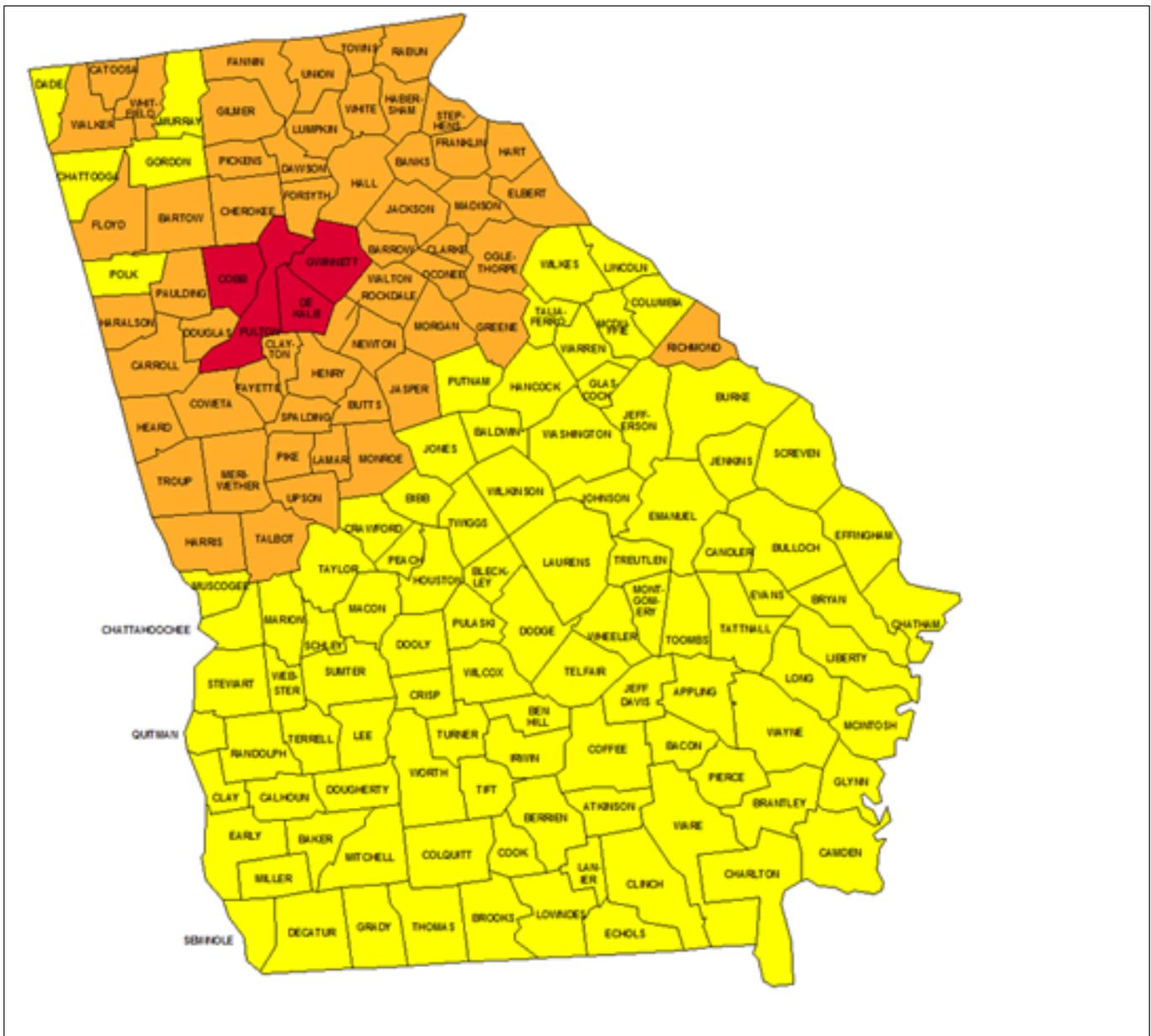


HEARTHSIDE SUGARLOAF

6-11-2012
SCALE: 1" = 40'-0"
DCA SITE DEVELOPMENT PLAN

1625 ATKINSON ROAD, GWINNETT COUNTY
NORSOUTH DEVELOPMENT CO. OF GEORGIA

FOLEY DESIGN ASSOCIATES ARCHITECTS INC.
1513 Cleveland Avenue Building 100 Suite 102 East Point, Georgia 30344 (404) 761-1299



	Zone 1 counties have a predicted average indoor radon screening level greater than 4 pCi/L (pico curies per liter) (red zones)	Highest Potential
	Zone 2 counties have a predicted average indoor radon screening level between 2 and 4 pCi/L (orange zones)	Moderate Potential
	Zone 3 counties have a predicted average indoor radon screening level less than 2 pCi/L (yellow zones)	Low Potential

Figure 7 – Georgia Radon Zones Map

Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia



One Group Project#A2029

Source: USEPA (<http://www.epa.gov/radon001/zonemap/georgia.htm>)

APPENDIX B

PHOTOGRAPHS

**(INCLUDING DATE AND DESCRIPTION OF VIEW
PRESENTED)**



Photo #1 – May 2, 2012

View of Site frontage along Atkinson Road,
power line easement evident

North to south view



Photo #2 – May 2, 2012

View of Site frontage along Atkinson Road

West to east view



Photo #3 – May 2, 2012

View of Site frontage along Atkinson Road

West to east view



Photo #4 – May 2, 2012
Southern property boundary
East to west view



Photo #5 – May 2, 2012
Southern property boundary
West to east view



Photo #6 – May 2, 2012
View of Site frontage along Sugarloaf Parkway
East to west view



Photo #7 – May 2, 2012

View of Site frontage along Sugarloaf Parkway

South to north view



Photo #8 – May 2, 2012

Site view along northern boundary

East to west view



Photo #9 – May 2, 2012

Site interior, vacant woodland

East to west view



Photo #10 – May 2, 2012

Site interior, vacant woodland

West to east view



Photo #11 – May 2, 2012

Site interior, vacant woodland

North to south view



Photo #12 – May 2, 2012

Site interior, vacant woodland

South to north view



Photo #13 – May 2, 2012

Single-family residences to the west across Atkinson Road

East to west view



Photo #14 – May 2, 2012

Single-family townhomes adjacent to the south

North to south view



Photo #15 – May 2, 2012

Sugarload Parkway adjacent to the east

West to east view



Photo #16 – May 2, 2012

Adjacent detention area to the northeast, and petroleum pipeline evident

North to south view



Photo #17 – May 2, 2012

Undeveloped, adjacent woodland along northern property boundary

South to north view



Photo #18 – May 2, 2012

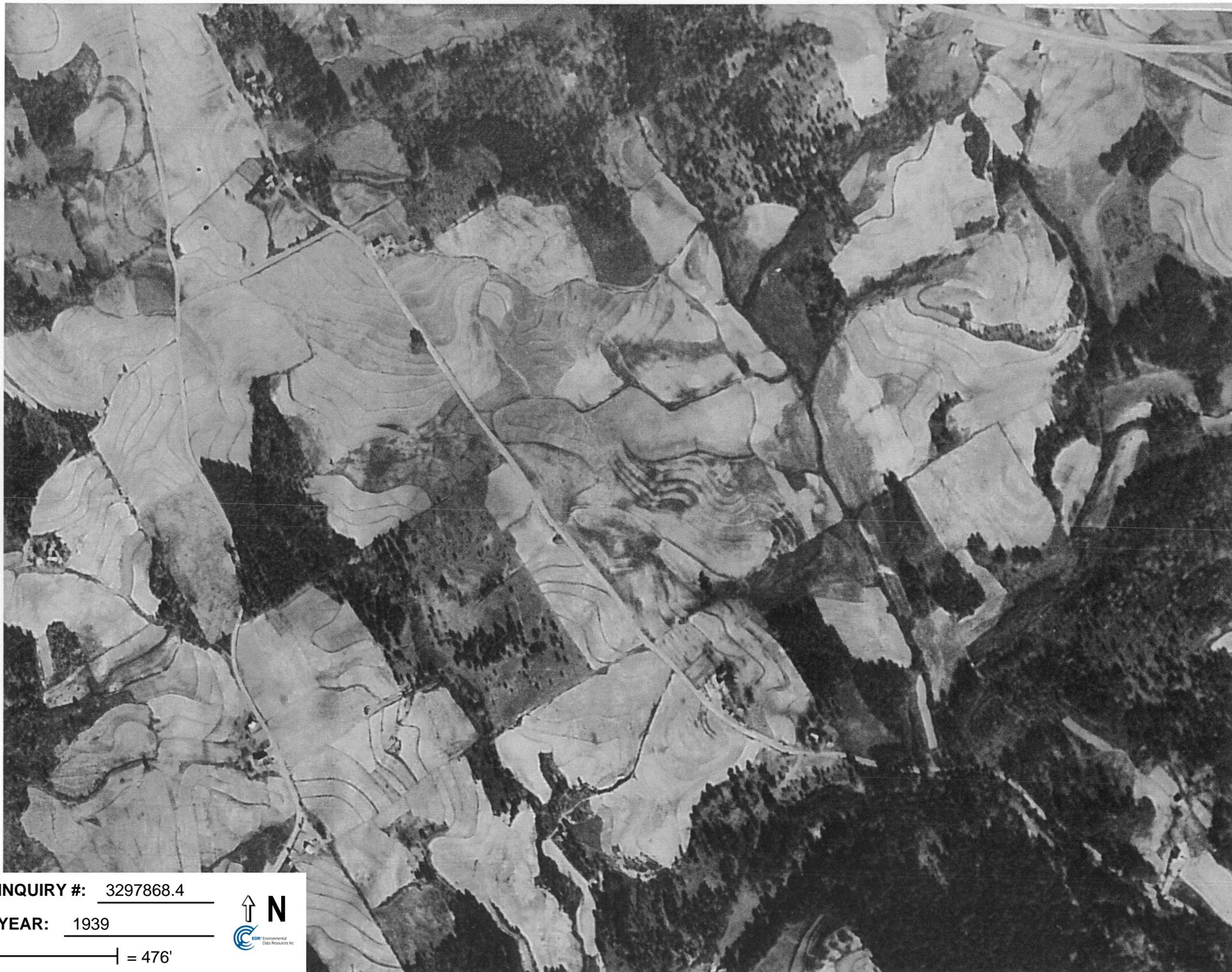
Adjacent single-family residence to the north along Atkinson Road

West to east view

APPENDIX C

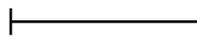
HISTORICAL RESEARCH DOCUMENTATION

**(AERIAL MAPS, FIRE INSURANCE MAPS, HISTORICAL
TOPOGRAPHICAL MAPS)**



INQUIRY #: 3297868.4

YEAR: 1939

 = 476'





INQUIRY #: 3297868.4

YEAR: 1955

 = 476'





INQUIRY #: 3297868.4

YEAR: 1960

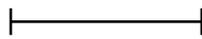
| = 476'





INQUIRY #: 3297868.4

YEAR: 1966

 = 476'





INQUIRY #: 3297868.4

YEAR: 1972

 = 476'





INQUIRY #: 3297868.4

YEAR: 1986

 = 950'





INQUIRY #: 3297868.4

YEAR: 1989

| = 950'





INQUIRY #: 3297868.4

YEAR: 1993

| = 500'





INQUIRY #: 3297868.4

YEAR: 2005

| = 500'



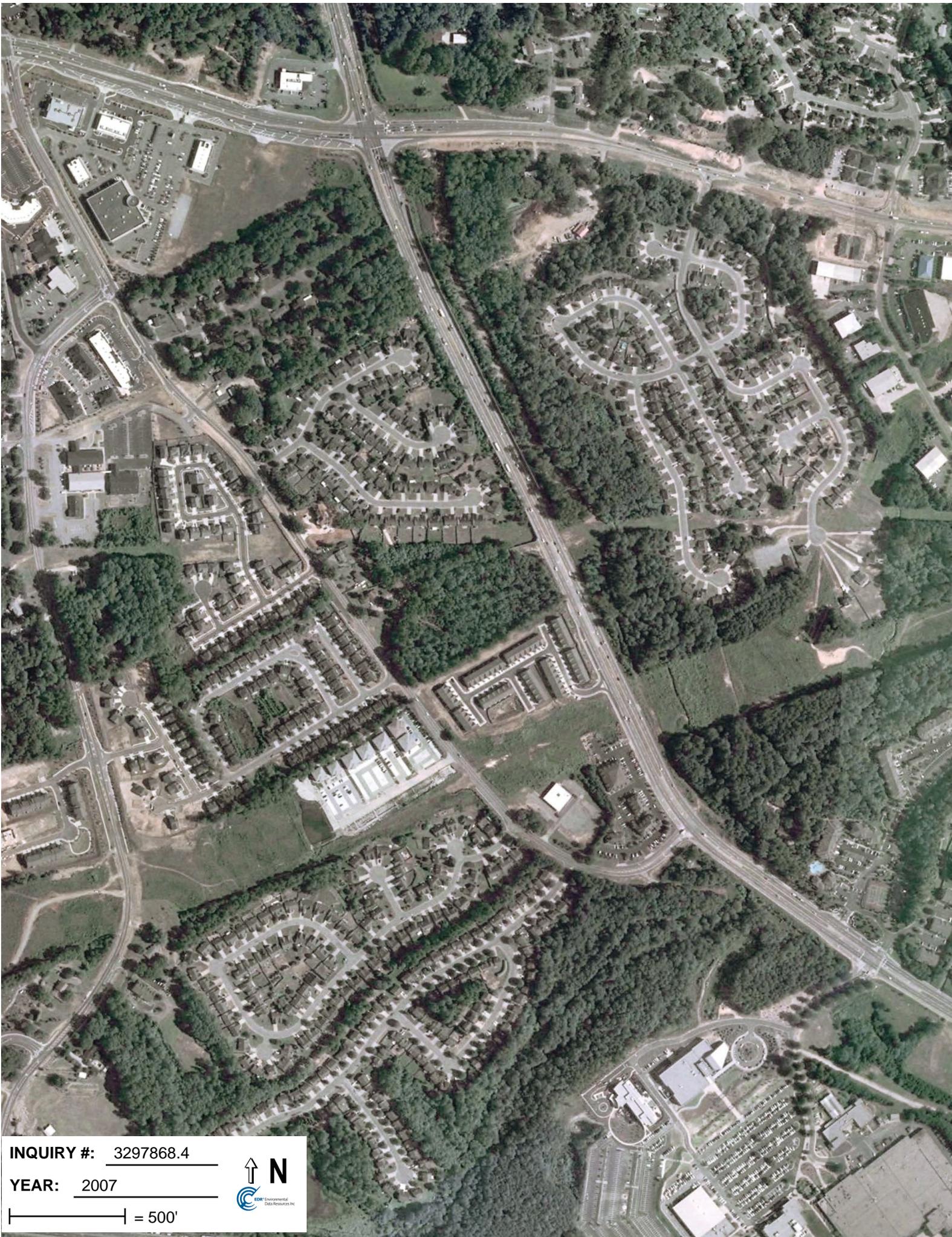


INQUIRY #: 3297868.4

YEAR: 2006

| = 500'





INQUIRY #: 3297868.4

YEAR: 2007

| = 500'



Certified Sanborn® Map Report

4/06/12

Site Name:

Hearthside At Sugarloaf
1625 Atkinson Road
Lawrenceville, GA 30043

Client Name:

One Consulting Group, Inc.
P. O. Box 54382
Atlanta, GA 30308



EDR Inquiry # 3297868.3

Contact: Brawner

The complete Sanborn Library collection has been searched by EDR, and fire insurance maps covering the target property location provided by One Consulting Group, Inc. were identified for the years listed below. The certified Sanborn Library search results in this report can be authenticated by visiting www.edrnet.com/sanborn and entering the certification number. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by Sanborn Library LLC, the copyright holder for the collection.

Certified Sanborn Results:

Site Name: Hearthside At Sugarloaf
Address: 1625 Atkinson Road
City, State, Zip: Lawrenceville, GA 30043
Cross Street:
P.O. # A2029
Project: A2029
Certification # 460D-4059-8BEC



Sanborn® Library search results
Certification # 460D-4059-8BEC

UNMAPPED PROPERTY

This report certifies that the complete holdings of the Sanborn Library, LLC collection have been searched based on client supplied target property information, and fire insurance maps covering the target property were not found.

The Sanborn Library includes more than 1.2 million Sanborn fire insurance maps, which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

The Sanborn Library LLC Since 1866™

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APPENDIX D

**DOCUMENTATION FROM TITLE COMPANY/TITLE
PROFESSIONAL**

**(RECORDED LAND TITLE RECORDS, RECORDS OF
ENVIRONMENTAL LIENS AND ACTIVITY AND USE
LIMITATIONS, AND LEGAL DESCRIPTION)**

LAND DESCRIPTION

- All that tract or parcel of land lying and being in Land Lot 74 of The 7th Land District of Gwinnett County, Georgia and being more particularly described as follows:

To find the True Point of Beginning, begin at the intersection of the Southerly right-of-way of West Field Drive (50 foot right-of-way) and the Easterly right-of-way of Atkinson Road (right-of-way varies); THENCE following along the easterly right-of-way of Atkinson Road for a distance of 920.77 feet to a ½ inch rebar found, said point Being The True Point of Beginning; THENCE leaving said right-of-way North 56 degrees 36 minutes 16 seconds East for a distance of 471.96 feet to a ½ inch rebar found; THENCE North 74 degrees 03 minutes 16 seconds East for a distance of 377.96 feet to a point on the westerly right-of-way of Sugarloaf Parkway (right-of-way varies); THENCE along said right-of-way along a curve to the left having a radius of 11404.16 feet an arc length of 13.19 feet being subtended by a chord bearing of South 25 degrees 10 minutes 17 seconds East for a chord distance of 13.19 feet to a point; THENCE South 25 degrees 08 minutes 26 seconds East for a distance of 283.21 feet to a point; THENCE leaving said right-of-way South 59 degrees 30 minutes 08 seconds West for a distance of 772.76 feet to a ¾ inch rebar found on the easterly right-of-way of Atkinson Road; THENCE along said right-of-way North 36 degrees 13 minutes 49 seconds West for a distance of 368.05 feet to a ½ inch rebar found, said point being the True Point of Beginning.

Said property contains 6.721 acres.



HunterMaclean

HunterMaclean

Attorneys at Law

200 E. Saint Julian Street

Post Office Box 9848

Savannah, GA 31412-0048

MARY ANN BELL

Phone 912.236.0261

Fax 912.234.9296

www.huntermaclean.com

mbell@huntermaclean.com

May 23, 2012

Jervon Harris
Vice President - Development Operations
Norsouth Development Company
2000 Riveredge Parkway
Suite 950
Atlanta, GA 30328

RE: Hearthside at Sugarloaf
Land Lot 74, 7th Land District
Gwinnett County, Georgia

Dear Jervon:

Attached please find the full Chain of Title for the above referenced project.

We have caused a full search of the Gwinnett County property records to be conducted in connection with the project, and we have also caused the title to the property to be updated through a current date of May 15, 2012 at 8:00 a.m. Based on our review of said search which contains the results of a full examination of the title to the project property and our review of the title update, no environmental liens or special use restrictions affecting the property were discovered during said title examination.

Please do not hesitate to call me if you have any questions or if you require anything further.

Very truly yours,

Mary Ann Bell
Legal Assistant

/mab

**HEARTHSIDE AT SUGARLOAF
DEEDS IN CHAIN OF TITLE**

GWINNETT COUNTY, GA

**through May 15, 2012
at 8:00 a.m.**

1. Warranty Deed from Harold W. Simpson and Rae M. Simpson to HJE Simpson, LP dated September 13, 2004 and recorded in Deed Book 39905, Page 239, Gwinnett County records.
2. Warranty Deed from Joseph E. Shafer a/k/a J. E. Shafer to Harold W. Simpson and Rae M. Simpson dated November 15, 1972 and recorded in Deed Book 578, Page 280, Gwinnett County records.
3. Corrective Warranty Deed from J. F. Brannen to J. E. Shafer dated May 15, 1967 and recorded in Deed Book 293, Page 441, Gwinnett County records.
4. Warranty Deed from J. F. Brannen to J. E. Shafer recorded on January 1, 1967 in Deed Book 274, Page 619, Gwinnett County records.
5. Warranty Deed from J. E. Bruce to J. F. Brannen dated May 31, 1958 and recorded in Deed Book 139, Page 352, Gwinnett County records.
6. Warranty Deed from Ralph McDaniel to J. E. Bruce dated February 4, 1958 and recorded in Deed Book 139, Page 175, Gwinnett County records.
7. Administrator's Deed from H. Rhodes Jordan, duly constituted Administrator of the estate of J. S. McDaniel to Ralph McDaniel dated February 4, 1958 and recorded in Deed Book 141, Page 375, Gwinnett County records.
8. Warranty Deed from O. L. Moulder to J. S. McDaniel dated November 1, 1947 and recorded in Deed Book 86, Page 382, Gwinnett County records.
9. Warranty Deed from B. L. Greason to O. L. Moulder dated March 30, 1946 and recorded in Deed Book 81, Page 65, Gwinnett County records.
10. Warranty Deed from Mrs. I. L. Oakes to B. L. Greason dated October 8, 1945 and recorded in Deed Book 79, Page 369, Gwinnett County records.
11. Warranty Deed from J. D. Cole to I. L. Oakes dated December 6, 1919 and recorded in Deed Book 35, Page 132, Gwinnett County records.

**CHICAGO TITLE INSURANCE COMPANY
A.L.T.A. COMMITMENT
SCHEDULE A**

Commitment Number 88-168/80000-81202

1. Effective Date: March 25, 2012
at 8:00 a.m.

2. Policy or Policies to be issued: Amount

ALTA Owner's Policy with Georgia modifications (6/17/2006): \$TBD

Proposed Insured:

Hearthside at Sugarloaf, L.P.

ALTA Loan Policy with Georgia modifications (6/17/2006): \$TBD

Proposed Insured:

TBD, its successors and/or assigns, as their interests may appear

3. The estate or interest in the land described or referred to in this Commitment is:

Fee Simple

4. Title to the insured estate or interest in the land is at the Effective Date hereof vested in:

HJE Simpson, L.P.

5. The land referred to in this Commitment is described as follows:

See Exhibit "A" Attached

Issued by:
O&M TITLE COMPANY, INC.
200 East St. Julian Street
P.O. Box 9848 (31412)
Savannah, GA 31401
(912) 236-0261

Authorized Signatory

NOTE: This Commitment consists of insert pages labeled in Schedule A, Schedule B-Section 1, and Schedule B-Section 2. This Commitment is of no force and effect unless all schedules are included, along with any Rider pages incorporated by reference in the insert pages.

**CHICAGO TITLE INSURANCE COMPANY
A.L.T.A. COMMITMENT
SCHEDULE B - SECTION 1**

Commitment Number: 88-168/80000-81202

The following are the requirements to be complied with:

1. Instrument(s) creating the estate or interest to be insured must be approved, executed and filed for record, to wit:
 - (a) Warranty Deed from HJE Simpson, L.P. to Hearthside at Sugarloaf, L.P.

2. Payment of the full consideration to, or for the account of, the grantors or mortgagors.

3. Payment of all taxes, charges, assessments, levied and assessed against subject premises, which are due and payable.

4. Satisfactory evidence should be had that improvements and/or repairs or alterations thereto are completed; that contractor, subcontractor, labor and materialmen are all paid.

5. The following must be furnished in form and substance satisfactory to the Company to delete or amend (in accordance with the facts established) the Standard Exceptions set forth on Schedule B-Section 2:
 - A. As to Standard Exception Number 3: Receipt of satisfactory proof in affidavit form establishing who is in possession of Subject Property.

 - B. As to Standard Exception Numbers 6 and 7: Receipt of a current accurate survey and surveyor's inspection report on Subject Property.

 - C. As to Standard Exception Number 4: Satisfactory evidence should be had that improvements and/or repairs or alterations thereto are completed; that contractors, subcontractors, laborers and materialmen are paid in full.

 - D. As to Standard Exception Number 5: Receipt of satisfactory proof of payment of all taxes, charges, assessments, levied and assessed against subject property, which are due and payable, together with an affidavit from the owner of Subject Property as of the effective date of insured instrument, stating that all taxes, charges, assessments, levied and assessed against Subject Property which are due and payable have been paid, and that said owner has no knowledge of any pending assessments.

6. Plat of the property to be filed in the Gwinnett County records.

7. Certificate of Existence (Good Standing) for HJE Simpson, L.P.

8. Proof satisfactory to the Company that HJE Simpson, L.P. has duly authorized the conveyance of the property and that the individual(s) executing instruments on behalf of HJE Simpson, L.P. are authorized to do so.

9. Certificate of Existence (Good Standing) for Hearthside at Sugarloaf, L.P.

10. Proof satisfactory to the Company that Hearthside at Sugarloaf, L.P. has duly authorized the conveyance of a security interest in the property and that the individual(s) executing instruments on behalf of Hearthside at Sugarloaf, L.P. are authorized to do so.

**CHICAGO TITLE INSURANCE COMPANY
A.L.T.A. COMMITMENT
SCHEDULE B - SECTION 2**

Commitment Number: 88-168/80000-81202

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims, or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.
2. All taxes for the year 2012 and subsequent years, not yet due and payable.

STANDARD EXCEPTIONS

3. Rights or claims of parties in possession not shown by the public records.
4. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Taxes or special assessments which are not shown as existing liens by the public records.
6. Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey and inspection of the premises.
7. Easements, or claims of easements, not shown by the public records.

SPECIAL EXCEPTIONS

8. Such state of facts as shown on plat recorded in Plat Book Y, Page 30, Gwinnett County records.
9. Easement from O. L. Moulder to Georgia Power Company dated July 13, 1946 and recorded in Deed Book 77, Page 509, Gwinnett County records.
10. Notice of Award in the case of Gwinnett County, Georgia vs. Harold W. Simpson; Rae M. Simpson; and 0.035 acres of land, Case No. 88A-2009-2, and recorded in Deed Book 5497, Page 14, Gwinnett County records.
11. Consent Judgment in the case of Gwinnett County, Georgia vs. Harold W. Simpson and Rae M. Simpson, Case No. 88-A-2009-2, and recorded in Deed Book 5525, Page 187, Gwinnett County records.
12. Final Order and Judgment in the case of Colonial Pipeline Company vs. Harold W. Simpson and Rae M. Simpson, Case No. 97-A-3192-1, and recorded in Deed Book 14644, Page 6, Gwinnett County records.
13. Judgment of Court in the case of Gwinnett County, Georgia vs. Harold W. Simpson and Rae M. Simpson, 4,699.9 square feet of Permanent Sewer Easement and 4,699.9 square feet of Temporary Construction Easement, Case No. 95-A-07377-6, and recorded in Deed Book 14946, Page 128, Gwinnett County records.

14. Notice of Award in the case of Gwinnett County, Georgia vs. Harold W. Simpson and Rae M. Simpson, 4,699.9 square feet of Permanent Sewer Easement and 4,699.9 square feet of Temporary Construction Easement, Case No. 95-A-07377-6, and recorded in Deed Book 14946, Page 131, Gwinnett County records.
15. Consent Order in the case of Gwinnett County, Georgia vs. Harold W. Simpson and Rae M. Simpson, 4,699.9 square feet of Permanent Sewer Easement and 4,699.9 square feet of Temporary Construction Easement, Case No. 95-A-07377-6, and recorded in Deed Book 14946, Page 133, Gwinnett County records.
16. Order & Judgment in the case of Gwinnett County, Georgia vs. 31,002 square feet of require right of way; 6,604.71 square feet of permanent construction easement; 1,669 square feet of permanent drainage easement; Harold W. Simpson; & Rae M. Simpson, Case No. 97-A-6793-1, and recorded in Deed Book 18338, Page 93, Gwinnett County records.
17. Consent Order in the case of Gwinnett County, Georgia vs. 31,002 square feet of require right of way; 6,604.71 square feet of permanent construction easement; 1,669 square feet of permanent drainage easement; Harold W. Simpson; & Rae M. Simpson, Case No. 97-A-6793-1, and recorded in Deed Book 18338, Page 98, Gwinnett County records.
18. Condemnation Settlement Agreement in the case of Gwinnett County, Georgia vs. 31,002 square feet of require right of way; 6,604.71 square feet of permanent construction easement; 1,669 square feet of permanent drainage easement; Harold W. Simpson; & Rae M. Simpson, Case No. 97-A-6793-1, and recorded in Deed Book 18338, Page 100 Gwinnett County records.

Exhibit "A"

LAND DESCRIPTION

All that tract or parcel of land lying and being in Land Lot 74 of The 7th Land District of Gwinnett County, Georgia and being more particularly described as follows:

To find the True Point of Beginning, begin at the intersection of the Southerly right-of-way of West Field Drive (50 foot right-of-way) and the Easterly right-of-way of Atkinson Road (right-of-way varies); THENCE following along the easterly right-of-way of Atkinson Road for a distance of 920.77 feet to a ½ inch rebar found, said point being The True Point of Beginning; THENCE leaving said right-of-way North 56 degrees 36 minutes 16 seconds East for a distance of 471.96 feet to a ½ inch rebar found; THENCE North 74 degrees 03 minutes 16 seconds East for a distance of 377.96 feet to a point on the westerly right-of-way of Sugarloaf Parkway (right-of-way varies); THENCE along said right-of-way along a curve to the left having a radius of 11404.16 feet an arc length of 13.19 feet being subtended by a chord bearing of South 25 degrees 10 minutes 17 seconds East for a chord distance of 13.19 feet to a point; THENCE South 25 degrees 08 minutes 26 seconds East for a distance of 283.21 feet to a point; THENCE leaving said right-of-way South 59 degrees 30 minutes 08 seconds West for a distance of 772.76 feet to a ¾ inch rebar found on the easterly right-of-way of Atkinson Road; THENCE along said right-of-way North 36 degrees 13 minutes 49 seconds West for a distance of 368.05 feet to a ½ inch rebar found, said point being the True Point of Beginning.

Said property contains 6.721 acres.

BK 39905 PG 0239

FILED & RECORDED
CLERK SUPERIOR COURT
GWINNETT COUNTY, GA.

Return to: David L. Watson, Esq.
Gambrell & Stolz, LLP
Suite 1600
3414 Peachtree Road, NE
Atlanta, Georgia 30326-1164

GWINNETT CO. GEORGIA
REAL ESTATE TRANSFER TAX
\$ none
TOM LAWLER CLERK OF
SUPERIOR COURT

2004 SEP 20 AM 8:00
LAWLER, CLERK

STATE OF GEORGIA
COUNTY OF FULTON

CROSS REFERENCE:
DB 578, Page 280

WARRANTY DEED

THIS INDENTURE, made this 13th day of September in the Year of Our Lord Two Thousand Four (2004) between HAROLD W. SIMPSON and RAE M. SIMPSON, AS TENANTS IN COMMON, residents of Fulton County, State of Georgia, as Parties of the First Part (hereinafter called "Grantors"), and HJE SIMPSON, LP, a Georgia limited partnership, as Party of the Second Part (hereinafter called "Grantee") (the words "Grantors" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH: That the said Grantors, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars in hand paid, at and before the sealing and delivery of these presents, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents do hereby grant, bargain, sell and convey unto the said Grantee the following described property, to-wit:

See Exhibit "A" attached hereto and made a part hereof by this reference.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever, in FEE SIMPLE.

AND THE SAID Grantors will warrant and forever defend the right and title to the above described property, unto the said Grantee against the claims of ALL PERSONS WHOMSOEVER.

The conveyance effected hereby and warranty of title set forth herein are expressly made subject to all zoning ordinances, easements and restrictions of record affecting said described property.

166690

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BK 39905 PG 0240

IN WITNESS WHEREOF, the said Grantors have hereunto set the Grantors' hands and seals, the day and year above written.

Signed, sealed and delivered
this 13th day of September
2004, in the presence of:

[Signature]
Witness

[Signature] (SEAL)
Harold W. Simpson

[Signature]
Notary Public

My Commission Expires: June 14, 2008
(NOTARIAL SEAL)



Signed, sealed and delivered
this 13th day of September
2004, in the presence of:

[Signature]
Witness

[Signature] (SEAL)
Rae M. Simpson

[Signature]
Notary Public

My Commission Expires: June 14, 2008
(NOTARIAL SEAL)



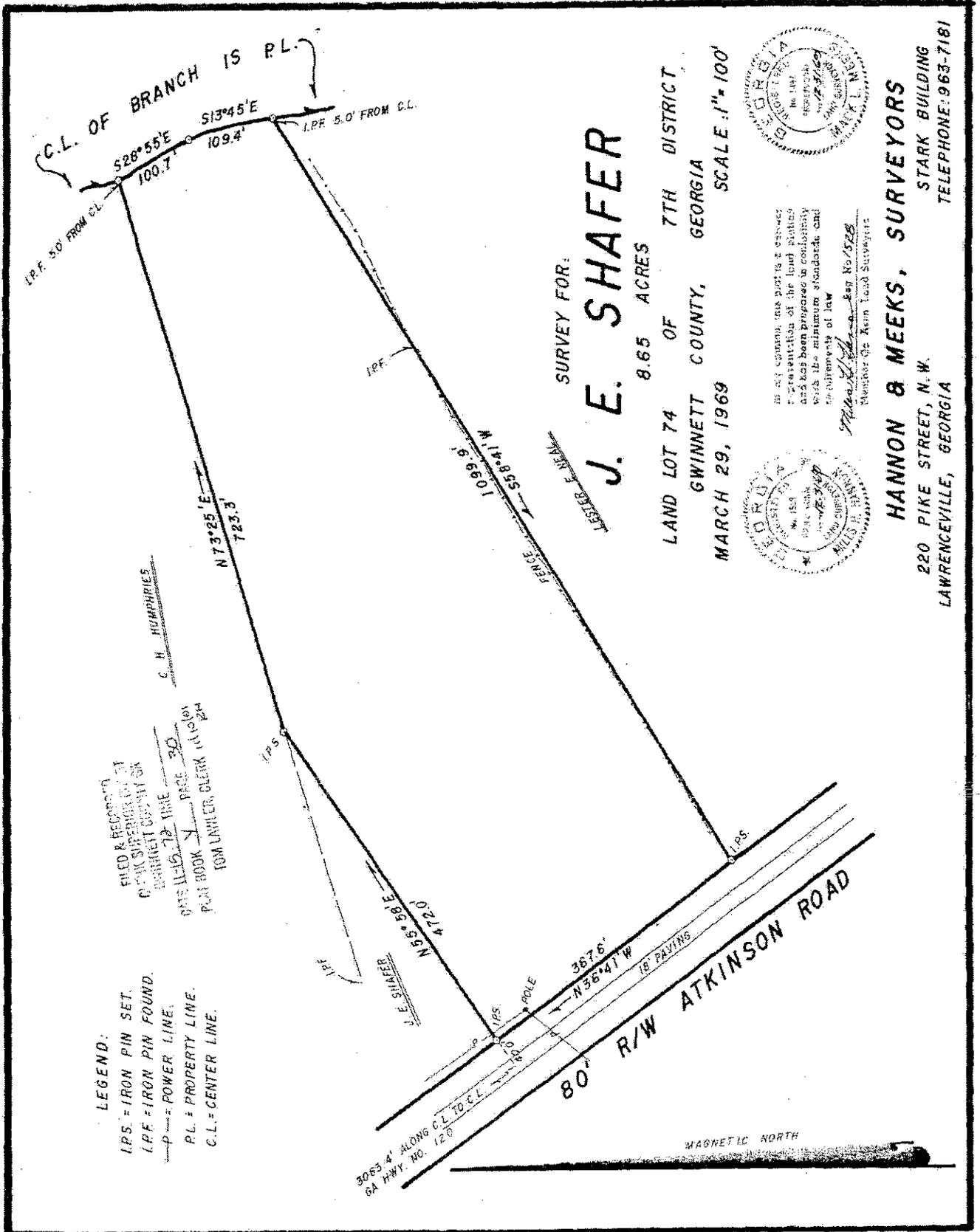
EXHIBIT "A"

All that tract or parcel of land lying and being in Land Lot 74 of the 7th Land District, Gwinnett County, Georgia, containing 8.65 acres as shown on plat of survey for J. E. Shafer by Hannon & Meeks, Surveyors, dated March 29, 1969, recorded in Plat Book Y, Page 30, Gwinnett County Records, and more particularly described as follows:

To locate the point of beginning, begin at a point in the center of Atkinson Road, located 3063.4 feet southeast as measured along the center line of said road from the center line of Georgia Highway 120; run thence North 55 degrees 58 minutes East 40 feet to an iron pin on the northeast right-of-way line of Atkinson Road, WHICH IS THE PLACE OR POINT OF BEGINNING; run thence North 55 degrees 58 minutes East 472 feet to an iron pin; run thence North 73 degrees 25 minutes East 723.3 feet to a point in the center of a branch; run thence along the center line of said branch South 28 degrees 55 minutes East 100.7 feet and South 13 degrees 45 minutes East 109.4 feet to a point; run thence South 58 degrees 41 minutes West 1099.9 feet to an iron pin on the northeast right-of-way line of Atkinson Road; run thence North 36 degrees 41 minutes West along said right-of-way line 367.6 feet to an iron pin at the place or point of beginning.

0 Millard Perry C.S.C.

Recorded Nov 15, 1972



LEGEND:
 I.P.S. = IRON PIN SET.
 I.P.F. = IRON PIN FOUND.
 P = POWER LINE.
 P.L. = PROPERTY LINE.
 C.L. = CENTER LINE.

FILED & RECORDED
 OFFICE OF THE CLERK OF
 SUPERIOR COURT
 GWINNETT COUNTY, GA.
 ONE 11-15-72 PAGE 30
 PLAN BOOK X
 TOM UNTER, CLERK (11/15/72)

SURVEY FOR:
J. E. SHAFER
 8.65 ACRES
 OF
 LAND LOT 74
 OF
 7TH DISTRICT
 GWINNETT COUNTY, GEORGIA

MARCH 29, 1969
 SCALE: 1" = 100'



In all cases, the parties to a survey representation of the land parties and has been prepared in conformity with the minimum standards and requirements of law.
 J. E. Shafer, Surveyor
 Hannon & Meeks, Surveyors
 Member of the American Land Surveyors Association

HANNON & MEEKS, SURVEYORS
 STARK BUILDING
 220 PIKE STREET, N.W.
 LAWRENCEVILLE, GEORGIA
 TELEPHONE: 963-7181

MAGNETIC NORTH

77-509

509

Extension Duluth-Lawrenceville R L
Name of Line GWO-566
Account No. 4010-666-395
Athens Division

EASEMENT

STATE OF GEORGIA,
Gwinnett County, Ga.

Received of Ga. Power Company, hereinafter called the company, the sum of
One & no/100 Dollars (\$ 1.00),

In consideration of which the undersigned, H. M. Greason, whose Post Office
address is Lawrenceville Rte 1, do hereby grant and convey to said Company, its successors and assigns, the right,
privilege and easement to go in, upon, along and across that tract of land owned by the undersigned in Land Lot Number _____
of the Martin District, Section of Gwinnett County, State of Georgia,
said lands being bounded on the North by lands of Eula Whitehead on the South
by lands of Fred Greason, Guy Thompson on the East by lands of W. I. Atkinson on the West by lands of
Sam Rowell

together with the right to construct, operate and maintain continuously upon said land, its lines (erected on poles) for transmitting electric current, with
poles, wires and other necessary apparatus, fixtures and appliances, including the right to stretch communication wires on said poles, with necessary ap-
pliances; with the right to permit the attachment of wires and appliances of any other company, or person, to said poles, together with the right at all
times to enter upon said premises for the purpose of inspecting said lines, making repairs, renewals, alterations and extensions thereon, thereto or there-
from; together with the right to cut away and keep clear of said lines all trees and other obstructions that may now or hereafter in any way interfere
or be likely to interfere with the proper operation of said lines. Any timber cut on said land by or for said Company shall remain the property of the
owner of said timber.

The undersigned does not convey any land, but merely grants the rights, privileges and easements hereinbefore set out.

Said Company shall not be liable for, or bound by, any statement, agreement or understanding not herein expressed.

IN WITNESS WHEREOF, the said H. M. Greason has hereunto set his hand and seal, this
20 day of June, 1946

H. M. Greason (SEAL)

Signed, Sealed and delivered in the presence of:
L. T. Wansley (SEAL)
D. W. Reynolds, N.P. Ga. State at Large (seal attached) (SEAL)

Filed this 19th day of July, 1946

Recorded this 19th day of July, 1946 Henry F. Wages Clerk Superior Court

509
77

Extension Duluth-Lawrenceville R L
Name of Line GWO-566
Account No. 4010-666-395
Athens Division

EASEMENT

STATE OF GEORGIA,
Gwinnett County, Ga.

Received of Ga. Power Company, hereinafter called the company, the sum of
One & no/100 Dollars (\$ 1.00),

In consideration of which the undersigned, O. L. Moulder, whose Post Office
address is Lawrenceville Rte 1, do hereby grant and convey to said Company, its successors and assigns, the right,
privilege and easement to go in, upon, along and across that tract of land owned by the undersigned in Land Lot Number _____
of the Martin District, Section of Gwinnett County, State of Georgia,
said lands being bounded on the North by lands of R. L. Greason on the South
by lands of Mrs. R. W. Nelson on the East by lands of S. A. Huff Est on the West by lands of
Mrs. Zephyr Mills

together with the right to construct, operate and maintain continuously upon said land, its lines (erected on poles) for transmitting electric current, with
poles, wires and other necessary apparatus, fixtures and appliances, including the right to stretch communication wires on said poles, with necessary ap-
pliances; with the right to permit the attachment of wires and appliances of any other company, or person, to said poles, together with the right at all
times to enter upon said premises for the purpose of inspecting said lines, making repairs, renewals, alterations and extensions thereon, thereto or there-
from; together with the right to cut away and keep clear of said lines all trees and other obstructions that may now or hereafter in any way interfere
or be likely to interfere with the proper operation of said lines. Any timber cut on said land by or for said Company shall remain the property of the
owner of said timber.

The undersigned does not convey any land, but merely grants the rights, privileges and easements hereinbefore set out.

Said Company shall not be liable for, or bound by, any statement, agreement or understanding not herein expressed.

IN WITNESS WHEREOF, the said O. L. Moulder has hereunto set his hand and seal, this
18 day of July, 1946

O. L. Moulder (SEAL)

Signed, Sealed and delivered in the presence of:
Roy T. Norman (SEAL)
D. W. Reynolds, N.P. (seal attached) Ga. State at Large (SEAL)

Filed this 18th day of July, 1946

Recorded this 18th day of July, 1946 Henry F. Wages Clerk Superior Court

IN THE SUPERIOR COURT OF GWINNETT COUNTY
STATE OF GEORGIA

GWINNETT COUNTY, GEORGIA *

Condemnor, *

v. *

HAROLD W. SIMPSON; RAE M. SIMPSON; and 0.035 acres of land, *

Condemnees. *

CIVIL ACTION

FILE NO. 88A-2009-2

FILED & RECORDED
IN THE SUPERIOR COURT
GWINNETT COUNTY, GA.
1988 JUN -1 10 4 04
GARY R. YATES, CLERK

FILED IN OFFICE
CLERK SUPERIOR COURT
GWINNETT COUNTY, GA.
MAY 29 4 02 PM '88
GARY R. YATES, CLERK

NOTICE OF AWARD

1. H. R. Hodges Jordan, the Special Master appointed and chosen by the Court to hear evidence, give full consideration to all matters touching upon the value of the property or interest sought to be condemned as referenced above in the Superior Court, and having first taken the oath as required by law of the Special Master, the same having been filed with the Clerk of the Superior Court of Gwinnett County, which is the county of my residence, and having heard evidence under oath and given consideration to the value of such property or interest on the 19th day of May, 1987, as provided for in the Order of the Court, do decide and recommend to the Court as follows:

33593-74

(1) I find and award to Condemnees, the sum of \$ 3187.50, as the actual market value of the property or interest sought to be condemned;

(2) I find consequential damages to the remaining property or interest in the amount of \$ None;

(3) I find consequential benefits to the remaining property or interest in the amount of \$ None;

(4) Balancing the consequential benefits against the consequential damages, I find and award to the Condemnees in this case in the total sum of \$ 3187.50, and I respectfully recommend to the Court that the said property or interest be condemned by a judgment in rem to the use of the Condemnor upon the payment of the last stated sum into the Registry of Court, subject to the demands of the Condemnees.

This the 23 day of May, 1988.


SPECIAL MASTER

BOOK 5497 PAGE 16

MICROFILM ROLL 460

IN THE SUPERIOR COURT OF GWINNETT COUNTY
STATE OF GEORGIA

FILED IN OFFICE

JUN 30 1988

[Handwritten signature]

GWINNETT COUNTY, GEORGIA, *

Condemnor, *

CIVIL ACTION *

FILE NO. 88-A-2009-2 *

v. ROSS W. SIMPSON ET AL.

JUDGMENT OF COURT

It appearing to the Court that:

Special Master duly appointed and qualified has made an award and finding in the above stated case;

All provisions of law as to service and notice on all parties interested in the property described in the petition has been complied with, pursuant to orders and directions of the Court consistent with justice and due process of law:

IT IS DECREED, ORDERED AND ADJUDGED that the property described in the petition, to wit:

SEE EXHIBIT "A" ATTACHED HERETO

FILED & RECORDED
CLERK SUPERIOR COURT
GWINNETT COUNTY, GA

1988 JUN -1 PM 4:00
GARY R. YATES, CLERK

33594

be, and the same is hereby condemned; and upon the payment of the sum of *THREE THOUSAND ONE HUNDRED EIGHTY-SEVEN AND 50/100* (\$3,187.50) DOLLARS, the Condemnor, Gwinnett County, and its successors in office are hereby vested with a full, complete and unencumbered fee simple title to the property described in the petition.

Let this Order be filed as part of the record of this case, SO ORDERED, this the 29th day of June, 1988.

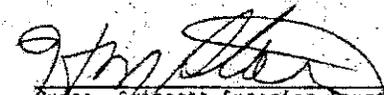

Judge, Gwinnett Superior Court

EXHIBIT "A"

HAROLD W. AND RAY K. SIMPSON

REQUIRED RIGHT-OF-WAY AND
TEMPORARY CONSTRUCTION EASEMENT
PARCEL NO. 76

All that tract or parcel or land lying and being in Land Lot 259 of the 6th District Gwinnett County, Georgia shown on a Georgia Department of Transportation right-of-way map Project FR-013-1(53) County Gwinnett Sheet No. 20 of 21 and dated January 5, 1987 last revised February 25, 1988 shown as Parcel No. 76 for Harold W. and Rae M. Simpson and being more particularly described as follows:

REQUIRED RIGHT-OF-WAY

Begin at Station No. 337+92.69 49.31 feet right of survey centerline of State Route 13/U. S. Highway 23 where the existing southeastern right-of-way line of said Highway intersects with the property line dividing Parcel No. 75 and Parcel No. 76; thence run along said existing right-of-way line North 49 degrees 29 minutes 43 seconds East 100 feet to Station No. 338+92.69 50 feet right of survey centerline which point is on the property line dividing Parcel No. 76 and Parcel No. 64; thence departing from said existing right-of-way line and running along said property line travel South 34 degrees 45 minutes 00 seconds East 15.09 feet to Station No. 338+91.08 65 feet right of survey centerline; thence departing from said property line run South 49 degrees 05 minutes 60 seconds West 100 feet to Station No. 337+91.00 65 feet right of survey centerline on the property line

dividing Parcel No. 75 and Parcel No. 76; thence running along said property line travel to Station No. 337+92.69 49.31 feet right of survey centerline on the existing southeasterly right-of-way line of State Route 13/U. S. Highway 23 and the POINT OF BEGINNING. Said required right-of-way containing 0.035 acres as per attached Plat.

TEMPORARY CONSTRUCTION EASEMENT

Begin at Station No. 337+91.00 65 feet right of survey centerline of State Route 13/U.S. Highway 23 which point is on the property line dividing Parcel No. 75 from Parcel No. 76 and is located 15.78 feet from the existing southeasterly right-of-way line of said Highway on a bearing of South 34 degrees 45 minutes 00 seconds East; thence run North 49 degrees 05 minutes 60 seconds East 100.07 feet to Station 338+91.08 65 feet right of survey centerline located on the property line dividing Parcel No. 76 and Parcel No. 64; thence running along said property line travel South 34 degrees 45 minutes 00 seconds East to Station No. 338+90.00 75 feet right of survey centerline; thence departing from said property line travel South 49 degrees 05 minutes 60 seconds West 100.07 feet to Station No. 337+89.93 75 feet right of survey centerline and on the property line dividing Parcel No. 75 and Parcel No. 76; thence run along said property line on a bearing of North 34 degrees 45 minutes 00 seconds West to Station No. 337+91.00 65 feet right of survey centerline and the POINT OF BEGINNING. Said temporary construction easement containing 1,001 sq. ft. as per attached Plat.

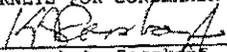
BOOK 5525 PAGE 188

IT IS SO ORDERED, THIS 18th DAY OF April, 1989.


HOMER M. STARK SUPERIOR
COURT JUDGE

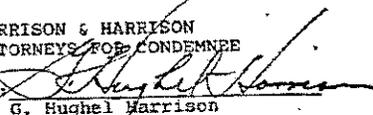
CONSENTED TO:

DEAN, ROSSKOPF & BRENSKELLE
ATTORNEYS FOR CONDEMNOR

BY: 
Kenneth A. Roskopf

109 Main Street
P.O. Box 939
Buford, Georgia 30518
(404)945-4976

HARRISON & HARRISON
ATTORNEYS FOR CONDEMNEE

BY: 
G. Hughel Harrison

P.O. Box 88
Lawrenceville, Georgia 30246-0088
(404)963-3421

IN THE SUPERIOR COURT OF GWINNETT COUNTY
STATE OF GEORGIA

COLONIAL PIPELINE COMPANY,)	
)	
Plaintiff,)	
)	
v.)	CIVIL ACTION FILE
)	NO. 97-A-3192-1
HAROLD W. SIMPSON and RAE M.)	
SIMPSON,)	
)	
Defendants.)	

RECORDED
CLERK SUPERIOR COURT
GWINNETT COUNTY, GA.
97 AUG 21 PM 3:18
TOM LAWLER, CLERK

FINAL ORDER AND JUDGMENT

THIS MATTER came before this Court on July 9, 1997 on an evidentiary hearing concerning the Request for a Declaratory Judgment by Plaintiff Colonial Pipeline Company ("Colonial") and the Request for Equitable and Injunctive Relief by Defendants Harold W. Simpson and Rae M. Simpson (the "Simpsons"). After hearing and carefully considering the evidence and testimony of record and after reviewing the legal arguments submitted by counsel, the Court hereby submits this Final Order setting out its Findings of Fact and Conclusions of Law:

FILED & RECORDED
CLERK SUPERIOR COURT
GWINNETT COUNTY, GA.
97 AUG 27 AM 8:00
TOM LAWLER, CLERK

FINDINGS OF FACT

1.

Colonial is a Delaware corporation, domesticated in Georgia, which is engaged in the interstate transportation of refined liquid petroleum products by pipeline as a common carrier. Its network of underground pipelines make up the country's largest liquid petroleum transportation system. Colonial is regulated by, among other federal agencies, the Federal Energy Regulatory Commission. Colonial currently owns and operates an underground pipeline system which runs from Texas through 14 states and the District of Columbia up to New York. The system's hub is

in Atlanta and Colonial supplies approximately 70% of the refined petroleum products delivered within Georgia.

2.

Since approximately 1962, Colonial has operated its primary "trunk" system, which now includes 36-inch and 40-inch underground pipelines, within a 75-foot-wide right-of-way (the "Right of Way") which crosses through Gwinnett County, Georgia, from west to east. The Right of Way specifically crosses a small portion of an 8.65 acre tract of wooded property (the "Property") located in Land Lot 74 in the 7th District of Gwinnett County, Georgia, now owned by the Simpsons. In locating and acquiring its Right of Way in 1962, Colonial commissioned Higgenbotham & James, registered surveyors, to perform a survey of the proposed 75-foot Right of Way. The surveyors concluded that the Right of Way would fall entirely on land then owned by C.H. Humphries just to the north of the Property. Colonial, in good faith, then negotiated and purchased an easement from Mr. Humphries which allowed Colonial to install and operate its underground pipeline system within the delineated 75-foot Right of Way.

3.

Unbeknownst to Colonial at the time, a small portion of the Right of Way crossed south of the Humphries property and under 0.328 acres in the northwest corner of the Property. Colonial has peacefully, continuously and exclusively maintained the Right of Way at this location for 35 years. At the time this encroachment first took place, the Property was owned by Joseph Shafer. The Simpsons did not obtain any ownership or contractual interest in the property until 10 years later, on November 15, 1972.

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4.

Ignitable refined petroleum is a hazardous liquid regulated by the United States Department of Transportation Office of Pipeline Safety under the Hazardous Liquid Petroleum Safety Act. 49 U.S.C. § 2001 *et seq.* The Department of Transportation also issues pipeline safety regulations which are codified at 49 C.F.R. Part 195 (the "Regulations"). The Regulations, among other things, have at all relevant times required Colonial to maintain its rights of way so as to have "clear visibility and to give reasonable access to maintenance crews." Colonial has also been required to prevent pipeline encroachments and prevent tree roots from damaging underground pipes in a manner sufficient to cause erosion. To fulfill these obligations, Colonial has at all relevant times used bi-weekly aerial patrols and inspections of its system within Gwinnett County and elsewhere. To facilitate these aerial inspections, Colonial has cleared away all trees and obscuring vegetation within its Right of Way. The Regulations, at 49 C.F.R. 195.3, incorporate by reference certain published standards, including A.N.T.I. B31.4 "Liquid Petroleum Transportation Piping Systems," 49 C.F.R. 195.3(c)(3)(ii)(1988), which provide in relevant part as follows:

451.4 Right of Way Maintenance

- (a) The right of way should be maintained so as to have clear visibility and to give reasonable access to maintenance crews.

451.5 Patrolling

- (b) Each operating company shall maintain a periodic pipeline patrol program to observe surface conditions on and adjacent to the pipeline right of way for indication of leaks, construction activity other than that performed by the company and any other factors affecting the safety and operation of the pipeline.

5.

Finally, the Regulations have at all times relevant to this action required that Colonial "place and maintain line markers over each buried pipeline in accordance with the following:

- (1) Markers must be located at each public road crossing, at each railroad crossing, and in sufficient number along the remainder of each buried line so that its location is accurately known.
- (2) The marker must state at least the following on a background of sharply contrasting color:
 - (i) The word 'Warning', 'Caution', or 'Danger' followed by the words 'Petroleum (or the name of the hazardous liquid transported) Pipeline'... all of which... must be in letters at least one inch high with an approximate stroke of one-quarter inch."

49 C.F.R. § 195-410(a). Colonial's records show that it has at all relevant times operated its system in compliance with the Regulations.

6.

Specifically, Colonial's records demonstrate that at least since 1977 Colonial has maintained such bright orange markers over its pipelines within the Right of Way as the pipelines have intersected Atkinson Road and as they have crossed under the creek which marks the easternmost boundary of the Property. (Plaintiff's Exhs. Nos. 4, 7, 9, 10 and 11).

7.

Since approximately 1962 when it installed its 36-inch trunk line, Colonial has openly and continuously occupied and claimed ownership of its Right of Way, even though it only became aware in 1996 that the Right of Way crossed under 0.328 acres on the Property. In accordance with the Regulations, Colonial's occupation and use of the Right of Way has at all relevant times been marked by, among other things: (a) the placement and maintenance of bright orange and black

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marker poles at all road, stream and utility crossings; (b) the clearance of all trees and vegetation off the Right of Way; and (c) regular ingress and egress by Colonial's personnel to inspect and maintain the lines. The Simpsons were at all relevant times aware of the existence of Colonial's clear cut right of way, but mistakenly believed that it did not cross under their Property. (Plaintiff's Exhs. Nos. 7, 9, 10 and 11).

8.

In addition, during 1978 Colonial installed its second trunk pipeline - this one 40 inches in diameter -- within the same 75-foot Right of Way, a massive construction project including heavy equipment that took place on the Property and elsewhere over a period of more than three months. The Simpsons therefore at all relevant times had at least constructive knowledge that Colonial was occupying and possessing the Right of Way.

9.

When Colonial first acquired the Right of Way, it had unrestricted statutory powers of eminent domain and the legal right to acquire land for its pipeline system. O.C.G.A. § 22-3-80 *et seq.* The controlling Georgia statute provided among other things that "[a]ny property or interest condemned pursuant to this Code section shall be deemed to have been condemned for public purposes." O.C.G.A. § 22-3-80(a). Colonial's records show that it either condemned or purchased underground easements from every property owner within Gwinnett County that it knew owned land along the Right of Way. At the time, however, Gwinnett County's plat drawings and tax maps were less accurate than they are today and Colonial did not realize that a portion of its 75 foot-wide Right of Way at one point briefly crossed onto the Property. Consequently, Colonial apparently did not obtain an easement from the Property's then-owner -- the only known gap in Colonial's easement

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chain of title. At that time, the Property was owned by Joseph E. Shafer who upon the otherwise lawful taking, apparently had a cause of action against Colonial for just compensation relating to the easement's fair market value as of 1962. Mr. Shafer sold the Property to the Simpsons by warranty deed on November 15, 1972, without ever making a claim against Colonial. (Plaintiff's Exh. No. 5).

10.

The Simpsons purportedly relied on a 1969 survey (Defendants' Exh. No.1), their closing attorney's certificate of title and Mr. Shafer's warranty of title, but chose not to purchase title insurance to protect their interests in the Property. Thereafter, for nearly 25 years, the Simpsons owned the Property without ever objecting to Colonial's possession and use of the Right of Way. In their Counterclaim, the Simpsons make no allegation or suggestion that Colonial somehow operates its pipeline system negligently or unlawfully or that Colonial somehow acquired its easement from Mr. Shafer by fraud. Rather, the Simpsons simply complain they did not know about and have never received payment for the pre-existing easement.

11.

Mac Meeks, a registered surveyor called as a witness by the Simpsons, conceded that he has lived and worked in Gwinnett County since before 1962, that he is very familiar with Colonial's system in Gwinnett County and that Colonial has at all times kept its Right of Way clear of trees and vegetation. He also conceded that his 1969 survey might contain an error as to the northern boundary line of the Property and that he was later able to determine by no later than 1984 that the Right of Way in fact crossed onto the Property.

12.

During 1996, the Gwinnett County Department of Transportation (the "DOT") notified Colonial that it intended to construct the so-called "Sugarloaf Parkway" across Colonial's Right of Way. To accommodate this new construction, the DOT notified Colonial that its Right of Way encroached on the Property and instructed Colonial to move its two pipelines where they will cross under the new parkway. Colonial had the area surveyed in anticipation of moving its pipelines. The new survey confirmed that Colonial's Right of Way in fact crosses under the Property at and around the point where the proposed Sugarloaf Parkway and the Right of Way intersect. Colonial's representatives then contacted the Simpsons and attempted to negotiate an acceptable resolution. Their efforts proved unsuccessful. Since Colonial is nevertheless required immediately to enter onto the site to move its pipeline to accommodate the Sugarloaf Parkway acquisition and construction, a judicial declaration as to whether and to what extent Colonial owns its Right of Way is now necessary and appropriate.¹

CONCLUSIONS OF LAW

1.

The Georgia Declaratory Judgment Act, at O.C.G.A. § 9-4-1 *et seq.*, authorizes this Court in cases of actual controversy such as this to declare the rights and other legal relations of any interested party petitioning for such declaration, "and the declaration shall have the force and effect of a final judgment or decree." Here, it is undisputed that the controversy is actual and requires

¹ By separate action, Colonial is seeking to condemn the new easement and temporary work space necessary to move its pipelines to accommodate the DOT. (Civil Action File No. 97-A-3621-1) This Court has stayed the Special Master proceeding pending its adjudication in this case.

immediate judicial resolution.

2.

Standing

Blackletter law dictates that "[d]amages for the taking of land or for the injury to land not taken belong to the one who owns the land at the time of the taking or injury, and they do not pass to a subsequent grantee of the land, except by a provision to that effect in the deed or by separate assignment. The [condemnor's] duty to compensate does not proceed to each subsequent owner because the taking occurs only once." 29A C.J.S., Eminent Domain § 194, p. 469(1972). In other words:

Compensation in general must be paid to the person who owned the property at the time it was taken or injured, or to one who, prior to the making of the award, has taken a valid assignment thereof from the owner. It is the owner at the time of the taking, not the owner at an earlier or later date, who is entitled to the compensation.

29A C.J.S., Eminent Domain § 188, p. 452; See also United States v. Dow, 357 U.S. 17, 20-21 (1958); Danforth v. United States, 308 U.S. 271 (1939); See also Murray v. U.S., 817 F.2d 1580, 1583 (Fed. Cir. 1987) ("Only one possessing an ownership interest in the real property at the time of the taking is entitled to receive the required compensation.")

3.

Similarly in this case, the Simpsons had no ownership interest or contractual rights of any kind to the subject Property when Colonial took possession of its Right of Way in 1962. The Simpson's subsequent purchase of the Property 10 years later gave them no legal right to compensation from Colonial. Consequently, the Simpsons lack standing to claim "just and adequate

compensation" from Colonial. This conclusion is without prejudice to Simpsons' claims, if any, against Mr. Shafer under their warranty deed.

4.

Statute of Limitations

In addition, under Georgia law "[a]ll actions for trespass upon or damage to realty shall be brought within four years after the right of action accrues." O.C.G.A. § 9-3-30. Georgia case law confirms that Colonial's taking in 1962 and its subsequent lawful operation of its pipeline system within its Right of Way are not and cannot be deemed nuisances. See Lawrence v. City of LaGrange, 63 Ga. App. 587, 11 S.E. 2d 696 (1940); U-Haul Co., etc. v. Abreu & Robeson, Inc., 247 Ga. 565, 277 S.E.2d 497 (1981); Georgia Power Co. v. Moore, 47 Ga. App. 411, 170 S.E. 520 (1933); Mullins v. Wheatley Grading Contractors, 184 Ga. App. 119, 361 S.E. 2d 10 (1987). Taken together, Georgia law requires that a claim for trespass or damage to realty based upon a taking of private property without just compensation must be brought within four years after the taking.

Moreover, "where property has been taken or damaged for public purposes by public authorities or a quasi-public corporation, the party injured, being entitled under the Constitution to 'just and adequate compensation' may bring one action therefor, within the time required by the statute of limitations, dating from the time of construction, not in tort for a nuisance, but to recover for the direct damage inflicted by the decrease in market value of the property damaged." Mullins v. Wheatley Grading Contractors, 184 Ga. App. 119, 120, 361 S.E. 2d 10(1987). The Court thus concludes that the Simpsons' claim of continuing nuisance is improper and, since they and their predecessor in title failed to bring an action against Colonial for "just and adequate compensation" within the time required under O.C.G.A. § 9-3-30, their claim (assuming standing) would now be

time barred as a matter of law.

5.

Prescriptive Title

Colonial has acquired by its possession prescriptive title to an easement on the Property. The undisputed evidence demonstrates that Colonial has possessed its Right of Way publicly, continuously, exclusively, peaceably and without interruption since 1962 -- now more than 35 years. Colonial has at all relevant times occupied, cleared and marked its Right of Way, even though neither Colonial nor the Simpsons realized until 1996 that the Right of Way crossed briefly onto the Property. Under Georgia law, an easement can be acquired by prescription in the same manner as a fee simple title. Chancey v. Georgia Power Co., 238 Ga. 397, 233 S.E. 2d 365 (1977); Kerlin v. Southern Bell Telephone & Telegraph Co., 191 Ga. 663, 13 S.E. 2d 790 (1941). The statutory elements of adverse possession are: possession that is public, continuous, exclusive, uninterrupted, peaceable, not originating in fraud and accompanied by a claim of right. Id.; O.C.G.A. § 44-5-161. Absent written evidence of title, adverse possession of the land must continue for at least 20 years before ripening into title by prescription. Id.; O.C.G.A. § 44-9-1. When the issue of prescriptive title is raised, the one claiming adverse possession is entitled to rely upon two legal presumptions: (1) a claim of right will be presumed from the assertion of dominion, particularly where (as in this case) the assertion of dominion is made by the erection of valuable improvements; and (2) possession originating in fraud will not be presumed. Nodvin v. Plantation Pipe Line Company, 204 Ga. App. 606, 420 S.E. 2d 322 (1992); Chancey v. Georgia Power Company, 238 Ga. 397, 398, 233 S.E.2d 365 (1977); Hall v. Gay, 68 Ga. 442 (1882); Evans v. Baird, 44 Ga. 645 (1872); Wiley v. Warmock, 30 Ga. 701 (1860). Both presumptions apply here and the Simpsons have presented no evidence

to rebut or challenge either presumptions.

6.

The Simpsons respond that an entity with eminent domain powers can never obtain prescriptive title to the property. This contention is not supported by any legal authority. To the contrary, there are numerous Georgia decisions in which public or quasi public utilities similar to Colonial, having lawfully built extensive delivery systems using eminent domain powers, discovered years later that a portion of their telephone or power or gas delivery system rights of way inadvertently ran onto, over or under someone's private property without their having first obtained a written easement or paid just compensation. See Kerlin v. Southern Bell Telephone & Telegraph Co., 191 Ga. 663(2), 13 S.E. 2d 790 (1941) ("Kerlin"); Humphries v. Georgia Power Company, 224 Ga. 128, 160 S.E.2d 351(1968); Chancey v. Georgia Power Company, 238 Ga. 397, 233 S.E.2d 365 (1977); Nodvin v. Plantation Pipe Line Company, 204 Ga. App. 606, 420 S.E. 2d 322 (1992); Friendship Baptist Church, Inc. v. West, 265 Ga. 745, 462 S.E. 2d 618 (1995). All follow the Georgia Supreme Court's reasoning set out 56 years ago in Kerlin, concluding that such utilities "acquired by adverse possession for twenty years a prescriptive easement over the defendants' land at least for the space actually occupied . . . together with the right of ingress and egress for the purpose of maintenance and repair." 191 Ga. at 666. The Supreme Court continued:

In order to acquire a prescriptive title by virtue of possession alone for twenty years, such possession must be actual, and the prescription will not extend beyond the "*possessio pedis*."

id. at 667.

7.

The Simpsons also suggest that Colonial could not have acquired a prescriptive easement because neither the Simpsons nor Colonial were actually aware of the encroachment until 1996.

Apparently, the Simpsons contend that an adverse possession cannot be "open" or "notorious" unless it is also deliberate. The law, however, contains no such "intentional" requirement -- only that the possession occur and that it be public, continuous, exclusive, uninterrupted and peaceable. The fact that neither party was aware of the encroachment until 1996 is legally irrelevant. 2 C.J.S. Adverse Possession § 26, p. 681 (1972). See also Bridges v. Brackett, 205 Ga. 637, 54 S.E. 2d 642, 645 (1949) ("That the plaintiff may have entered into possession of the land under the mistaken idea that the boundaries of the deed included the land would not prevent such adverse possession ripening into a prescriptive title in 20 years, nor would such mistake render the possession fraudulent, for an honest mistake as to the true line is not fraud.")

8.

The Court concludes that Colonial now has prescriptive title to the 0.328 acre easement that makes up the portion of its 75-foot-wide Right of Way that runs under the Property, as depicted in Plaintiff's Exhibit 4.

9.

As to the Simpsons' counterclaim, the Court concludes that they have set forth no legal basis for injunctive relief. The sole purpose for granting interlocutory injunctions is to preserve the status quo of the parties pending a final adjudication of the case. Bailey v. Buck, 266 Ga. 405, 467 S.E. 2d 554 (1996). As the Georgia Supreme Court has noted:

"[A]n interlocutory hearing is designed to balance the conveniences of the parties pending a final outcome of the case. Stated another way, it has been held that the real consideration should be as to whether the greater harm would result by the granting or the refusal of the interlocutory relief. In other words, if the danger to one party is great, while the probable harm to the other is minimal, then relief ought to be granted or refused in line with such probabilities." 15 E.G.L. 285, Injunctions, § 16 (1969). Accordingly, it has been held that "an interlocutory injunction should be refused where its grant would operate oppressively on the [nonmoving party's]

BK 14644 PG0018

rights, especially in such a case that the denial of the temporary injunction would not work 'irreparable injury' to the plaintiff or leave the plaintiff 'practically remediless' in the event it 'should thereafter establish the truth of [its] contention.'

Metropolitan Atlanta Rapid Transit Auth. v. Wallace, 243 Ga. 491, 254 S.E. 2d 822 (1979).

10.

Here, Colonial has carried its burden of demonstrating that: (a) it has prescriptive title to its Right of Way as it crosses onto the Property for 0.328 acres; (b) the Simpsons bought the Property subject to Colonial's pre-existing easement; (c) the Simpsons have no viable legal claim against Colonial for compensation; but (d) the Simpsons may have adequate legal remedies against their transferor -- Joseph Shafer. In addition, the status quo has Colonial continuing to deliver 70% of Georgia's petroleum needs through the two trunk lines that run underneath its Right of Way. Finally, the Simpsons concede that Colonial's use of its easement over the last 35 years has caused them absolutely no harm and has in no way caused physical damage to their Property. Under these circumstances, the Simpsons are plainly not entitled to injunctive relief that would: (a) gain the Simpsons very little; (b) interrupt indefinitely the country's largest petroleum delivery system; and (c) cause Colonial and the 14 states served by its system immediate, substantial and irreparable harm.

ACCORDINGLY, IT IS HEREBY ORDER AND ADJUDGED as follows:

A) Colonial's Request for a Declaratory Judgment is hereby GRANTED. It is hereby declared as a matter of law that Colonial owns prescriptive title to the 0.328 easement on the Property as depicted in Plaintiff's Exhibit 4 and is authorized and entitled to continue to operate and maintain its pipeline system within this easement, and to reasonable rights of ingress and egress thereto, all in accordance with applicable laws and regulations. The Simpsons are not entitled to any

BK 14644, PG 0019

compensation from Colonial relating to its taking possession and using this easement. This Final Order shall be recorded in the real estate records of Gwinnett County to evidence and provide notice of Colonial's ownership of and title to this easement.

B) The Simpsons' request for injunctive relief is hereby DENIED. Colonial may now proceed with its condemnation action for a new easement on the Property in Civil Action File No. 97-A-3621-I.

C) This Final Order fully resolves all issues pending in this Civil Action.

SO ORDERED this 21 day of August, 1997.

James W. Oxendine
JAMES W. OXENDINE
Judge, Superior Court of Gwinnett County
Gwinnett Judicial Circuit

Submitted by:

E. Kendrick Smith
E. Kendrick Smith
Georgia Bar No. 656725
Bruce D. Cohen
Georgia Bar No. 173394
Attorney for Plaintiff
Colonial Pipeline Company

CC: counsel of record

MICROFILM ROLL 314

BK 14946 PG 0128

ORIGINAL

IN THE SUPERIOR COURT OF GWINNETT COUNTY

STATE OF GEORGIA

GWINNETT COUNTY, GEORGIA	*	CIVIL ACTION
	*	
Condemnor	*	FILE NO. 95-A-07377-6
	*	
v.	*	
	*	

HAROLD W. SIMPSON AND RAE M.	*
SIMPSON 4,699.9 SQUARE FEET	*
OF PERMANENT SEWER EASEMENT	*
AND 4,699.9 SQUARE FEET OF	*
TEMPORARY CONSTRUCTION	*
EASEMENT	*

Condemnee

JUDGMENT OF COURT

It appearing to the Court that:

Special Master duly appointed and qualified has made an award and finding in the above-stated case;

All provisions of law as to service and notice on all parties interest in the property described in the petition has been complied with, pursuant to orders and directions of the Court consistent with justice and due process of law;

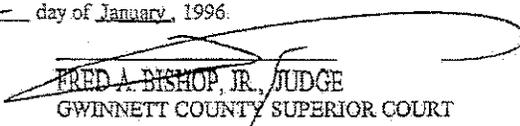
IT IS DECREED, ORDERED & ADJUDGED that the property described in the petition, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO

be, and the same is hereby condemned; and upon the payment of the sum of \$4,000.00 DOLLARS, the Condemnor, Gwinnett County, and its successors in office, are hereby vested with a fee simple title as to 4,699.9 square feet of a permanent sewer easement and 4,699.9 square feet of temporary construction easement, the property described in the petition.

Let this Order be filed as part of the record of this case.

SO ORDERED, this the 22 day of January, 1996.


 FRED A. BISHOP, JR. JUDGE
 GWINNETT COUNTY SUPERIOR COURT

219920

FILED IN 1996
CLERK OF SUPERIOR COURT
GWINNETT COUNTY, GA.

JAN 23 10 24 AM '96

GARY R. ... CLERK

97 OCT -8 AM 8:00
 TOM LAWLER, CLERK
 CLERK & REGISTER
 SUPERIOR COURT
 GWINNETT COUNTY, GA.

PROPERTY DESCRIPTION
FOR CONDEMNATION FOR SANITARY SEWER
TAX PARCEL 7/74/6

BK 14946 PG0129

Permanent Easement

All that certain tract and parcel of land lying and being in Land Lot 74, 7th District, Gwinnett County, Georgia being more particularly described as follows:

To find the TRUE POINT OF BEGINNING, commence at the point of intersection of the centerline of Atkinson Road (80' R/W) and the centerline of Georgia Highway 120 (80' R/W); thence following the centerline of Atkinson Road southerly 3,431.0 feet; thence leaving the aforesaid centerline, North 59° 22' 51" East, 40 feet to a point on the eastern right of way of Atkinson Road; thence leaving the aforesaid right of way, North 59° 22' 51" East, 763.20 feet to a point; thence North 59° 26' 51" East, 222.77 feet to a point (herein referred to as "Point A") also being the POINT OF BEGINNING; thence, leaving the aforesaid point of beginning:

1. North 12° 52' 57" West, 237.65 feet to a point; thence,
2. North 74° 02' 50" East, 20.03 feet to a point (herein referred to as "Point B"); thence,
3. South 12° 52' 57" East, 232.35 feet to a point; thence,
4. South 59° 26' 51" West, 20.99 feet to the POINT OF BEGINNING, containing 4,699.9 square feet of land, more or less.

Temporary Construction Easement

All that certain tract and parcel of land lying and being in Land Lot 74, 7th District, Gwinnett County, Georgia being more particularly described as follows:

BEGINNING AT A POINT referred to as "Point A" as defined in the previous description; thence,

1. South 59° 26' 51" West, 10.50 feet to a point; thence
2. North 12° 52' 57" West, 240.30 feet to a point; thence
3. North 74° 02' 50" East, 10.01 feet to a point; thence
4. South 12° 52' 57" East, 237.65 feet to a point referred to as "Point A" and being the POINT OF BEGINNING, containing 2,389.7 square feet of land, more or less.

BEGINNING AT A POINT referred to as "Point B" as defined previously; thence,

1. North 74° 02' 50" East, 10.01 feet to a point; thence
2. South 12° 52' 57" East, 229.70 feet to a point; thence
3. South 59° 26' 51" West, 10.50 feet to a point; thence
4. North 12° 52' 57" West, 232.35 feet to a point referred to as "Point B" being the POINT OF BEGINNING, containing 2,310.2 square feet of land, more or less.

BK 14946 P50130

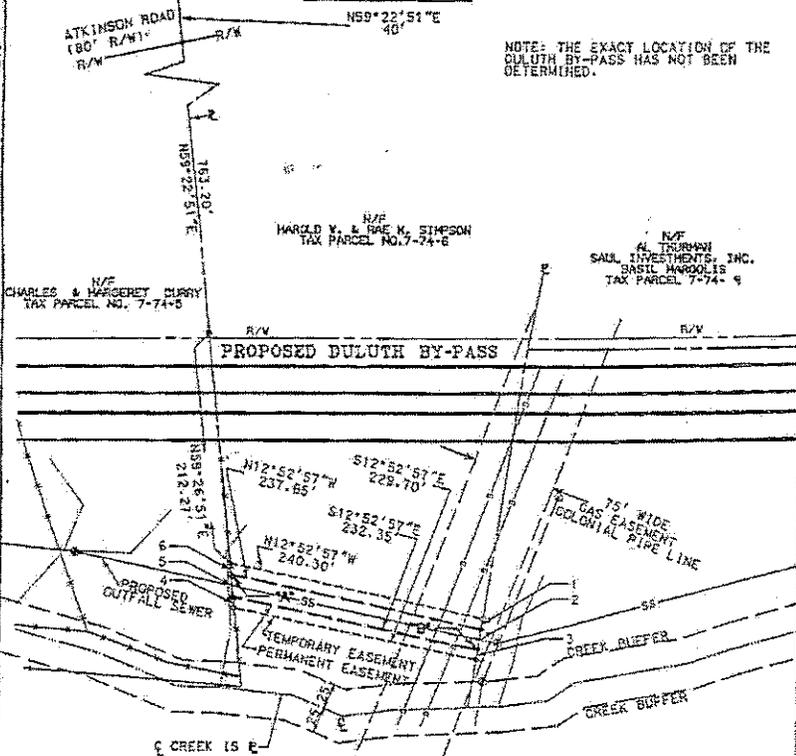
TAX PARCEL NO. 7-74-6

AREA TABULATION	
PERMANENT AREA	4,699.650 S.F.
TEMPORARY AREA	4,699.650 S.F.
TOTAL AREA	9,399.300 S.F.

1.	N74°02'50"E	10.01'
2.	N74°02'50"E	20.03'
3.	N74°02'50"E	10.01'
4.	S59°26'51"W	10.50'
5.	S59°26'51"W	20.99'
6.	S59°26'51"W	10.50'

3.431-0' FROM THE CENTERLINE INTERSECTION OF S.R. 120 (80' R/W) AND THE CENTERLINE OF ATKINSON ROAD (80' R/W)

CL	CENTER LINE
PL	PROPERTY LINE
S.F.	SQUARE FEET
S.S.	SANITARY SEWER MANHOLE
R/W	RIGHT OF WAY
SS	SANITARY SEWER LINE
N/F	NOT FOR RECORD
TE	TEMPORARY EASEMENT
PE	PERMANENT EASEMENT

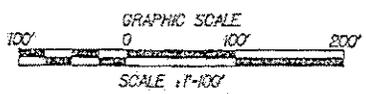


THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF ONE FOOT IN 70,025 FEET AND AN ANGULAR ERROR OF 24.0 SECONDS PER ANGLE AND WAS ADJUSTED USING THE COMPASS RULE.

THE LINEAR AND ANGULAR MEASUREMENTS SHOWN ON THIS PLAT WERE OBTAINED BY A FIELD SURVEY USING A LEITZ SET 3 TOTAL STATION.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE BY THE COORDINATE METHOD AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 226,164 FEET.

THIS SURVEY IS SUBJECT TO ALL RIGHTS OF WAY OR EASEMENTS AS SHOWN, RECORDED OR NOT RECORDED.



CONDEMNATION PLAT FOR SANITARY SEWER	
CROSSING PROPERTY OF HAROLD W. & RAE M. SIMPSON	
LAND LOT 74	7TH DISTRICT
GWINNETT COUNTY, GEORGIA	DRAWING # 4
DATE: JULY 21, 1995	SCALE 1"=100'

GREENHORNE & O'MARA, INC.
 2110 NEWMARKET PARKWAY, SUITE 208
 MARIETTA, GA 30067
 (404) 988-9655

REV: 5/11/95

IN THE SUPERIOR COURT OF GWINNETT COUNTY

STATE OF GEORGIA

GWINNETT COUNTY, GEORGIA

* CIVIL ACTION

Condemnor

* FILE NO. 95A073776

v.

HAROLD W. SIMPSON AND RAE M. SIMPSON 4,699.9 SQUARE FEET OF PERMANENT SEWER EASEMENT AND 4,699.9 SQUARE FEET OF TEMPORARY CONSTRUCTION EASEMENT

Condemnee

*

95 DEC -7 PM 3:49
GARRETT JAMES, CLERK
CLERK OF SUPERIOR COURT

NOTICE OF AWARD

I, James W. Garver, the Special Master appointed and chosen by the Court to hear evidence, give full consideration to all matters touching upon the value of the property or interest sought to be condemned as referenced above in the Superior Court, and having first taken the oath as required by law of the Special Master, the same having been filed with the Clerk of the Superior Court of Gwinnett County, which is the County of my residence, and having heard evidence under oath and given consideration to the value of such property or interest on the 6 day of December 1995, as provided for in the Order of the Court, do decide and recommend to the Court as follows:

- (1) I find and award to Condemnees, the sum of \$ 4,000.00, as the actual market value of the property or interest sought to be condemned;
- (2) I find consequential damages to the remaining property or interest in the amount of \$ None;
- (3) I find consequential benefits to the remaining property or interest in the amount of \$ None;
- (4) Balancing the consequential benefits against the consequential damages, I find and award to the Condemnees in this case in the total sum of \$ 4,000.00, and I respectfully recommend to the Court that the said property or interest be condemned by a judgment in rem to the

BK 14946 PG0132

use of the Condemnor upon the payment of the last stated sum into the Registry of Court, subject to the demands of the Condemnees.

This the 6 day of December, 1995.


SPECIAL MASTER

IN THE SUPERIOR COURT OF GWINNETT COUNTY

STATE OF GEORGIA

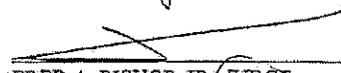
GWINNETT COUNTY, GEORGIA	*	CIVIL ACTION
	*	
Condemnor	*	FILE NO. <u>95-A-07377-6</u>
v.	*	
	*	
HAROLD W. SIMPSON AND RAE M.	*	
SIMPSON 4,699.9 SQUARE FEET	*	
OF PERMANENT SEWER EASEMENT	*	
AND 4,699.9 SQUARE FEET OF	*	
TEMPORARY CONSTRUCTION	*	
EASEMENT	*	
	*	
Condemnee	*	

FILED IN OFFICE
 CLERK SUPERIOR COURT
 GWINNETT COUNTY, GA
 97 SEP 10 AM 9:01
 TONI LAWLER, CLERK

CONSENT ORDER

This matter is before the Court pursuant to the consent of the parties. In executing this Consent Order, this Court acknowledges that the parties have expressly agreed, as indicated by their respective signatures hereto, that the total just and adequate compensation to which the Condemnee is due in this matter for all property taken by reason of Condemnor's Petition for Condemnation of Real Property in this matter, filed November 21, 1995, is \$10,000.00. This agreement between the parties is approved and made the final judgement of this Court.

SO ORDERED this 9 day of Sept, 1997.


 FRED A. BISHOP, JR., JUDGE
 Gwinnett County Superior Court

BK 14946 PG:134

Consented and agreed to by:

Caryl Sumner
County Attorney
Georgia Bar No. 082616

Karen Gilpin Thomas
Deputy County Attorney
Georgia State Bar No.: 295339



Robert L. Martin
Senior Assistant County Attorney
Georgia State Bar No: 493950

Gwinnett County Law Department
75 Langley Drive
Lawrenceville, Georgia 30045-6935
(770)822-8700

Attorney for Condemnors

Consented and agreed to by:



David P. Brenskelle
Brenskelle & Perry *By Robert L. Martin*
One Seventy-Five Heritage Center *with permission*
175 Gwinnett Drive, Suite 310
Lawrenceville, GA 30045

Attorneys for Condemnee

18338
8893

THE SUPERIOR COURT OF GWINNETT COUNTY, GEORGIA
STATE OF GEORGIA

FILED IN OFFICE
CLERK SUPERIOR COURT
GWINNETT COUNTY, GA

1987 SEP 16 PM 4:08

TOM LAWLER, CLERK

GWINNETT COUNTY, GEORGIA, *

Condemnor, *

v. *

31,002 square feet of
required right of way;
6,604.71 square feet of
permanent construction
easement; 1,669 square feet
of permanent drainage
easement; HAROLD W. SIMPSON;
& RAE M. SIMPSON, *

Condemnees. *

* CIVIL ACTION FILE NUMBER

97-16793-1

TOM LAWLER, CLERK

99 MAY 10 AM 8:00

FILED & RECORDED
CLERK SUPERIOR COURT
GWINNETT COUNTY, GA.

BN 18338 PG 0093

ORDER & JUDGMENT

The Petition in the above styled case with Declaration of Taking attached, and the Certificate of the Clerk showing the filing of such Petition and Declaration and deposit into Court of the sum of money estimated as just compensation for the property taken, as authorized by the Official Code of Georgia Annotated, Sections 32-3-4 through 32-3-19, it is

CONSIDERED, ORDERED, and ADJUDGED as follows:

1.

That the property described in the Petition of Condemnor and in the Declaration of Taking filed concurrently therewith being shown to be within the bounds of the required right of way of Project 7043, Sugarloaf Parkway, is hereby condemned to the use of Gwinnett County, together with such rights as described in such Petition and such Declaration, under authority of the Official Code of Georgia Annotated, and

70330

BK18338 PG0094

Gwinnett County and its successors are hereby vested with required right of way to such property and rights for the purposes described in said Petition and Declaration; not nothing herein contained is to be construed as depriving the name Condemnees or any person having an interest in, title to, or claim against said property of the right of appeal the estimated amount of just compensation to a jury in this Court, or of the right to apply for the appointment of a Special Master to review and determine the correctness of the amount of estimated compensation, as so deposited, or of the right to petition the Court to vacate and set aside said Declaration and this Judgment; but this Judgment shall be construed only as vesting title and the right of possession in the Condemnor as contemplated by the Official Code of Georgia Annotated;

2.

Gwinnett County having applied to the Court for immediate possession of said property 10 days from the date of filing of the Declaration of Taking, and it being provided in the Official Code of Georgia Annotated, that "....the Court shall have power to fix the time, the same to be not later than 60 days from the date of filing of the Declaration of Taking, as provided in Code Section 32-3-6, within which and the terms upon which the parties in possession shall be required to surrender possession to the Condemnor" let all persons in possession of such property, as well as the named Condemnees be served with a copy of said Petition and Declaration of Taking, and this Order, and they are hereby directed to surrender possession of the property to Gwinnett County no later than 10 days from the date of filing of the Declaration of Taking;

BK 18338 PG0095

3.

It being further ordered that Gwinnett County is authorized to grant a written extension of time to the persons in possession of the condemned property to extend the date of possession and this decision shall be in sole discretion of Gwinnett County and shall be effective upon terms and conditions prescribed by Gwinnett County;

4.

It is further ordered and directed that the Condemnee together with said Declaration of Taking be served in accordance with the provisions of the aforesaid Official Code of Georgia Annotated; that, where shown by the Petition, there are non-residents of the State of Georgia, who have title to, claims against, or any interest in said property, whose names and addresses are known, the Clerk provide for the service of such parties by United States Registered Mail, with return card required, as provided for in said Official Code and certify such service to the Court as part of this record in this case;

5.

That second originals of this Petition, including all orders and proceedings in connection therewith, as well as the Declaration of Taking, be issued by the Clerk for service upon the following named non-residents of this County:

Harold W. Simpson
8875 Huntcliff Trail
Atlanta, GA 30350

Rae M. Simpson
8875 Huntcliff Trail
Atlanta, GA 30350

BK 18338 PG 0096

6.

It is further ordered that a copy of this Petition and of said Declaration be served upon the tax collecting authorities of this county and of the municipality;

7.

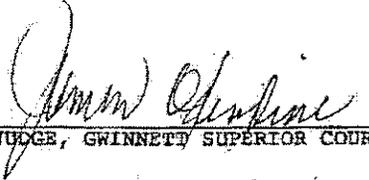
It being the purpose of this Order, to make certain, so far as is possible that all person having title to or interest, in or claims against the described property be given notice of the pendency of this proceeding; it is further ordered that such additional service be made as may be called for by the allegations of the Petition, together with the provisions of the Official Code of Georgia Annotated for such service; and, further that the Clerk of the Superior Court shall cause a Citation be issued and published in the official newspaper of said county, entitled in this cause, describing the property condemned in this proceeding, reciting also the filing of the Declaration of Taking by Condemnor, setting forth the names of the persons known or believed to be owners, or having an interest in or claims against said property and citing such persons, as well as all others claiming any title to an interest in said property, or in said fund on deposit with the Clerk which amount shall be set out in said Citation, to appear in this Court and make known their claims; and let such Citation be published in such newspaper for two (2) consecutive weeks, beginning with the issue of September 26, 1997.

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0097

BK18338 PG0097

Let this Order be filed as part of the record in this
case.

This 16th day of Sept, 1997.


JUDGE, GWINNETT SUPERIOR COURT

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BK 18338 PG 0098

FILING OFFICE
CLERK SUPERIOR COURT
GWINNETT COUNTY, GA

THE SUPERIOR COURT OF GWINNETT COUNTY

STATE OF GEORGIA

99 APR -6 PM 3:59

TOM LAWLER, CLERK

GWINNETT COUNTY, GEORGIA, *

Condemnor, *

CIVIL ACTION *

v. *

FILE NO. 97-A-6793-1 *

31,002 square feet of required right of way; 6,604.71 square feet of permanent construction easement; 1,669 square feet of permanent drainage easement; HAROLD W. SIMPSON; & RAE M. SIMPSON, *

Condemnees. *

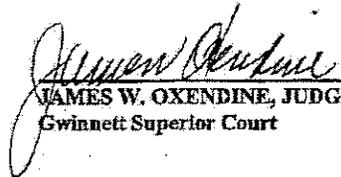
CONSENT ORDER

The above styled case having come on for consideration, and the parties having reached agreement regarding the payment of just and adequate compensation to the Condemnees, said agreement attached hereto as Exhibit "A", it is hereby

ORDERED AND ADJUDGED that the Condemnor shall pay into the registry of Gwinnett County Superior Court the sum of One Hundred Five Thousand Seven Hundred Fifty Dollars (\$105,750.00), making the total just and adequate compensation paid to the Condemnees One Hundred Fifty Three Thousand Six Hundred Dollars (\$153,600.00). Following the deposit of the above referenced sum, the Clerk of Gwinnett County Superior Court is hereby ordered to pay the funds, together with all applicable interest, to the Condemnees and their attorney, George P. Dillard. Upon the withdrawal of the stated funds and the execution of the documents specified in Exhibit "A", this case shall be closed.

5-6-99
pd \$105,750.00
B Smith 91
ck no 91

This 6 day of April, 1999.

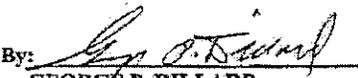

JAMES W. OXENDINE, JUDGE
Gwinnett Superior Court

CONSENTED TO BY:

CHANDLER & BRITT, LLC

By: 
LUTHER H. BECK, JR.
Attorney for Condemnor
GA Bar No. 046010

DILLARD & GALLOWAY, LLC

By: 
GEORGE P. DILLARD
Attorney for Condemnees
GA Bar No. 222000

cc: counsel of record

THE SUPERIOR COURT OF GWINNETT COUNTY

STATE OF GEORGIA

GWINNETT COUNTY, GEORGIA,	*	
	*	
Condemnor,	*	CIVIL ACTION
	*	
v.	*	FILE NO. 97-A-6793-1
	*	
31,002 square feet of required right of	*	
way; 6,604.71 square feet of permanent	*	
construction easement; 1,669 square feet	*	
of permanent drainage easement;	*	
HAROLD W. SIMPSON; & RAE M.	*	
SIMPSON,	*	
	*	
Condemnees.	*	

CONDEMNATION SETTLEMENT AGREEMENT

In consideration of the mutual benefits of the parties, the Condemnor and the Condemnees above agree to the following terms and conditions and a full and final settlement of their pending condemnation action, Gwinnett County, Georgia v. Simpson, Civil Action File No. 97-A-6793-1. Upon performance of the following specified items, the case will be fully resolved and the Gwinnett County Superior Court filed closed.

I.

Gwinnett County, Georgia agrees to pay to the Condemnees the sum of One Hundred Fifty Three Thousand Six Hundred Dollars (\$153,600.00) as just and adequate compensation for the real property interests specified in the instant pleadings.

EXHIBIT "A-1"

2.

Gwinnett County, Georgia agrees to construct and has constructed a median break as part of the road project at the southeastern boundary line of the property. See Exhibit 1 attached. The median break provides for interparcel access to each remainder of the subject property.

3.

Gwinnett County, Georgia will allow a curb cut for the remainders, both northeast and southwest of Sugarloaf Parkway, at a location to be determined pursuant to the Condemnees' request and Gwinnett County's regulations in effect at the time of the submitted request. Said curb cuts will allow interparcel access to each remainder.

4.

Gwinnett County, Georgia has constructed, as part of the Sugarloaf Parkway project, a "sleeve" underneath the roadway for future utility connections.

5.

Gwinnett County, Georgia has constructed, as part of the Sugarloaf Parkway project, storm water runoff pipes beneath the roadway. Said storm water runoff pipes were designed to convey the maximum potential amount of storm water runoff from the southwest remainder to the northeast remainder to avoid the necessity of storm water detention on the southwest remainder.

EXHIBIT "A-2"

BK18338 PG0102

6.

Gwinnett County, Georgia agrees, as part of the consideration for this settlement, to alter the design of the noise reduction wall, turning the wall west along the northwest property line.

7.

The Condemnees agree, as part of the consideration for this settlement, to facilitate the alteration of the noise reduction wall design by conveying both temporary and permanent easements as set out in Exhibit I to the Condemnor by deed.

This _____ day of _____, 1999.

GWINNETT COUNTY, GEORGIA
Condemnor

By: _____

Title: _____


HAROLD W. SIMPSON
Condemnee

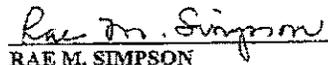

RAE M. SIMPSON
Condemnee

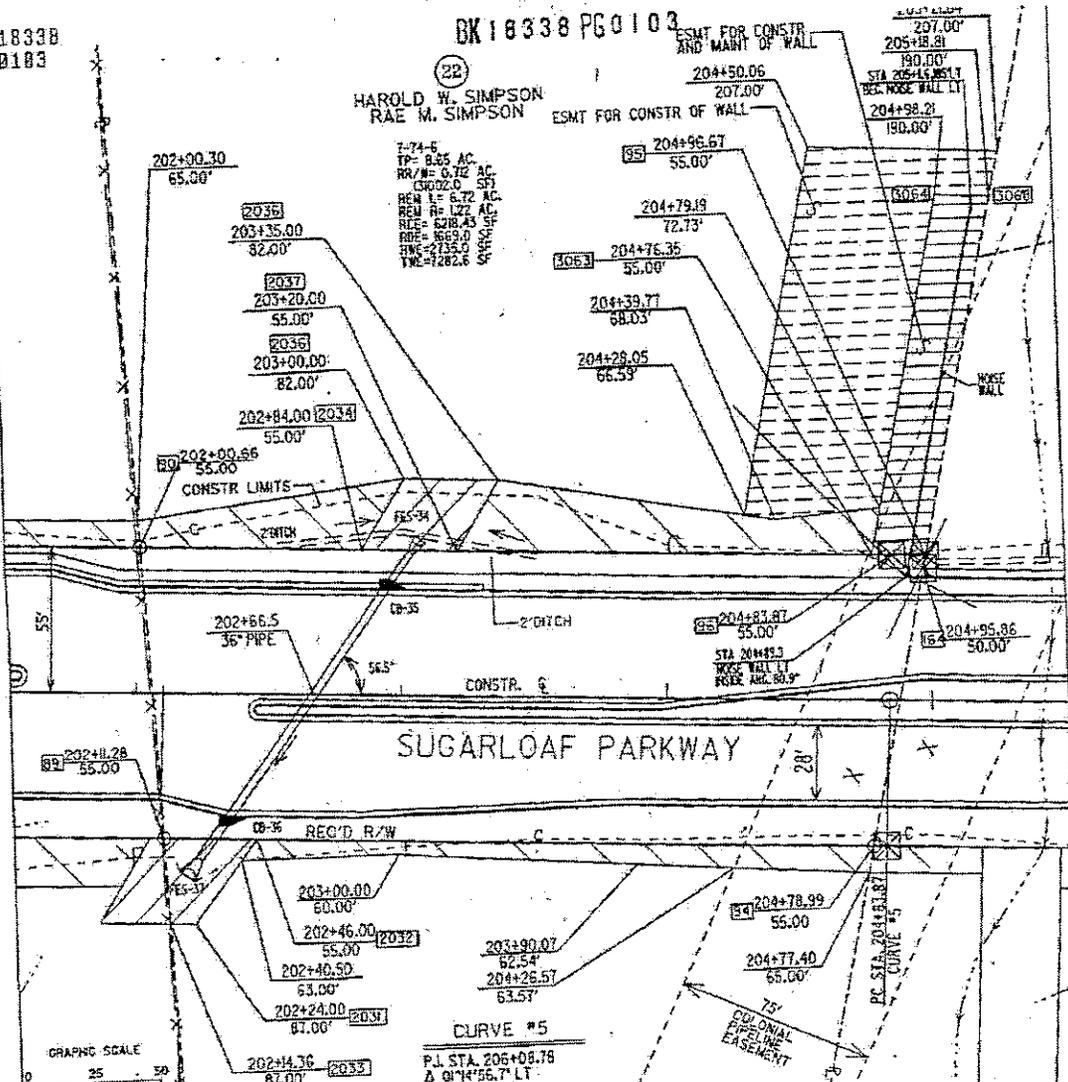
EXHIBIT "A-3"

18338
0183

BK18338 PG0103

22
HAROLD W. SIMPSON
RAE M. SIMPSON

7-74-6
TP= 8.25 AC.
RR/W= 6.72 AC.
CSD= 0.0
RER L= 5.72 AC.
RER R= 1.22 AC.
RLE= 628.43 SF
RDE= 1669.0 SF
RNE= 2135.0 SF
RWE= 7282.6 SF



GRAPHIC SCALE
0 25 50
SCALE: 1"=50' HORIZ.

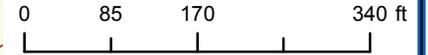
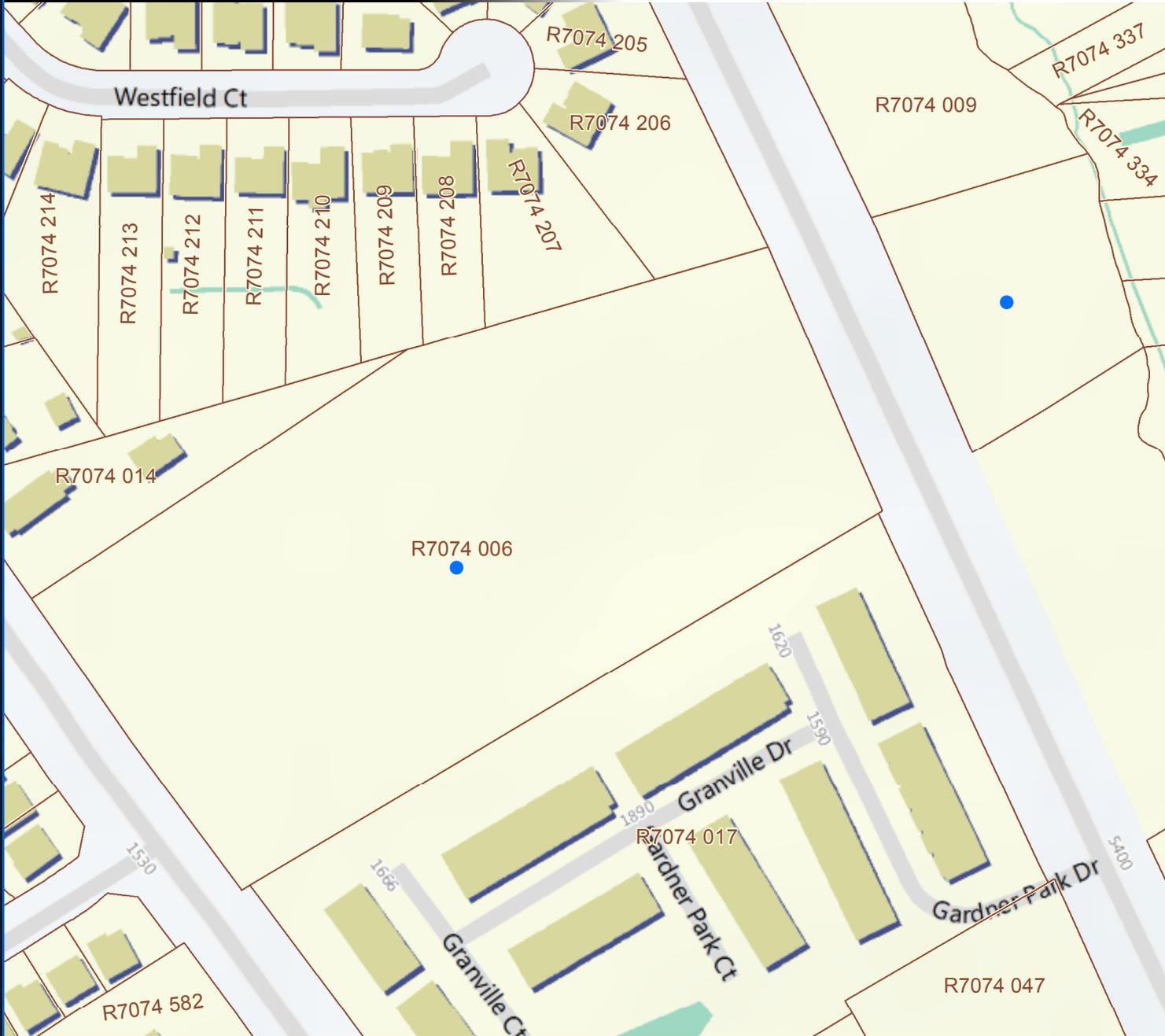
- LEGEND**
- EXIST R/W
 - REC'D R/W
 - REC'D R/W MONUMENT
 - COORDINATE PNT NO.
 - PARCEL NO.
 - ESMT FOR CONSTR OF SLOPES (RCE)
 - ESMT FOR CONSTR. OF DRIVEWAY (RDRE)
 - ESMT FOR CONSTR & MAINT OF DRAINAGE (RDE)
 - ESMT FOR CONSTR & MAINT OF WALL (RWE)
 - ESMT FOR CONSTR OF WALL (RWE)

CURVE #5

P.I. STA. 206+08.78
Δ 0°14'55.7" LT
D 00°30'00.0"
T 124.91'
L 249.81'
R 1459.16'
EXT. 0.68'
N 1444623.9234
E 2325492.6707
SE=NC

PARCEL NO. 22	
A RIGHT-OF-WAY PLAN FOR GWINNETT COUNTY DEPARTMENT OF TRANSPORTATION SUGARLOAF PARKWAY	PROPERTY ADDRESS ATKINSON ROAD LAWRENCEVILLE, GA 7-74-6
2ND DISTRICT LAWRENCEVILLE, GA GWINNETT COUNTY, GEORGIA	PROPERTY OWNER HAROLD W. SIMPSON RAE M. SIMPSON
ROSSER CIVIL ENGINEERING A DIVISION OF ROSSER INTERNATIONAL, INC	
DATE: 12/02/98	SCALE: 1"= 50'
JOB NO.: 7043	SHEET 1 OF 1

EXHIBIT



Property Parcels



This map is a graphical representation of data obtained from aerial photography, recorded deeds, plats, engineering drawings and other public records and data. Gwinnett County does not warrant the accuracy or currency of the data it has provided and does not guarantee the suitability of the data for any purpose, expressed or implied. ALL DATA IS PROVIDED AS IS, WITH ALL FAULTS, WITHOUT WARRANTY OF ANY KIND, EITHER EXPRESSED OR IMPLIED, INCLUDING, BUT NOT LIMITED TO, THE IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. This map is the proprietary product of Gwinnett County and in no event will Gwinnett County be liable for damages, including any loss of profits, lost savings, or other incidental or consequential damages arising out of the use of or inability to use this map.

Property Detail

HJE SIMPSON LP Mailing Address 3747 PEACHTREE RD NE APT 1018 ATLANTA, GA 30319-1369 Property Location 1625 ATKINSON RD LAWRENCEVILLE, 30043	Property ID R7074 006 Alternate ID 1299306 Address 1625 ATKINSON RD Property Class Neighborhood Deeded Acres 8.6500
--	--

Value History

Year	Reason	Appraised			Assessed			
		Land	Improvements	Total	Land	Land Use	Improvements	Total
2011	Notice of Current Assessment	\$302,800	\$0	\$302,800	\$121,120	\$0	\$0	\$121,120
2007	Land Value Adjusted For Market	\$302,800	\$0	\$302,800	\$121,120	\$0	\$0	\$121,120
2004	Conversion	\$310,300	\$0	\$310,300	\$124,120	\$0	\$0	\$124,120
2003	Conversion	\$310,300	\$0	\$310,300	\$124,120	\$0	\$0	\$124,120
2002	Conversion	\$310,300	\$0	\$310,300	\$124,120	\$0	\$0	\$124,120
2001	Conversion	\$82,400	\$0	\$82,400	\$32,960	\$0	\$0	\$32,960
2000	Conversion	\$82,400	\$0	\$82,400	\$32,960	\$0	\$0	\$32,960
1999	Conversion	\$82,400	\$0	\$82,400	\$32,960	\$0	\$0	\$32,960

Sales History

Book	Page	Date	Owner	Grantee	Type	Deed	Validity	Vacant Land	Sale Price
39905	239	9/13/2004	SIMPSON HAROLD & RAE M		S	WD		Yes	\$0

Land Details

Primary Use	Land Type	Acres	Eff Frontage	Eff Depth	Appr Value
		8.6500	0.00	0.00	\$237,900

Legal Description

Line	Description
0	ATKINSON RD

APPENDIX E
NON-SCOPE TESTING

June 14, 2012

Hearthside Sugarloaf, LP
2000 RiverEdge Parkway, Suite 950
Atlanta, Georgia 30328

Attention: **Jervon Harris**

Subject: **Vapor Encroachment Screen
Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
One Group Project #A2029**

One Consulting Group, Inc. (One Group) is pleased to provide this Vapor Encroachment Screen for the above-referenced property (Target Property).

GOVERNANCE

This scope of work was performed in accordance with ASTM Designation: E2600-10 “Standard Guide for Vapor Encroachment Screening on Property Involved in Real Estate Transactions” (Standard Practice).

BACKGROUND

One Group’s Environmental Site Assessment (Phase I) prepared for the Target Property dated June 14, 2012, was reviewed in accordance with the Standard Practice.

TIER 1 SCREENING ASSESSMENT

No recognized environmental conditions were identified associated with off-Site sources.

Potential for Impact from Petroleum Hydrocarbons from on-Site Sources: A petroleum pipeline crosses the Site’s southeast corner. This below-grade utility has the potential to impact the Site soil and groundwater with petroleum hydrocarbons. The potential impact pathway is soil and groundwater migration.

No further suspect or known contaminated sites were identified surrounding the Target Property within the *approximate minimum search distances*, as per Standard Practice Section 8.3.2.

TIER 2 SCREENING ASSESSMENT

One Group personnel mobilized to the Target Property on May 25, 2012, and obtained measurements, soil, and groundwater samples from two, on-Site, temporary soil borings. This investigation was performed in accordance with the published USEPA Region IV guidance documents “EISOPQAM” dated November 2007, and “SESD Field Branches Quality System and Technical Procedures”. Organic vapor readings exceeding background concentrations (greater than five parts per million) were not observed in any of the monitoring wells.

Soil and groundwater samples were laboratory analyzed for volatile organic compounds USEPA Method 8260. USEPA Method 8260 specifically targets regulated constituents of petroleum hydrocarbons. Volatile organic compounds were not detected above laboratory detection limits in any soil and/or groundwater sample analyzed.

CONCLUSIONS

A Vapor Encroachment Condition can be ruled out at this time because a Vapor Encroachment Condition does not or is not likely to exist. Vapor intrusion is unlikely at this time to be an issue of concern in connection with existing or planned structures on the Target Property.

CLOSURE

Thank you for the opportunity to be of service. If you have any further questions please do not hesitate to contact us.

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Principal

PRELIMINARY SUBSURFACE EXPLORATION
AND
GEOTECHNICAL ENGINEERING EVALUATION

AT

**Hearthside Sugarloaf
Lawrenceville, Georgia**

Submitted to

NorSouth Development Company of Georgia, LLC
2000 Riveredge Parkway, Suite 950
Atlanta, Georgia 30328

PROJECT NUMBER: MEG 301288
May 2012



MATRIX ENGINEERING GROUP, INC.
Geotechnical, Environmental, and Construction Materials Consultants

EXECUTIVE SUMMARY

A preliminary subsurface exploration was completed for the proposed Hearthside Sugarloaf development located in Lawrenceville, Georgia. The objective of this exploration was to evaluate the subsurface soil conditions and provide preliminary recommendations for the site preparation and construction of the proposed development. The following summarizes our findings and recommendations. For detailed information and discussions, refer to the appropriate section in the body of this report.

- ⊕ The proposed project will consist of the construction of new apartment homes at 1625 Atkinson Drive in Lawrenceville, Georgia. The proposed apartment building will be a 2 to 4-story structure. Proposed finished elevations were not provided at the time of this report.
- ⊕ A total of nineteen (19) preliminary soil test borings were performed throughout the subject site in order to explore the subsurface conditions and provide geotechnical recommendations for the proposed development
- ⊕ The surficial material at the undeveloped site consisted of a topsoil layer with leaf litter, organics, and hairline roots measuring between 6 and 12 inches in thickness. A small skid-steer dozer was used to clear access trails at the site, and the topsoil layer may be thicker at areas not disturbed by clearing.
- ⊕ Man made fill or disturbed soils were not encountered at any of the test boring locations. A review of historical aerials of the site showed no development on the property as far back as 1960. Underground utilities are located along the right-of-way of both Atkinson Road and Sugarloaf Parkway. Man-made backfill overtop the utility alignments should be anticipated.
- ⊕ Residual soils were encountered at each of the soil borings below surficial topsoil layer. The upper 3.5 to 6 feet of the residual material consisted of very loose to dense, clayey sand (SC) with a consistency (N-value) ranging between 4 blows/foot (bpf) and 43 bpf, but were typically observed between 10 and 25 bpf. The upper layer of clayey material was underlain by loose to dense, silty sand (SM) with interbedded layers of firm to very stiff, sandy silt (ML). The blow counts of the silty sand ranged between 5 and 40 bpf, while the sandy silt ranged between 4 and 16 bpf.
- ⊕ PWR was only encountered at soil borings B17, and its offset B17a, at depths ranging from approximately 3.5 feet BGS. The PWR was generally sampled as very dense brown to gray, silty sand, with mica. Auger refusal was encountered at a depth of 4 and 9 feet, respectively.
- ⊕ Groundwater was encountered at test borings in the lower elevation areas at the central and eastern portions of the site, including at test borings B2, B7, B8, B9, B18, & B19. The groundwater elevation was on the order of 938 feet MSL near the central portions of the site, and appears to slope downward toward the east to an elevation on the order of 923 feet MSL along Sugarloaf Parkway. The depth of the groundwater ranged between 8 and 14 feet BGS, and appears to be shallower where the existing topography provides the natural drainage swale across the central portions of the site.
- ⊕ At the time of preparing this report, only a conceptual site plan prepared by Foley Design on February 27, 2012, was available. The conceptual plan showed the general proposed site layout, but did not provide anticipated finished floor elevations or site grades. It appears that the sloping site elevation will be utilized to provide the fourth floor for the western portions of the building, as shown on the conceptual plan. However, based on the existing topography within the building footprint,

which ranges between 975 and 940 feet MSL, it appears that some mass grading including both cut and fill will be required to prepare the desired site grades. Because of the rock material encountered in test boring B17, we recommend that the general specifications for rock excavation, such as those provided in Section 7.1 of this report, be incorporated into the project documents.

- ⊕ The residual soils encountered in the test borings during this exploration appear to be suitable for reuse on the project as structural fill and/or backfill. Moist soils were encountered at depths between 6 to 10 feet at the lower lying areas of at the eastern portions of the site which may require some moisture conditioning (drying) during the installation of new underground utilities. Refer to Sections 7.1 & 8.1 for structural fill recommendations.
- ⊕ Groundwater impacts on construction will depend on final design elevations, but appear not to conflict with the proposed building location. However, based on the invert elevation (921.28 ft MSL) of the sanitary sewer manhole located at the southeast corner of the site, groundwater may be encountered during utility excavations, again depending on final design elevations. Refer to Section 7.2 for additional groundwater recommendations.
- ⊕ Based on the soils encountered, the existing subgrades appears to be adequate to support the proposed concrete slabs-on-grade and pavement sections. Once exposed, subgrades should be qualified by a proofroll inspection performed by the geotechnical engineer. Refer to Section 7.3 for additional recommendations.
- ⊕ Based on our experience with projects of similar magnitude and soil conditions, we recommend that a subgrade CBR value of 4 be used for the design of flexible pavements, and a modulus of subgrade reaction of 125 pci be used for the design of rigid pavements and concrete slabs-on-grade, provided the subgrade is prepared in accordance with our recommendations. Refer to Sections 7.4 & 7.5 of this report for specific design recommendations.
- ⊕ The data indicates that the building may be supported on shallow foundations. These foundations should be situated below the loose surficial materials in firm residual soils or newly constructed fill and be designed for a maximum allowable bearing pressure of 3,000 psf. Refer to Section 7.6 for additional recommendations.
- ⊕ The onsite material appears to be suitable for structural fill and retaining wall backfill. An effective angle of internal friction $(\phi)' = 30^\circ$ and a cohesion $c' = 200$ pcf can be used as design strength parameters for the material. Refer to Section 7.8 for additional soil design parameters.
- ⊕ Based on the Multi-Channel Analysis of Surface Waves (MASW) technique, we recommend that a Site Class "D" be used for seismic design purposes per IBC2006. Refer to Section 7.9 for recommended short (0.2-sec) and 1-sec design accelerations (S_{Ds} & S_{D1}).

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Executive Summary

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APPENDIX

Figure(s) 1a & 1b: Approximate Soil Boring Locations

Correlation of Standard Penetration Resistance with Relative Compactness Consistency

Soil Boring Logs

1.0 INTRODUCTION

Matrix Engineering Group, Inc. (Matrix) has completed the authorized preliminary Subsurface Exploration and Geotechnical Engineering Evaluation for the proposed Hearthside Sugarloaf development located along at 1625 Atkinson Road in Lawrenceville, Georgia. The objective of this exploration was to perform nineteen (19) soil test borings in order to explore the subsurface conditions, and provide the findings and preliminary recommendations regarding the geotechnical aspects of the proposed development. This report describes our investigative procedures and presents our findings, conclusions and engineering recommendations.

This work was performed in accordance with MEG Proposal Number 41112-3, and was authorized by Mr. Jervon Harris, Vice President for the Norsouth Development Company (NorSouth) on May 10, 2012.

2.0 PROJECT DESCRIPTION

- The proposed project will consist of the construction of new apartment homes on a 6.721 acres site located at 1625 Atkinson Road in Lawrenceville, Georgia.
- Presently, the site is undeveloped and is heavily wooded sloping downward moderately to gently toward the northeast from 970 feet MSL along Atkinson Road to 930 feet MSL along Sugarloaf Parkway.
- Based on the Conceptual Site Plan prepared by Foley Design Associates Architects Inc. on February 27, 2012, the proposed 2 to 4-story building will be located along the northern boundary toward the western portions of the site. Anticipated building loads were not provided at the time of this study.
- Additional site improvements entail parking areas and driveways south of the building and a detention pond at the northeast corner of the site.
- A grading plan showing proposed grades, finished floor elevations, utility locations or the elevations thereof, was not provided at the time of this study.

3.0 SCOPE OF WORK

The scope of work for this project consisted of:

- Drilling and sampling a total of nineteen (19) preliminary soil test borings located throughout the site in order to explore the subsurface conditions and provide geotechnical recommendations for the proposed development. Borings were extended to depths of 10 to 20 feet below the existing ground surface (BGS), or to auger refusal.

- Field and laboratory testing to determine the engineering characteristics of the soils encountered in the soil borings.
- Performing a Seismic Site Classification per Chapter 16 of the 2006 International Building Code (IBC2006) with 2010 Georgia Amendments utilizing the measured average shear wave velocity for the upper 100 feet of subsurface ($V_{s,100}$).
- Provide recommended short (0.2 second) and 1-second Design Response Accelerations (S_{Ds} & S_{D1}) for seismic events having a 2% probability of exceedance in 50 years.
- Performing a geotechnical engineering analysis for the proposed development.
- Preparation of this geotechnical report based on the data gathered during the exploration.

The purpose of this report is to determine the site's subsurface conditions, to analyze and evaluate the data obtained, and to provide recommendations regarding the geotechnical aspects of the proposed development.

4.0 EXPLORATION AND TESTING PROGRAM

4.1 Subsurface Exploration

The preliminary geotechnical exploration program consisted of the drilling and sampling of a total of nineteen (19) soil test borings located throughout the project site. Boring locations were designated by Matrix engineers, and were located in the field by Matrix staff utilizing tape measurements and a compass, while relying on existing features including power poles, property corners, hydrants, and topographical features. The approximate locations of the soil borings are shown on Figure(s) 1a & 1b presented in the Appendix of this report. For exact locations, the owner may elect to survey the boring locations. Matrix should be informed of any deviations in order to evaluate and modify our recommendations, if necessary.

The subsurface exploration was performed using a truck-mounted CME 45 drill rig in general accordance with ASTM D1586 standards. A small skid-steer dozer was utilized to clear trails across the undeveloped site in order to provide access for the drilling equipment to the designated test locations. The borings were advanced to depths of up to 20 feet BGS, or auger refusal, by augering through the soils with continuous flights of 3 inch augers. Soil borings where shallow auger refusal was encountered were offset in order to ascertain the depth and consistency of the refusal material. At regular intervals, the auger flights were removed from the bore hole, and soil samples were obtained through the center of the bore hole with a standard 1.4-inch I.D., 2-inch O.D., split-tube sampler. The sampler is first seated 6 inches to penetrate any loose cuttings, and then driven an additional foot with blows of a 140-pound hammer falling

30 inches. The number of hammer blows required to drive the sampler the final foot is recorded and is designated as the Standard Penetration Resistance (N-Value). The penetration resistance, when properly evaluated, is an index of the soil strength, consistency and ability to support foundations.

Representative soil samples were obtained using split-spoon sampling techniques. The samples were classified in the field in general accordance with ASTM D2488 (Visual-Manual Procedure for Description of Soils). Representative portions of the soil samples were placed in glass jars and transported to our laboratory. During the field operations, Matrix staff maintained a continuous log of the subsurface conditions including changes in the stratigraphy and any observed groundwater levels. Soil descriptions and penetration resistance values are presented graphically on the Soil Boring Records included in the Appendix of this report.

All borings were backfilled with the soil cuttings by Matrix Engineering after obtaining a 48+ hour stabilized groundwater reading. Some consolidation of the backfilled soil column should be expected.

4.2 Laboratory Testing

The laboratory testing program for this project consisted of performing soil classifications in accordance with ASTM D2488 (Visual-Manual Method for Identification of Soils). The soil samples were examined in the laboratory by a geotechnical engineer and visually classified on the basis of texture and plasticity in accordance with the Unified Soil Classification System (ASTM D2487).

5.0 SITE DESCRIPTION AND GENERAL SITE GEOLOGY

5.1 Site Description

The subject site is located at 1625 Atkinson Road in Lawrenceville, Gwinnett County, Georgia. At the time of this preliminary exploration, the site was undeveloped and was heavily wooded. The property is bound to the north and south by residential development, to the east by Sugarloaf Parkway, and to the west by Atkinson Road. Access trails were cleared across the site with a skid-steer dozer in order to provide access for drilling equipment to the test locations.

Based on the site survey, prepared by Land Development Survey, Inc on April 20, 2012, the site topography generally slopes downward in a northeasterly direction from Atkinson Road to Sugarloaf Parkway. The maximum site elevation is on the order of 976 feet MSL at the northwest corner of the site. The minimum elevation is on the order of 926 feet MSL at a drainage feature and headwall

pipings stormwater underneath Sugarloaf Parkway. The topography forms a natural drainage swale beginning near the middle of the northern site boundary, and flowing in an easterly direction toward the headwall at sugarloaf parkway. Topographic relief for the site is on the order of 50 feet.

5.2 General Site Geology

The subject site is located in the Piedmont Geologic Province, which contains the oldest rock formations in the Southeastern United States. The parent rocks in the region are primarily comprised of the unconsolidated mass of quartz, feldspar, mica, and a wide variety of dark minerals such as hornblende and amphibole. The proportion of felsic and mafic minerals in these parent rocks, as well as of quartz that is very resistant to weathering, limits the amount of clay in the soils. Therefore these soils are sandy and have faint horizons, and in small-scattered areas, hard rock is exposed.

Chemical decomposition initially occurs along the boundaries of individual mineral crystals. As a result, partially weathered rock has the appearance of dense sand (SM, SP). With further weathering, the individual crystals other than quartz are attacked and the mass becomes a micaceous silty sand (SM) or micaceous sandy silt (ML). In this stage, the original banding of the parent rock is apparent, but the original crystalline structure is not observed. Reflecting the composition of the original rock, mica flakes, rather than the quartz grains, often comprise the majority of the sand-size particles. Finally, in the more advanced stages of chemical weathering, the material is changed into a red or reddish-brown silty clay (CL or CH) or clayey silt (ML or MH). Depending on the quartz content, a sandy fraction will be present. In this weathered stage, the banding and crystalline structure of the parent rocks is lost.

6.0 GENERAL SUBSURFACE CONDITIONS

The subsurface conditions were characterized by visual-manual examination of the soils obtained from the split-spoon sampler and observation from the auger cutting during the drilling operation. The soil boring logs, designated as B1 to B19, are provided in the appendix of this report. The subsurface conditions within the drilled borings are characterized as follows:

6.1 Surface Materials and Man-Made Fill

The surficial material at the undeveloped site consisted of a topsoil layer with leaf litter, organics, and hairline roots measuring between 6 and 12 inches in thickness. A small skid-steer dozer was used to clear access trails at the site, and the topsoil layer may be thicker at areas not disturbed by clearing. This information should not be relied upon for the purposes of estimating topsoil quantities.

Man made fill or disturbed soils were not encountered at any of the test boring locations. A review of historical aerials of the site showed no development on the property as far back as 1960. Underground utilities are located along the right-of-way of both Atkinson Road and Sugarloaf Parkway. Man-made backfill overtop the utility alignments should be anticipated. The utility easements are off of the subject property, and could not be explored with drilling equipment. However fill material overtop of underground utilities may only potentially impact construction of the entrance drives. Any fill material encountered during construction of the driveways should be qualified at that time.

6.2 Residual Material

Residual soils are those which have weathered in place from the parent rock. Residual soils were encountered at each of the soil borings below surficial topsoil layer. The upper 3.5 to 6 feet of the residual material consisted of very loose to dense, clayey sand (SC) with a consistency (N-value) ranging between 4 blows/foot (bpf) and 43 bpf, but were typically observed between 10 and 25 bpf. The upper layer of clayey material was underlain by loose to dense, silty sand (SM) with interbedded layers of firm to very stiff, sandy silt (ML). The blow counts of the silty sand ranged between 5 and 40 bpf, while the sandy silt ranged between 4 and 16 bpf.

6.3 Partially Weathered Rock and Bedrock

Partially Weathered Rock (PWR) is a regionally used term for residual material with a Standard Penetration Resistance of 100 bpf or more, but which can be penetrated by the soil drilling equipment. PWR was only encountered at soil borings B17, and its offset B17a, at depths ranging from approximately 3.5 feet BGS. The PWR was generally sampled as very dense brown to gray, silty sand, with mica.

Auger refusal was encountered at soil borings B17 and B17a at a depth of 4 and 9 feet, respectively.

The upper and lower boundaries of the partially weathered rock zone may be poorly defined. In many cases the zone may be overlain by very dense residual soils similar in many respects to partially weathered rock. Lenses of moderately hard to hard rock often exist within the partially weathered rock zone. These lenses may cause refusal to soil drilling methods prior to encountering relatively sound, continuous rock.

6.4 Groundwater

Groundwater level measurements were obtained in boreholes during the drilling operations and after 48+ hours. Groundwater was encountered at test borings in the lower elevation areas at the central and eastern portions of the site, including at test borings B2, B7, B8, B9, B18, & B19. The groundwater elevation was on the order of 938 ft MSL near the central portions of the site, and appears to slope downward toward the east to an elevation on the order of 923 feet MSL along Sugarloaf Parkway. The depth of the groundwater ranged between 8 and 14 feet BGS, and appears to be shallower where the existing topography provides the natural drainage swale across the central portions of the site.

The geologic profile described generally represents the conditions encountered in the soil borings. Some variations in the description should be expected. The stratification lines designating the interfaces between earth materials shown on the boring logs are approximate; in-situ transition may be gradual.

7.0 FINDINGS AND RECOMMENDATIONS

The following recommendations are based on the information furnished to us, the data obtained from the subsurface exploration, and our past experience with similar projects. They were prepared in general accordance with established and accepted professional geotechnical engineering practice in this region. Our recommendations are based on findings from the dates referenced within this report and do not reflect any variations that would likely exist at later dates or between the pre-designated borings or unexplored areas.

If information becomes available which may impact our recommendations, Matrix Engineering Group shall be afforded the opportunity to review this information and re-evaluate the recommendations contained within this report and make any alterations deemed necessary by a Georgia Registered professional engineer. This report is intended for the use of the NorSouth Development Company and its current design team. No other warranty is expressed or implied. Matrix Engineering Group, Inc. is not responsible for conclusions, opinions, or recommendations made by others based on this report.

The following recommendations present general guidelines for the proposed development:

7.1 Excavation Considerations

At the time of preparing this report, only a conceptual site plan prepared by Foley Design on February 27, 2012, was available. The conceptual plan showed the general proposed site layout, but did

not provide anticipated finished floor elevations or site grades. It appears that the sloping site elevation will be utilized to provide the fourth floor for the western portions of the building, as shown on the conceptual plan. However, based on the existing topography within the building footprint, which ranges between 975 and 940 feet MSL, it appears that some mass grading including both cut and fill will be required to prepare the site desired grades for the structure.

Generally, the residual material encountered in the upper 20 feet of the subsurface will be excavatable utilizing conventional grading equipment. However PWR was encountered at test boring B17, and its offset B17a, at 3.5 feet BGS with auger refusal at 4 and 9 feet BGS, respectively. Depending on the final design elevations, some amount of non-conventional grading, such as blasting or hammering may be required near this area. Based on these observations, we recommend that the following general specifications for rock excavation, or a variation thereof, be incorporated into the project documents:

General Recommendations for Rock Excavation:

Rock excavation shall consist of all material which cannot be excavated except by drilling, blasting or wedging. This means that rock should only apply to materials that can not be excavated using the rated earthmoving equipment listed under items 1 and 2, below. It shall consist of un-decomposed stone hard enough to ring under a hammer, and the amount of solid stone shall be not less than one (1) cubic yard in volume. Rock is further defined as follows:

- (1) General Excavation: Any material occupying an original volume of more than one cubic yard which cannot be excavated with a single shank ripper drawn by a crawler tractor having a minimum pry-out force with the ripper rated at not less than 50,000 pounds (i.e. Caterpillar D8 or larger)***
- (2) Trench Excavation: Any material occupying an original volume of more than one cubic yard which cannot be excavated with a backhoe having a bucket curling force rated at not less than 32,000 pounds, using a rock bucket and rock teeth (i.e. Caterpillar 325D or larger).***

Rock quantification should be based on a surveyed profile of exposed rock that is verified as unrippable. Relying on rock blasting drill logs should not be permitted. Decomposed rock and partially-weathered rock that can be removed by tractor-drawn ripper or power machinery, as previously defined, will be classified as earth excavation, and should be billed as such.

The residual soils encountered in the test borings during this exploration appear to be suitable for reuse on the project as structural fill and/or backfill. Fill soils should be free of organics and other deleterious

material. Small rock boulders and cobbles larger than 2 inches in nominal size should be removed from structural fill. Moist soils were encountered at depths between 6 to 10 feet at the lower lying areas of at the eastern portions of the site which may require some moisture conditioning (drying) during the installation of new underground utilities. Structural fill recommendations are provided in Section 8.1 of this report.

7.2 Groundwater & Dewatering

Groundwater impacts on construction will depend on final design elevations, but appear not to conflict with the proposed building location. However, based on the invert elevation (921.28 ft MSL) of the sanitary sewer manhole located at the southeast corner of the site, groundwater may be encountered during utility excavations, again depending on final design elevations.

Groundwater levels should be maintained a minimum of 3 feet below the bottom of any proposed excavation (only during construction) in order to protect the exposed subgrade's integrity. Groundwater levels should be controlled utilizing sump and pump systems as needed at the time of construction. If necessary, a thin "mud-mad" of lean or rejected concrete, or crushed stone, can be placed at the bottom of an open excavation in order to protect the exposed sub-grades integrity.

7.3 Subgrade Preparation

Based on the soils encountered, the existing subgrades appear to be adequate to support the proposed concrete slabs-on-grade and pavement sections. Subgrade preparation for the proposed development should be the stripping of topsoil and soft soils, if encountered, and recompacting the upper 12 inches of the exposed subgrade to 98% of the maximum dry density, as determined by Standard Proctor testing (ASTM D698). Underground utility lines, or other items, such as septic tanks, or trash pits that may be encountered during the grading operation should be treated on an individual basis.

Once prepared, the suitability of the exposed subgrades in all areas should be confirmed by a geotechnical engineer. A proofroll test should be performed by a loaded tandem-wheeled dump truck with an approximate weight of 25 tons. Any material that deflects excessively or ruts under the loaded truck should be densified or removed and replaced with well-compacted materials. The proofrolling should be observed by the geotechnical engineer.

7.4 Slab-On-Grade Construction

Upon preparing the subgrade soils satisfactorily, floor or grade slabs may be soil supported. Based on the information obtained from the test boring records, and our experience with similar projects, a modulus of subgrade reaction (k) of 125 pci can be used for designing the floor slab-on-grade. Slab reinforcement and joint spacing should be carefully considered to control random cracking due to slab shrinkage. Slabs should be isolated from the foundations to allow differential movements to take place between the slab and walls. We recommend that a 10 mil vapor barrier/retarder (such as polyethylene) be installed below the (slab-on-grade) concrete to limit intrusion of water vapor through the slab. Beneath slab-on-grade areas, a minimum of 4 inches of clean, densely-graded, granular material with a balanced content of fines is recommended to facilitate fine grading and provide stable surface for construction traffic and building loads. Open-graded bases do not meet these requirements because they are relatively incompactable, difficult to trim, and are unstable for construction traffic. It is also difficult to fine grade an open-graded base to a relatively uniform elevation, which can result in restraint to concrete movement as the concrete cools or dries, thus increasing the probability of out-of-joint cracking. If open-graded bases are specified, the surface of these bases should be choked off with a clean fine-graded material with at least 10 to 30% of the particles passing a No. 100 sieve, but not contaminated with clay, silt, or organic material.

7.5 Pavement Design

Based on our experience with projects of similar magnitude and soil conditions, we recommend that a subgrade CBR value of 4 be used for the design of flexible pavements, and a modulus of subgrade reaction of 125 pci be used for the design of rigid pavements, provided the subgrade is prepared in accordance with our recommendations.

The architect/engineer should select the pavement section most appropriate to the development based on available traffic data and anticipated traffic loads. Pavements should be constructed in accordance with all applicable specifications of the Asphalt Institute and the Georgia Department of Transportation:

Pavements sub-base (Graded Aggregate Base) should conform to Section 815 of the State of Georgia Department of Transportation Specifications for Road and Bridge Construction. The sub-base should be compacted to 100% of the maximum dry density for crushed stone as determined by the modified moisture-density relationship test (ASTM D 1557C). Additionally, proofrolling of the finished sub-base should be performed prior to paving in order to detect any soft spots or excessive rutting which may require stabilization.

Pavements should be provided with the facilities for surface and subsurface drainage. Standing water on the pavement surface eventually may seep into the base course layer and soften the pavement subgrade which leads to premature deterioration of the pavement. In areas where landscape areas slope toward the pavement, a perimeter drain along the back of the curb intercepting migration of surface water should be provided to minimize seepage under the pavement.

7.6 Foundations

The data obtained from the soil borings indicate that the proposed building(s) may be supported on shallow footing-type foundations. These foundations should be situated below the surficial topsoil layer, in firm residual soils, or in newly constructed fill. If rock excavation is required during footing preparation, the rock material should be over-excavated an additional 8 inches and backfill with #57 stone in order to bed the footing on a uniform surface and not the jagged rock which could introduce stress concentration to the concrete footing.

We recommend a maximum net allowable soil bearing pressure not to exceed 3,000 pounds per square foot (psf) for design of foundations constructed in the recommended bearing strata described above. The net allowable soil bearing pressure refers to that pressure which may be transmitted to the foundation soils in excess of the final minimum surrounding overburden pressure. We recommend that all continuous footings have a minimum width of 2 feet, and should be a minimum 18 inches below subgrade elevations to prevent shear failure and to minimize the effects of frost.

Total settlement of footing foundations situated in the recommended bearing strata will depend on the magnitude of load and size of footing. For lightly to moderately loaded structures such as one to two-story buildings, settlement is estimated to be on the order of 1 inch or less. Based on the subsurface conditions, we do not anticipate differential settlements to exceed $\frac{1}{2}$ inches between column supports (assuming 50 foot spacing), provided that all foundations bear within the recommended residual soils, newly constructed fill and/or properly evaluated existing fill.

A recommended foundation inspection criterion is provided in Section 8.2 of this report.

7.7 Slopes and Vertical Cuts

A common practice in this region has been to limit slopes to 2.0(H) to 1.0(V) or flatter. The soil conditions at this site may tolerate a maximum temporary slope of 1.0(H) to 1.0(V). The soils in this area may contain fissures, foliation planes and other discontinuities that could cause sloughing or possibly a

slope failure, even on relatively flat slopes. Therefore, the excavation for the slopes should be monitored by a geotechnical engineer to ensure that soil conditions are similar to those we have encountered. Potential planes of weakness will be more visible at depth as the excavation proceeds. If weak conditions are evident, the engineer can then recommend any necessary remedial actions.

Vertical cuts that exceed 5 feet should be braced or shored as required by OSHA regulations for safety. Additionally, stairways, ladders, ramps or other means of safe access should be made available for any trenches deeper than 4 feet. If any excavation, including a utility trench, is extended to a depth of more than 20 feet, it will be necessary to have the slopes designed by a professional engineer.

7.8 Retaining Walls and Lateral Earth Pressures

The design of any retaining wall is based on the determination of the lateral earth pressures that will act on the wall. These pressures are a function of the retained soils properties, and the structural design of the wall. Three common conditions are considered to exist behind a retaining wall depending on the wall's structural design; namely Active, At-Rest, and Passive earth pressure conditions. Active earth pressures are mobilized when a relatively flexible retaining structure such as a free standing wall is designed allowing for slight movement or deflection. At-rest conditions apply to restrained retaining wall design such as basement or tunnel walls. The passive state represents the maximum possible pressure when a structure is pushed against the soil, and is used in wall design to help resist at-rest or active pressures. Since significant movement has to occur before the passive earth pressure is mobilized, the total calculated passive pressure should be reduced by one-half to two-thirds for design purposes.

Based on our experience, wall movement (known as tilt) that is necessary for earth pressures to mobilize range from 0.01H to 0.02H for the Active state, and 0.02H to 0.04H for the Passive state. It is assumed that the ground surfaces behind retaining walls will be constructed relatively level and that residual soils like those encountered in our borings will be used for wall backfill. Based on our experience with similar soils and laboratory test data, we recommend that an effective angle of internal friction (Φ') = 30° and a cohesion $c' = 200$ psf be used as design strength parameters for the silty sand (SM) encountered at the site. These strength parameters result in the following earth pressures coefficients and equivalent fluid pressure per foot of depth for compacted fill (based on a total (wet) unit weight (γ_w) of 120 pcf). A coefficient of friction of 0.40 could be used between the wall foundations and the underlying soil. When calculating the resistance to sliding, we recommend using a factor of safety of 1.5.

Table 1

<i>Earth Pressure Condition</i>	<i>Coefficient</i>	<i>Recommended Equivalent Earth Pressure (pcf)¹</i>
Active	(K _a) 0.33	40.0
At-Rest	(K _o) 0.50	60.0
Passive	(K _p) 3.0	--

¹ Assumes a constantly functional drainage system.

Backfill against the walls should be done carefully to minimize the horizontal load on the wall. Heavy equipment should not be used to compact the soil within 10 feet of the walls. The use of hand-tampers should be sufficient to obtain the required density when working the 10-foot zone adjacent to the wall. Recommended structural fill specifications and procedures are provided in Section 8.1 of this report.

These retaining wall/below grade wall recommendations should not be correlated with soil parameters for use in Mechanically Stabilized Earth (MSE) wall design. We recommend that soil parameters for any MSE retaining wall design be established through appropriate laboratory testing by the wall designer.

7.9 Seismic Site Classification (IBC 2006 with 2010 GA Amendments)

Matrix conducted an analysis, utilizing the Multi-Channel Analysis of Surface Waves (MASW) technique, to determine the Seismic Site Classification for the proposed site. The Probabilistic Ground Motion values were retrieved for a central location within the project site, utilizing the USGS Earthquake Hazards Program, using latitude (N33° 58' 11.4") & longitude (W84° 4' 24.1"). The following are the Spectral Response Acceleration Parameters for a 2% probability in 50 years:

S_s: Short period (0.2), Spectral Response = 0.241

S₁: 1-second period, Spectral Response = 0.089

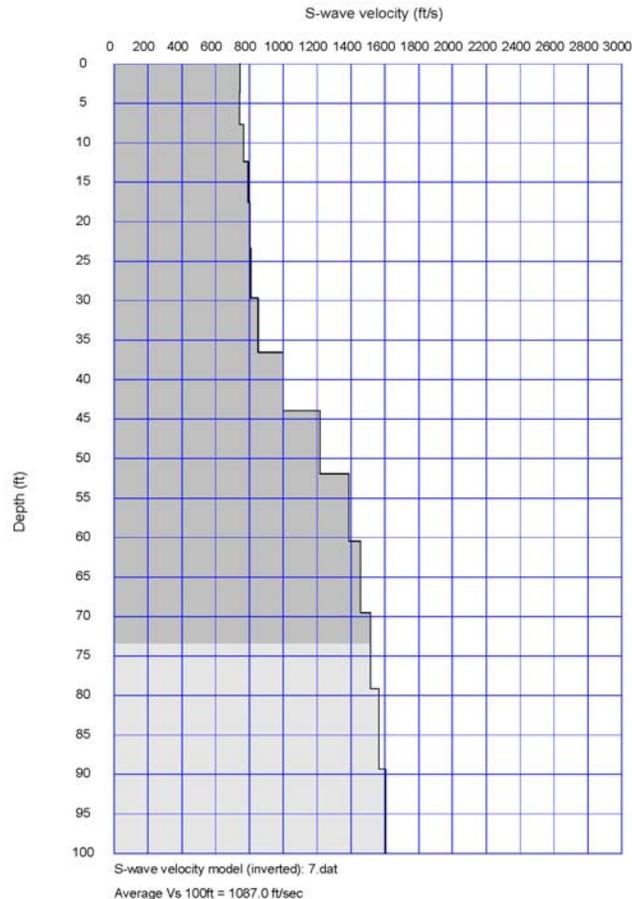
The site classification was undertaken in general accordance with the International Building Code 2006 (IBC 2006), Section 1613.5.5.1, by relying on the shear wave velocity for the upper 100 ft of the subgrade.

A site-specific seismic evaluation was carried out by conducting surface velocity testing and performing a Multi-Channel Analysis of Surface Waves (MASW) in order to determine the Seismic Site Classification for the proposed project. MASW utilizes seismic energy of Rayleigh type surface waves to calculate shear wave velocity. For this method, the geophones (receivers) remain stationary

and data is collected with the source located off the end of the line of geophones. Data is collected at multiple locations (i.e., offsets) in order to obtain the optimal survey settings that would yield the most coherent data set. This data is then processed and inverted to calculate a 1-D shear wave velocity profile.

A weighted average of the 1-D shear wave velocity profile can then be used to get an average shear wave velocity down to the maximum depth of the 1-D shear wave velocity profile. For this survey, the field data was collected along a traverse oriented in a east-west direction, as shown on Figure 1 in the Appendix of this report. Geophones were spaced 5 ft apart and the source position was located 25 feet off the east end of the transect. The source consisted of a 20 kg sledge hammer striking a steel plate. The data was collected using a 24-channel Geode seismograph, manufactured by Geometrics, Inc., with 4.5 Hz geophones.

The data was processed using the WaveEQ software package, developed by Geometrics. This software is used to process and invert the surface wave data, and produces a 1-D shear wave velocity model, presented below.



The analysis yielded an average shear wave velocity V_{s100} at 1087 ft/sec. This value corresponded to a Site Class D. A Site Class D correlates to the following site coefficients adjusted for site class, based on Tables 1613.5.3(1) and 1613.5.3(2) of IBC 2006:

$$\underline{F}_a = 1.6$$

$$\underline{F}_v = 2.4$$

The maximum considered earthquake spectral response accelerations (per 1613.5.2 and 1613.5.3 of the IBC 2006) for short periods and at 1-second periods follow:

$$S_{MS} = 0.386$$

$$S_{MI} = 0.213$$

This translates to the following Design Spectral Response Acceleration Parameters (per 1613.5.4 of the IBC 2006):

$$S_{DS} = 0.257$$

$$S_{DI} = 0.142$$

8.0 CONSTRUCTION RECOMMENDATIONS

8.1 Structural Fill

Staged, methodical and well planned grading is key to avoiding unnecessary costs and time delays. Areas should not be stripped or disturbed if the grading contractor is unable to properly seal the subgrade prior to departure each day. Exposure of soils to moisture from direct rainfall or runoff usually renders these soils un-usable for several days. This usually gets mischaracterized as an unsuitable soils condition which is inaccurate. Unsuitable soils are defined as those containing deleterious matter (such as organics, alluvium, debris and/or trash). Moisture related problems should be avoided by employing best management practices that involve maintaining positive drainage, placing berms, diversion channels, and/or sealing the subgrade to avoid water infiltration. Other measures involve covering all stockpiled soils with heavy tarps or plastic to avoid saturating the soils in the event of rainfall. Means and methods of construction are certainly the contractor's jurisdiction; however, exposing otherwise suitable soils to excessive moisture or softening of existing subgrades as a result of unscrupulous construction traffic should be avoided and planned for.

We recommend that the following criteria be used for structural fill:

1. Adequate laboratory proctor density tests should be performed on representative samples of the proposed fill materials to provide data necessary for the quality control. The moisture content at the

time of compaction should be within 3 percentage points of the optimum moisture content. In addition, we recommend that the fill soils be free of organics and rock boulder/cobbles larger than 2 inches in nominal size and relatively non-plastic with plasticity indices less than 20.

2. Suitable fill material should be placed in thin lifts (lift thickness depends on type of equipment used, but generally lifts of 8 inches loose measurements are recommended). The soils should be compacted by mechanical means such as sheepsfoot rollers.
3. Any proposed slopes should incorporate only suitable fill, clean of organics or any other vegetative content. Topsoil should only be used to provide a cover over the completed slope so as to promote vegetative growth which in turn protects the slope's surface against scour and erosion. Slopes should be overbuilt and cut back to the proposed grades, exposing the firm compacted inner core. The amount of overbuilding would vary depending on the site conditions, types of soils used and degree of compaction achieved.
4. When placing fill in horizontal lifts adjacent to areas sloping steeper than 5:1 (horizontal:vertical), horizontal keys and vertical benches should be excavated into the adjacent slope area. Materials generated by the benching operation should be moved sufficiently away from the bench area to allow the geotechnical engineer (testing agency) to properly inspect the area and ascertain that the benching is performed properly.
5. We recommend that the fill be compacted to a minimum of 98% of the Standard Proctor Maximum Dry Density (ASTM Specifications D 698). The top 2 feet under pavements or structural areas should be compacted to a minimum of 100% of the Standard Proctor Test.
6. An experienced soil engineering inspector should take adequate density tests throughout the fill placement operation to ensure that the specified compaction is being achieved.

8.2 Construction Inspection and Testing

During construction, it is advisable that Matrix Engineering Group inspect the site preparation and foundation construction work in order to ensure that our recommended procedures are followed. The placement of any compacted fill should be inspected and tested. The utilization of acceptable on-site borrow materials, as well as adequate off-site selected fill must be verified.

Each footing excavation should be inspected by Matrix Engineering Group, Inc. in order to verify the availability of the required bearing pressure and to determine any special procedures required. At a minimum, Hand Auger and Dynamic Cone Penetrometer testing in accordance with ASTM STP 399 should be performed at each column footing, and every 50 linear feet for wall footings, or as directed by the geotechnical engineer.

It is anticipated that the construction phase will be governed by an IBC 2006 Special Inspections Schedule. Such a schedule should include at a minimum the following earthwork and footing related items:

- Verify materials below footings are adequate to achieve the designed bearing capacity.
- Verify excavations are extended to proper depths and have reached proper material.
- Perform classification and testing of controlled fill materials.
- Verify use of proper materials, densities and lift thicknesses during placement and compaction of controlled fill.
- Prior to placement of controlled fill, observe subgrade and verify that the site has been properly prepared.

APPENDIX

FIGURE(s) 1a &1b: Approximate Soil Boring Locations

**Correlation of Standard Penetration Resistance with
Relative Compactness and Consistency**

Soil Boring Logs

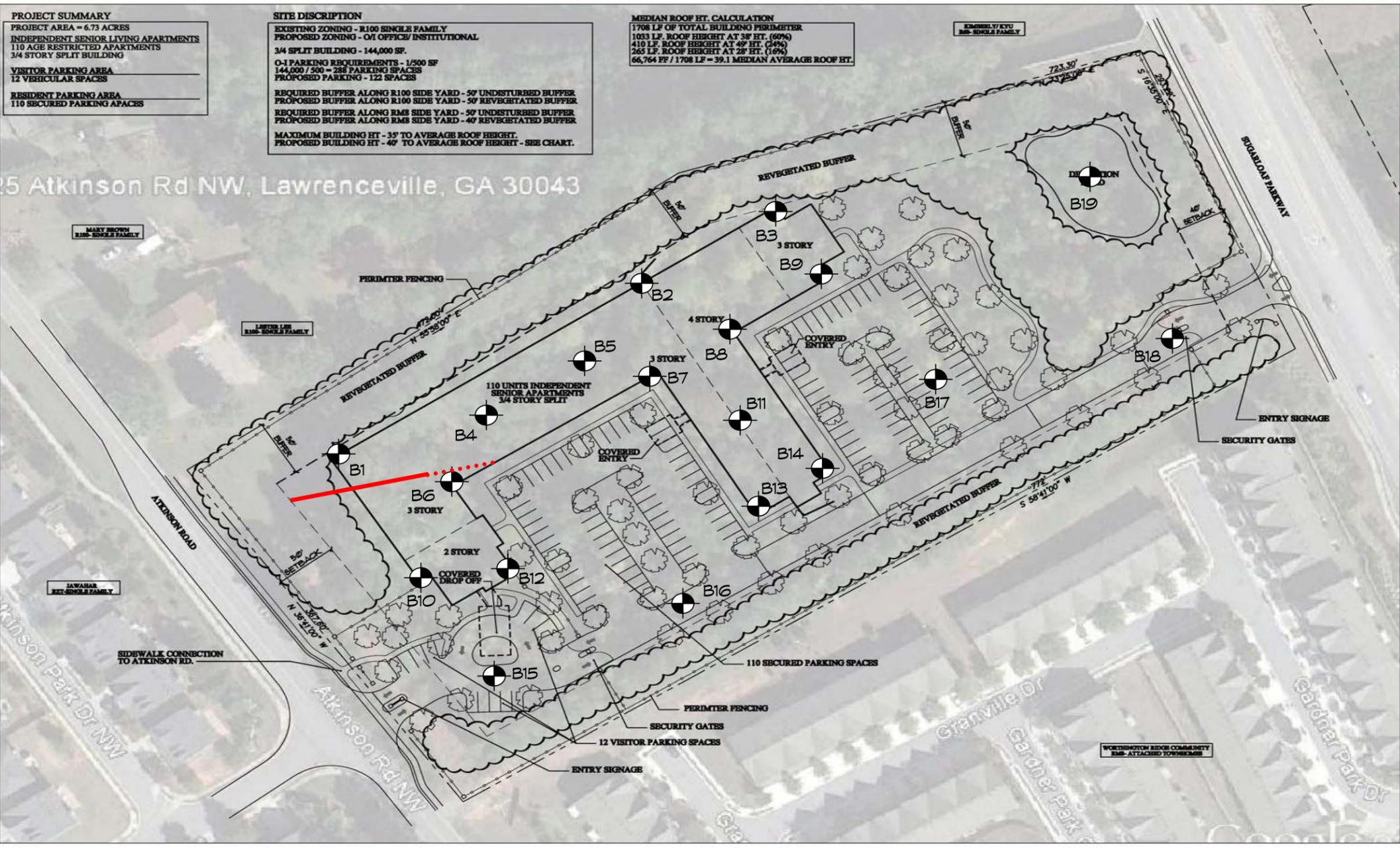
PROJECT SUMMARY
 PROJECT AREA = 6.73 ACRES
 INDEPENDENT SENIOR LIVING APARTMENTS
 110 AGE RESTRICTED APARTMENTS
 3/4 STORY SPLIT BUILDING
 VISITOR PARKING AREA
 12 VEHICULAR SPACES
 RESIDENT PARKING AREA
 110 SECURED PARKING APACES

SITE DESCRIPTION
 EXISTING ZONING - R100 SINGLE FAMILY
 PROPOSED ZONING - O1 OFFICE/ INSTITUTIONAL
 3/4 SPLIT BUILDING - 144,000 SF.
 O-1 PARKING REQUIREMENTS - 1/500 SF
 144,000 / 500 = 288 PARKING SPACES
 PROPOSED PARKING - 122 SPACES
 REQUIRED BUFFER ALONG R100 SIDE YARD - 50' UNDISTURBED BUFFER
 PROPOSED BUFFER ALONG R100 SIDE YARD - 50' REVEGETATED BUFFER
 REQUIRED BUFFER ALONG RMS SIDE YARD - 50' UNDISTURBED BUFFER
 PROPOSED BUFFER ALONG RMS SIDE YARD - 40' REVEGETATED BUFFER
 MAXIMUM BUILDING HT - 35' TO AVERAGE ROOF HEIGHT.
 PROPOSED BUILDING HT - 40' TO AVERAGE ROOF HEIGHT - SEE CHART.

MEDIAN ROOF HT. CALCULATION
 1708 LF OF TOTAL BUILDING PERIMETER
 1033 LF. ROOF HEIGHT AT 30' HT. (60%)
 410 LF. ROOF HEIGHT AT 40' HT. (24%)
 265 LF. ROOF HEIGHT AT 25' HT. (16%)
 66,764 FF / 1708 LF = 39.1 MEDIAN AVERAGE ROOF HT.

EDMUND KYU
 MD-SINGLE FAMILY

1625 Atkinson Rd NW, Lawrenceville, GA 30043



Approximate Boring Locations

MASW Alignment



HEARTHSTONE SUGARLOAF

2-27-2012
 SCALE: 1" = 40'-0"
CONCEPTUAL SITE PLAN

1625 ATKINSON ROAD, GWINNETT COUNTY
 NORSOUTH DEVELOPMENT CO. OF GEORGIA

FOLEY DESIGN ASSOCIATES ARCHITECTS INC.
 1513 Cleveland Avenue Building 100 Suite 102 East Point, Georgia 30344 (404) 761-1299

MATRIX ENGINEERING GROUP, INC. 4358 Chamblee Tucker Road, Ste 3 Tucker, GA 30084		TITLE: Approximate Boring Locations - Proposed Site Plan Hearthside Sugarloaf Lawrenceville, Georgia	
CLIENT NorSouth Development Company			
DRAWN RTS	REVIEWED AT	DATE 5/25/2012	SCALE As Shown
		PROJECT NUMBER MEG Project no. 301288	FIGURE 1b

**CORRELATION OF STANDARD PENETRATION RESISTANCE
WITH RELATIVE COMPACTNESS AND CONSISTENCY**

SAND & GRAVEL

<u>NO. OF BLOWS, N</u>	<u>RELATIVE COMPACTNESS</u>
0 - 4	Very Loose
5 - 10	Loose
11 - 30	Medium Dense
31 - 50	Dense
Over 50	Very Dense

SILT & CLAY

<u>NO. OF BLOWS, N</u>	<u>RELATIVE COMPACTNESS</u>
0 - 1	Very Soft
2 - 4	Soft
5 - 8	Firm
9 - 15	Stiff
16 - 30	Very Stiff
31 - 50	Hard
Over 50	Very Hard

DRILLING SYMBOLS



Water Table Level after 24 Hours



Water Table Level at the Time of Drilling



Standard Penetration Test



Dynamic Cone Pentrometer Test (ASTM STP399)

50/2" Number of Blows (50) to Drive the Spoon a Number of Inches (2")

W.H. Weight of Hammer (0 blows/ft)

DRILLING PROCEDURES

SOIL SAMPLING AND STANDARD PENETRATION TESTING ARE PERFORMED IN ACCORDANCE WITH ASTM D1586-84 (RE-APPROVED IN 1992). THE STANDARD PENETRATION RESISTANCE (N) REPRESENTS THE NUMBER OF BLOWS OF A 140-LB HAMMER FALLING 30 INCHES ON A 2.0 INCH O.D. 1.4 INCH I.D. SPLIT SPOON SAMPLER TO DRIVE IT ONE FOOT. THE SAMPLES OBTAINED FROM THE SPLIT SPOON SAMPLER ARE CLASSIFIED IN THE FIELD IN ACCORDANCE WITH ASTM D2488-93 (VISUAL MANUAL PROCEDURE FOR DESCRIPTION OF SOILS).



DRILL HOLE LOG

PROJECT: Hearthside Sugarloaf **PROJECT NO.:** MEG 301288
CLIENT: Norsouth Development Company **DATE:** 05/24/2012
LOCATION: Refer to Figure 1 **ELEVATION:** 972 feet MSL
DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) **LOGGED BY:** R. Tyler Smith, EIT
DRILLING METHOD: ASTM D1586 (3" Solid Auger) **STATION:** _____
DEPTH TO - WATER> INITIAL: ☐ **DRY** **After 48+ Hours:** ☐ **DRY** **CAVING>** C

BORING NO. B1

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
972	0	Topsail with Hairline Roots	TOP					
	1	RESIDUAL - Medium Dense, Red Brown, Clayey SAND (SC)	SC				25	14
970	2							
	3							
968	4	Dense, Orange Brown, Silty Fine SAND, with MnO Staining (SM)	SM				40	37
	5							
966	6	Stiff, Orange Brown, Fine Sandy SILT, with MnO Staining (ML)	ML				25	11
	7							
964	8							
	9	Medium Dense, Orange Brown, Silty SAND, with MnO Staining (SM)	SM				35	29
962	10							
	11							
960	12							
	13							
958	14							
	15							
956	16							
	17							
954	18							
	19	Soil Consistency becomes Dense						
952	20	Boring Terminated at 20 feet BGS						33
	21							
950	22							
	23							
948	24							
	25							
946	26							



DRILL HOLE LOG

PROJECT: Hearthside Sugarloaf PROJECT NO.: MEG 301288
 CLIENT: Norsouth Development Company DATE: 05/24/2012
 LOCATION: Refer to Figure 1 ELEVATION: 946 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: R. Tyler Smith, EIT
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: 16' After 48+ Hours: 13' CAVING> C

BORING NO. B2

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
					SAMPLERS	Natural Moisture Content (%). ▲ Penetration - ●	
946	0	Topsail with Hairline Roots	TOP	✓✓✓✓✓			
	1	Medium Dense, Orange Brown, Clayey SAND (SC)	SC	▨		18	14
944	2						
	3						
942	4					25	16
	5						
940	6	Loose, Orange Tan, Silty SAND (SM)	SM	▧		28	6
	7						
938	8						
	9	Soil Color Changes to Light Brown and becomes Micaceous				32	9
936	10						
	11						
934	12						
	13						
932	14	Soil becomes Moist				35	7
	15						
930	16						
	17						
928	18						
	19	Loose, Wet, Light Brown, Silty Coarse to Fine SAND (SM)	SM	▧		40	10
926	20	Boring Terminated at 20 feet BGS					
	21						
924	22						
	23						
922	24						
	25						
920	26						



DRILL HOLE LOG

BORING NO. B3

PROJECT: Hearthside Sugarloaf PROJECT NO.: MEG 301288
 CLIENT: Norsouth Development Company DATE: 05/24/2012
 LOCATION: Refer to Figure 1 ELEVATION: 942 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: R. Tyler Smith, EIT
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: ☹ DRY After 48+ Hours: ☹ DRY CAVING> C

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
942	0	Topsail with Hairline Roots	TOP					
	1	RESIDUAL - Medium Dense, Red Brown, Clayey SAND (SC)	SC	[Pattern]			28	13
940	2							
	3							
938	4	Medium Dense, Orange Light Brown, Silty SAND with Clay, with Trace Mica (SC-SM)	SC-SM	[Pattern]			25	12
	5							
936	6	Loose, Moist, Light Brown, Micaceous, Silty Fine SAND (SM)	SM	[Pattern]			20	8
	7							
934	8	Soil Color Changes to Tan						
	9							8
932	10							
	11							
930	12							
	13							
928	14	Soil becomes Wet						
	15							9
	16	Boring Terminated at 15 feet BGS						
926	17							
	18							
924	19							
	20							
922	21							
	22							
920	23							
	24							
918	25							
	26							



DRILL HOLE LOG

BORING NO. B4

PROJECT: Hearthside Sugarloaf PROJECT NO.: MEG 301288
 CLIENT: Norsouth Development Company DATE: 05/24/2012
 LOCATION: Refer to Figure 1 ELEVATION: 971 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: R. Tyler Smith, EIT
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: ☹ DRY After 48+ Hours: ☹ DRY CAVING> C

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
					Natural Moisture Content (%) ▲	Penetration - ●	
970	0	Topsail with Hairline Roots	TOP				
	1	RESIDUAL - Medium Dense, Red Brown, Clayey SAND (SC)	SC			20	17
	2						
968	3						
	4	Medium Dense, Orange Brown, Silty Fine SAND (SM)	SM			30	30
966	5						
	6						
964	7						
	8						
962	9						
	10						
960	11						
	12						
958	13						
	14	Soil Consistency becomes Loose					
956	15	Stiff, White, Fine Sandy SILT, with Trace MnO Staining (ML) Boring Terminated at 15 feet BGS	ML			10	10
	16						
954	17						
	18						
952	19						
	20						
950	21						
	22						
948	23						
	24						
946	25						
	26						



DRILL HOLE LOG

PROJECT: Hearthside Sugarloaf **PROJECT NO.:** MEG 301288
CLIENT: Norsouth Development Company **DATE:** 05/24/2012
LOCATION: Refer to Figure 1 **ELEVATION:** 958 feet MSL
DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) **LOGGED BY:** R. Tyler Smith, EIT
DRILLING METHOD: ASTM D1586 (3" Solid Auger) **STATION:** _____
DEPTH TO - WATER> INITIAL: ☹ DRY **After 48+ Hours:** ☹ DRY **CAVING>** C

BORING NO. B5

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
958	0	Topsail with Hairline Roots	TOP					
	1	RESIDUAL - Medium Dense, Red Brown, Clayey SAND (SC)	SC	[Diagonal Hatching]		28	18	13
956	2							
	3							
954	4	Medium Dense, Orange Brown, Silty SAND (SM)	SM	[Vertical Dotted]		32	28	26
	5							
952	6	Soil Color Changes to Red Brown						
	7							
950	8							
	9	Stiff, Orange Brown, Fine Sandy SILT, with MnO Staining (ML)	ML	[Vertical Stripes]		28	18	14
948	10							
	11							
946	12							
	13							
944	14	Medium Dense, Red Light Brown, Micaceous, Silty Fine SAND (SM)	SM	[Vertical Dotted]		28	18	15
	15							
942	16							
	17							
940	18							
	19	Soil becomes Moist, Color Changes to Tan, MnO Staining Encountered						
	20					28	18	15
938	21	Boring Terminated at 20 feet BGS						
	22							
936	23							
	24							
934	25							
	26							



DRILL HOLE LOG

PROJECT: Hearthside Sugarloaf **PROJECT NO.:** MEG 301288
CLIENT: Norsouth Development Company **DATE:** 05/24/2012
LOCATION: Refer to Figure 1 **ELEVATION:** 971 feet MSL
DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) **LOGGED BY:** R. Tyler Smith, EIT
DRILLING METHOD: ASTM D1586 (3" Solid Auger) **STATION:** _____
DEPTH TO - WATER> INITIAL: ☹ **DRY** **After 48+ Hours:** ☹ **DRY** **CAVING>** C

BORING NO. B6

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
970	0	Topsail with Hairline Roots	TOP					
970	1	RESIDUAL - Medium Dense, Red Brown, Clayey SAND (SC)	SC			28	16	
968	2							
968	3							
966	4	Soil Consistency becomes Dense, Trace Mica Encountered						43
966	5							
966	6							
964	7	Medium Dense, Mottled (Light Brown, Orange, Red Brown), Silty Fine SAND, with MnO Staining (SM)	SM			28	23	
964	8							
962	9	Soil Consistency becomes Dense						33
960	10							
960	11							
960	12							
958	13							
958	14	Stiff, Mottled (Tan, Orange, Red Brown), Fine Sandy SILT, with Trace Mica and MnO Staining (ML)	ML			28	10	
956	15							
956	16							
954	17							
954	18							
952	19	Soil Color changes to Brown, Soil becomes Micaceous						15
952	20							
950	21	Boring Terminated at 20 feet BGS						
950	22							
948	23							
948	24							
946	25							
946	26							



DRILL HOLE LOG

PROJECT: Hearthside Sugarloaf **PROJECT NO.:** MEG 301288
CLIENT: Norsouth Development Company **DATE:** 05/24/2012
LOCATION: Refer to Figure 1 **ELEVATION:** 943 feet MSL
DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) **LOGGED BY:** R. Tyler Smith, EIT
DRILLING METHOD: ASTM D1586 (3" Solid Auger) **STATION:** _____
DEPTH TO - WATER> INITIAL: 10' **After 48+ Hours:** 8' **CAVING>** C

BORING NO. B8

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
					Natural Moisture Content (%) ▲	Penetration - ●	
	0	Topsail with Hairline Roots	TOP				
942	1	RESIDUAL - Loose, Brown, Clayey SAND (SC)	SC		28	10	7
	2						
940	3						
	4	Medium Dense, Mottled (Orange Brown, Light Gray), Clayey SAND (SC)	SC		35	15	12
	5						
938	6						
	7	Soil Consistency becomes Loose, and Moist, Color Changes to Mottled (Light Orange Brown, Tan, White)			25	10	5
936	8						
	9	Loose, Wet, Light Brown, Silty Fine SAND (SM)	SM		25	10	5
934	10						
	11						
932	12						
	13						
930	14	Stiff, Wet, Light Red Tan, Sandy SILT, with MnO Staining (ML)	ML		25	10	9
	15	Boring Terminated at 15 feet BGS					
928	16						
	17						
926	18						
	19						
924	20						
	21						
922	22						
	23						
920	24						
	25						
918	26						



DRILL HOLE LOG

PROJECT: Hearthside Sugarloaf **PROJECT NO.:** MEG 301288
CLIENT: Norsouth Development Company **DATE:** 05/24/2012
LOCATION: Refer to Figure 1 **ELEVATION:** 939 feet MSL
DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) **LOGGED BY:** R. Tyler Smith, EIT
DRILLING METHOD: ASTM D1586 (3" Solid Auger) **STATION:** _____
DEPTH TO - WATER> INITIAL: 8' **After 48+ Hours:** N/A **CAVING>** C 7'

BORING NO. B9

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS					N-Value Blows/ft (ASTM D1586)	
						Natural Moisture Content (%). ▲ Penetration - ●						
						10	20	30	40	50		
938	0	Topsail with Hairline Roots	TOP	✓✓✓✓✓								
938	1	RESIDUAL - Very Loose, Light Brown, Clayey SAND (SC)	SC	▨		●						4
936	2											
936	3											
936	4	Loose, Gray, Micaceous, Silty SAND (SM)	SM	▨		●						7
934	5											
934	6											
932	7	Loose, Moist, Orange Light Brown, Silty Fine SAND, with Some Mica (SM)	SM	▨		●						6
930	8	Soil becomes Micaceous										
930	9											
928	10											
928	11											
926	12											
926	13											
926	14	Soil becomes Wet										
924	15	Boring Terminated at 15 feet BGS										
924	16											
922	17											
922	18											
920	19											
920	20											
918	21											
918	22											
916	23											
916	24											
914	25											
914	26											

Bottom of borehole collapsed at 7 feet BGS, and no stabilized groundwater was observed after 48+ hours



DRILL HOLE LOG

BORING NO. B10

PROJECT: Hearthside Sugarloaf PROJECT NO.: MEG 301288
 CLIENT: Norsouth Development Company DATE: 05/24/2012
 LOCATION: Refer to Figure 1 ELEVATION: 964 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: R. Tyler Smith, EIT
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: ☐ DRY After 48+ Hours: ☐ DRY CAVING> C

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
					SAMPLERS	Natural Moisture Content (%) ▲ Penetration - ●	
964	0	Topsail and Hairline Roots	TOP				
	1	RESIDUAL - Loose, Red Brown, Clayey Fine SAND (SC)	SC			10	10
962	2						
	3						
960	4	Stiff, Orange Brown, Fine Sandy SILT (ML)	ML			14	14
	5						
958	6	Soil Color changes to Light Orange Brown, MnO Staining Encountered				9	9
	7						
956	8						
	9	Medium Dense, Tan, Silty Fine SAND, with MnO Staining (SM)	SM			11	11
954	10						
	11						
952	12						
	13						
950	14					13	13
	15						
948	16						
	17						
946	18						
	19						
944	20	Boring Terminated at 20 feet BGS				14	14
	21						
942	22						
	23						
940	24						
	25						
938	26						



DRILL HOLE LOG

PROJECT: Hearthside Sugarloaf **PROJECT NO.:** MEG 301288
CLIENT: Norsouth Development Company **DATE:** 05/24/2012
LOCATION: Refer to Figure 1 **ELEVATION:** 963 feet MSL
DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) **LOGGED BY:** R. Tyler Smith, EIT
DRILLING METHOD: ASTM D1586 (3" Solid Auger) **STATION:** _____
DEPTH TO - WATER> INITIAL: ☐ DRY **After 48+ Hours:** ☐ DRY **CAVING>** C

BORING NO. B12

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
	0					10	20	
962	1	Topsail with Hairline Roots RESIDUAL - Medium Dense, Red Brown, Clayey Fine SAND (SC)	TOP SC	[Diagonal Hatching]	▲	28	18	16
	2							
960	3							
	4	Soil Consistency becomes Dense						
958	5							
	6							
956	7	Medium Dense, Red Light Brown, Silty Fine SAND, with Some Mica (SM)	SM	[Vertical Dotted]	▲	28	18	12
	8							
954	9	Soil becomes Micaceous						
	10							
952	11							
	12							
950	13							
	14	Soil Color changes to Light Brown, MnO Staining Encountered						
948	15	Boring Terminated at 15 feet BGS						13
	16							
946	17							
	18							
944	19							
	20							
942	21							
	22							
940	23							
	24							
938	25							
	26							



DRILL HOLE LOG

PROJECT: Hearthside Sugarloaf PROJECT NO.: MEG 301288
 CLIENT: Norsouth Development Company DATE: 05/24/2012
 LOCATION: Refer to Figure 1 ELEVATION: 958 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: R. Tyler Smith, EIT
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: ☐ DRY After 48+ Hours: ☐ DRY CAVING> C

BORING NO. B13

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
958	0	Topsail with Hairline Roots	TOP					
	1	RESIDUAL - Medium Dense, Red Brown, Clayey SAND (SC)	SC	[Pattern]		20		19
956	2							
	3							
954	4	Dense, Orange Brown, Silty SAND with Clay, with Trace Mica (SC-SM)	SC-SM	[Pattern]		40		40
	5							
952	6	Medium Dense, Orange Brown, Silty Fine SAND (SM)	SM	[Pattern]		25		19
	7							
950	8							
	9	MnO Staining Encountered						
948	10							
	11							
946	12							
	13							
944	14	Very Stiff, Orange Light Brown, Fine Sandy SILT (ML)	ML	[Pattern]		15		16
	15							
942	16							
	17							
940	18							
	19	Soil Consistency becomes Stiff, Soil Color Changes to Light Brown, Some Mica Encountered						
938	20	Boring Terminated at 20 feet BGS				12		12
	21							
936	22							
	23							
934	24							
	25							
932	26							



DRILL HOLE LOG

BORING NO. B14

PROJECT: Hearthside Sugarloaf PROJECT NO.: MEG 301288
 CLIENT: Norsouth Development Company DATE: 05/24/2012
 LOCATION: Refer to Figure 1 ELEVATION: 952 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: R. Tyler Smith, EIT
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: ☐ DRY After 48+ Hours: ☐ DRY CAVING> C

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
952	0	Topsail with Hairline Roots	TOP					
	1	RESIDUAL - Medium Dense, Red Brown, Clayey SAND (SC)	SC	[Pattern]			17	
950	2							
	3							
948	4	Medium Dense, Orange Brown, Silty SAND with Clay (SC-SM)	SC-SM	[Pattern]			23	
	5							
946	6	Medium Dense, Red Brown, Silty Fine SAND, with Trace Mica (SM)	SM	[Pattern]			12	
	7							
944	8							
	9							11
942	10							
	11							
940	12							
	13							
938	14	Stiff, Orange Brown, Fine Sandy SILT, with Trace Mica (ML)	ML	[Pattern]			12	
	15							
936	16							
	17							
934	18							
	19	Medium Dense, Brown, Silty SAND, with Mno Staining (SM)	SM	[Pattern]			14	
932	20	Boring Terminated at 20 feet BGS						
	21							
930	22							
	23							
928	24							
	25							
926	26							



DRILL HOLE LOG

BORING NO. B15

PROJECT: Hearthside Sugarloaf PROJECT NO.: MEG 301288
 CLIENT: Norsouth Development Company DATE: 05/24/2012
 LOCATION: Refer to Figure 1 ELEVATION: 962 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: R. Tyler Smith, EIT
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: ☐ DRY After 48+ Hours: ☐ DRY CAVING> C

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
962	0	Topsail with Hairline Roots	TOP					
	1	RESIDUAL - Loose, Red Brown, Clayey SAND (SC)	SC					7
960	2							
	3							
958	4	Soil Consistency becomes Medium Dense						28
	5							
956	6	Orange Brown, Silty Fine SAND, with Some Mica (SM)	SM					16
	7							
954	8							
	9	Soil Color changes to Light Brown and becomes Micaceous						16
	10	Boring Terminated at 10 feet BGS						
	11							
950	12							
	13							
948	14							
	15							
946	16							
	17							
944	18							
	19							
942	20							
	21							
940	22							
	23							
938	24							
	25							
936	26							



DRILL HOLE LOG

BORING NO. B16

PROJECT: Hearthside Sugarloaf PROJECT NO.: MEG 301288
 CLIENT: Norsouth Development Company DATE: 05/24/2012
 LOCATION: Refer to Figure 1 ELEVATION: 960 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: R. Tyler Smith, EIT
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: ☹ DRY After 48+ Hours: ☹ DRY CAVING> C

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
960	0	Topsail with Hairline Roots	TOP					
	1	RESIDUAL - Medium Dense, Red Brown, Clayey SAND (SC)	SC				20	
958	2							
	3							
956	4	Medium Dense, Red Brown, Silty SAND, with Trace Mica (SM)	SM				27	
	5							
954	6							
	7							14
952	8							
	9	Soil Color changes to Orange Brown						
	10							17
950	10	Boring Terminated at 10 feet BGS						
	11							
948	12							
	13							
946	14							
	15							
944	16							
	17							
942	18							
	19							
940	20							
	21							
938	22							
	23							
936	24							
	25							
934	26							



DRILL HOLE LOG

BORING NO. B17

PROJECT: Hearthside Sugarloaf PROJECT NO.: MEG 301288
 CLIENT: Norsouth Development Company DATE: 05/25/2012
 LOCATION: Refer to Figure 1 ELEVATION: 938 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: R. Tyler Smith, EIT
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: ☐ DRY After 48+ Hours: ☐ DRY CAVING> C

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
938	0	Topsail with Hairline Roots	TOP SM					26
	1	RESIDUAL - Medium Dense, Light Brown, Silty Fine SAND (SM)						
936	2							
	3							
934	4	PARTIALLY WEATHERED ROCK Sampled as Very Dense, Light Brown, Silty Fine SAND	PWR					50/5"
	5	Auger Refusal at 4 feet BGS						
932	6							
	7							
930	8							
	9							
928	10							
	11							
926	12							
	13							
924	14							
	15							
922	16							
	17							
920	18							
	19							
918	20							
	21							
916	22							
	23							
914	24							
	25							
912	26							



DRILL HOLE LOG

BORING NO. B17a

PROJECT: Hearthside Sugarloaf PROJECT NO.: MEG 301288
 CLIENT: Norsouth Development Company DATE: 05/25/2012
 LOCATION: Refer to Figure 1 ELEVATION: 937 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: R. Tyler Smith, EIT
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: DRY After 48+ Hours: CAVING> C

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS					N-Value Blows/ft (ASTM D1586)			
						Natural Moisture Content (%) ▲ Penetration - ●								
						10	20	30	40	50				
936	0	Topsail with Hairline Roots	TOP SM											
	1	RESIDUAL - Light Brown, Silty Fine SAND (SM)												
	2													
934	3													
	4	PARTIALLY WEATHERED ROCK Sampled as Very Dense, Gray, Silty SAND	PWR								50/5"			
932	5													
	6	PWR Color changes to Brown and becomes Micaceous												50/5"
930	7													
	8													
928	9	Auger Refusal at 9 feet BGS									50/5"			
	10													
926	11													
	12													
924	13													
	14													
922	15													
	16													
920	17													
	18													
918	19													
	20													
916	21													
	22													
914	23													
	24													
912	25													
	26													

B17a offset 15 feet northeast of B17



DRILL HOLE LOG

BORING NO. B18

PROJECT: Hearthside Sugarloaf **PROJECT NO.:** MEG 301288
CLIENT: Norsouth Development Company **DATE:** 05/25/2012
LOCATION: Refer to Figure 1 **ELEVATION:** 930 feet MSL
DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) **LOGGED BY:** R. Tyler Smith, EIT
DRILLING METHOD: ASTM D1586 (3" Solid Auger) **STATION:** _____
DEPTH TO - WATER> INITIAL: 10' **After 48+ Hours:** 8' **CAVING>** C

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
930	0	Topsail with Hairline Roots	TOP					
	1	RESIDUAL - Medium Dense, Red Brown Clayey SAND (SC)	SC			30		29
928	2							
	3							
926	4	Soil Color Changes to Light Brown						
	5							
924	6	Loose, Gray, Micaceous, Silty SAND with Clay, (SC-SM)	SC-SM			25		18
	7							
922	8	Soil becomes Moist						
	9							
920	10							
	11							
918	12							
	13							
916	14	Loose, Wet, Light Brown, Silty SAND (SM)	SM			20		8
	15	Boring Terminated at 15 feet BGS						
914	16							
	17							
912	18							
	19							
910	20							
	21							
908	22							
	23							
906	24							
	25							
904	26							



DRILL HOLE LOG

PROJECT: Hearthside Sugarloaf **PROJECT NO.:** MEG 301288
CLIENT: Norsouth Development Company **DATE:** 05/25/2012
LOCATION: Refer to Figure 1 **ELEVATION:** 936 feet MSL
DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) **LOGGED BY:** R. Tyler Smith, EIT
DRILLING METHOD: ASTM D1586 (3" Solid Auger) **STATION:** _____
DEPTH TO - WATER> INITIAL: 14' **After 48+ Hours:** 13' **CAVING>** C

BORING NO. B19

File: Boring Logs

Date Printed: 5/31/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
936	0	Topsail with Hairline Roots	TOP					
	1	RESIDUAL - Loose, Light Brown, Clayey SAND (SC)	SC					10
934	2							
	3							
932	4	Soil Consistency becomes Medium Dense						27
	5							
930	6	Loose, Light Brown, Silty SAND, with some Mica (SM)	SM					7
	7							
928	8							
	9	Soil becomes Moist						7
926	10							
	11							
924	12							
	13							
922	14	Soil becomes Wet and Micaceous						8
	15							
920	16							
	17							
918	18							
	19	Soil Consistency becomes Medium Dense						15
916	20	Boring Terminated at 20 feet BGS						
	21							
914	22							
	23							
912	24							
	25							
910	26							

APPENDIX F
NOISE ASSESSMENT DOCUMENTATION



SITE NOISE ASSESMENT

For

NorSouth Companies, Inc.

Hearthside Sugarloaf

1625 Atkinson Road

Lawrenceville, GA

Gwinnett County

June 8, 2012

**Kenneth A. Cunefare, Ph. D.
Arpeggio Acoustic Consulting, LLC
1947 Aspen Dr NE, Atlanta, GA 30345
(404) 216-7714**

**Commitment Number 12-02-11
JCC: 1-50-065**



June 8, 2012

Mr. Jervon Harris
NorSouth Companies
2000 Riveredge Parkway, Suite 950
Atlanta, GA 30328

RE: Site Noise Assessment for NorSouth Companies' Hearthsides Sugarloaf project,
Lawrenceville, GA

Dear Jervon:

This report presents the site noise assessment for NorSouth Companies, Inc.'s Hearthsides Sugarloaf project at 1625 Atkinson Road in Lawrenceville, GA. As will be detailed below, the site was found to be in the HUD "Acceptable" category.

Project Description and Location

The proposed development is at 1625 Atkinson Road in Lawrenceville, Georgia, in Gwinnett County. As depicted in Figure 1 the project is located between Atkinson Road and Sugarloaf Parkway. The development comprises a single multi-story building. While not depicted on the site plan, per information received from NorSouth, there will be an outdoor amenity in the form of a pavilion or a covered porch; this report will speak to where this amenity should be located for an acceptable noise environment.

SITE NOISE ASSESSMENT

Figure 1 depicts the location of the two NALs used to evaluate this site, and the distances from each NAL to each of the potential noise sources. The NALs are located adjacent to opposite ends of the building, at positions closest to the bounding roads. These two NALs are adequate to assess the site the levels on the site farther from the roads than these two NALs will be less than the levels at the NALs. With respect to locating the exterior amenity, so long as the amenity is farther from the road the NALs, it would be located in an area with lower noise exposure than at the NALs.

Noise sources evaluated for consideration in this study include rail, road vehicle noise, and air traffic sources. All distances were determined either through photogrammetry applied to aerial imagery or scaled from drawings provided to us by NorSouth. Considering airport noise sources, Figure 2 provides a map of the project area with 5 mile and 15 mile radius range rings superimposed:

- 1) There are no military airports within 15 miles of the site. There are no commercial or general aviation airports within 5 miles of the site. Airport noise is not a factor for this site.

Concerning road and rail sources, Figure 3 provides a map of the project area with 1000' and 3000' radius range rings superimposed:

- 2) There are no rail lines within 3000' of the site.

- 3) The site has exposure to road traffic noise from Sugarloaf Parkway to the north east of the site and Atkinson Road to the southwest of the site. Traffic data for these roads was obtained from the Georgia DOT's State Transportation and Statistics Reporting site (STARs). For Sugarloaf Parkway, Gwinnett County Traffic Counter #6748, which is to the south of the project site, was used. For Atkinson Road, Gwinnett County Traffic Counter #0532, which is to the north of the project site, was used. Note that trucks are prohibited from using Atkinson Road; therefore, the truck percentage for Atkinson Road was set to zero. Per DCA recommendations, traffic volume was inflated 3% per year to obtain projected volumes in 2022.

As noted previously, two Noise Assessment Locations, labeled as "NAL #1" and "NAL #2" depicted on Figure 1 are used here for site assessment. NAL #1 is on the site closest to Sugarloaf Parkway; NAL #2 is on the site closest to Atkinson Road. The levels on the site farther from the roads than these two NALs will be less than the levels at the NALs, therefore these NALs are adequate to assess the noise levels on the site.

Table 1 presents the DNL at the NALs due to road noise source, as calculated using the HUD Site DNL calculator (output in Appendix). The implication of the levels in Table 1 being at or below 65 DNL is that the site is in the "Acceptable" category.

Table 1– Partial DNL by source and total DNL at NAL

NAL	Partial DNL by source	Total DNL all sources	Category	
1	Sugarloaf Parkway	64.9	65	Acceptable
	Atkinson Road	52.5		
2	Sugarloaf Parkway	59.9	64	Acceptable
	Atkinson Road	62.3		

With respect to locating the exterior amenity, so long as it is in between the two NALs, that is, farther from the roads than the NALs, then the noise level at such an amenity would be below 65 DNL, hence, "Acceptable."

Respectfully submitted,

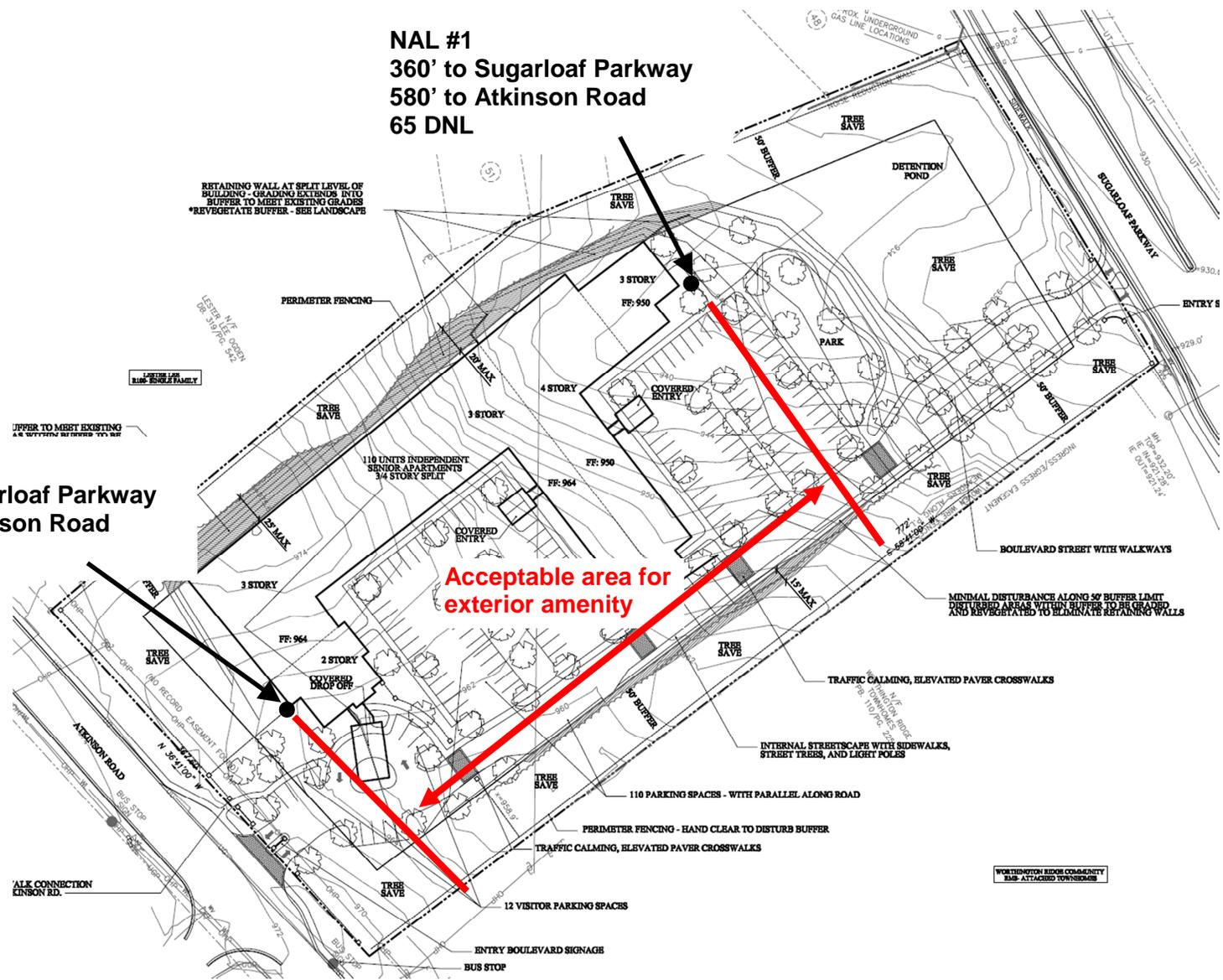


Kenneth A. Cunefare
 Principal
 Arpeggio Acoustic Consulting, LLC



NAL #1
360' to Sugarloaf Parkway
580' to Atkinson Road
65 DNL

NAL #2
780' to Sugarloaf Parkway
130' to Atkinson Road
64 DNL



**Figure 1 – Conceptual site plan with NALs, Distances to Noise Sources, DNL at each NAL, and area on site acceptable for location of an exterior amenity
Norsouth Hearthside Sugarloaf, Lawrenceville, Georgia**

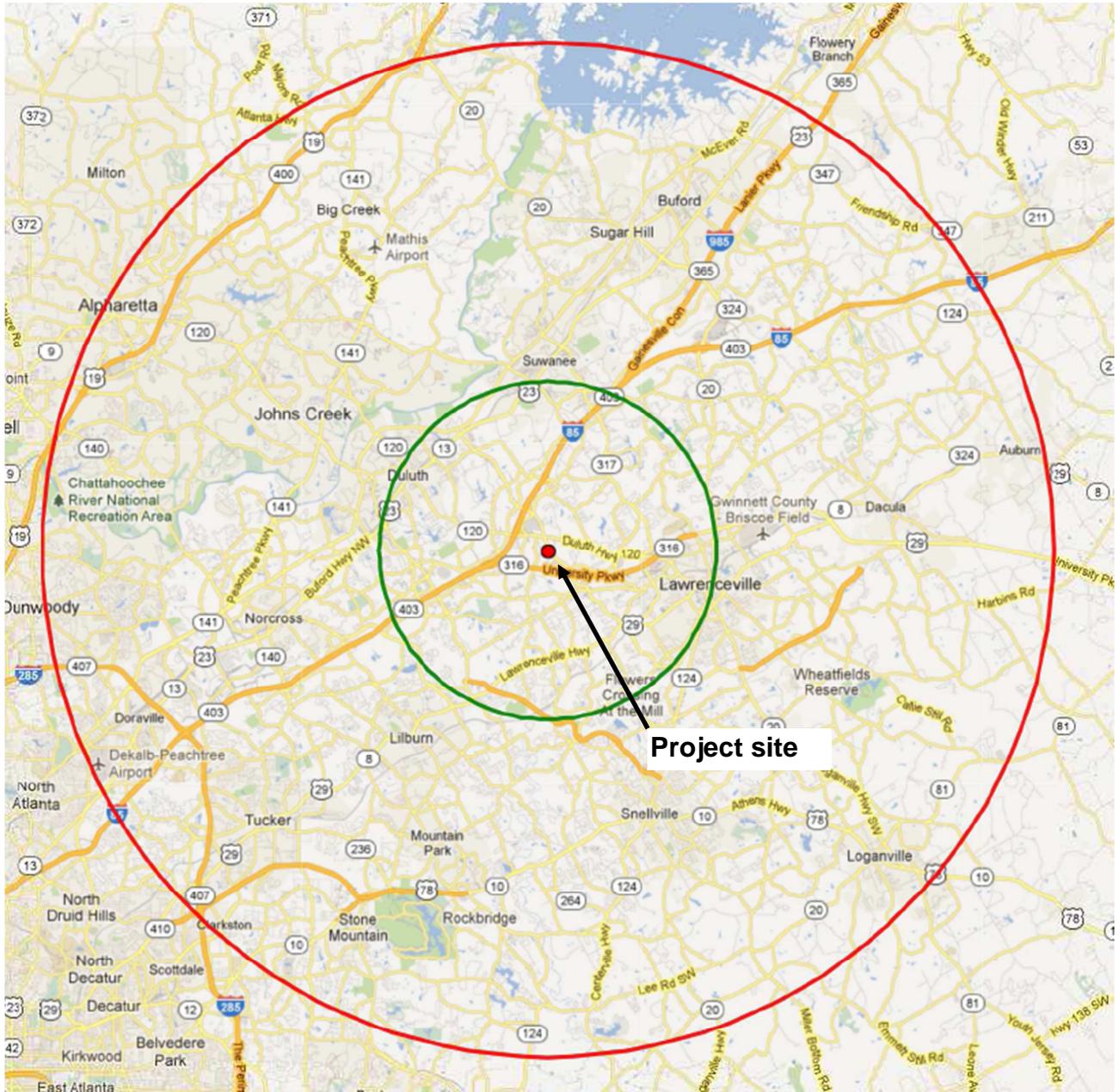


Figure 2 - Map of project area with 5 mile (green) and 15 mile (red) range rings centered on the site

Norsouth Hearthside Sugarloaf, Lawrenceville, Georgia

Arpeggio Acoustic Consulting, LLC

June 6, 2012



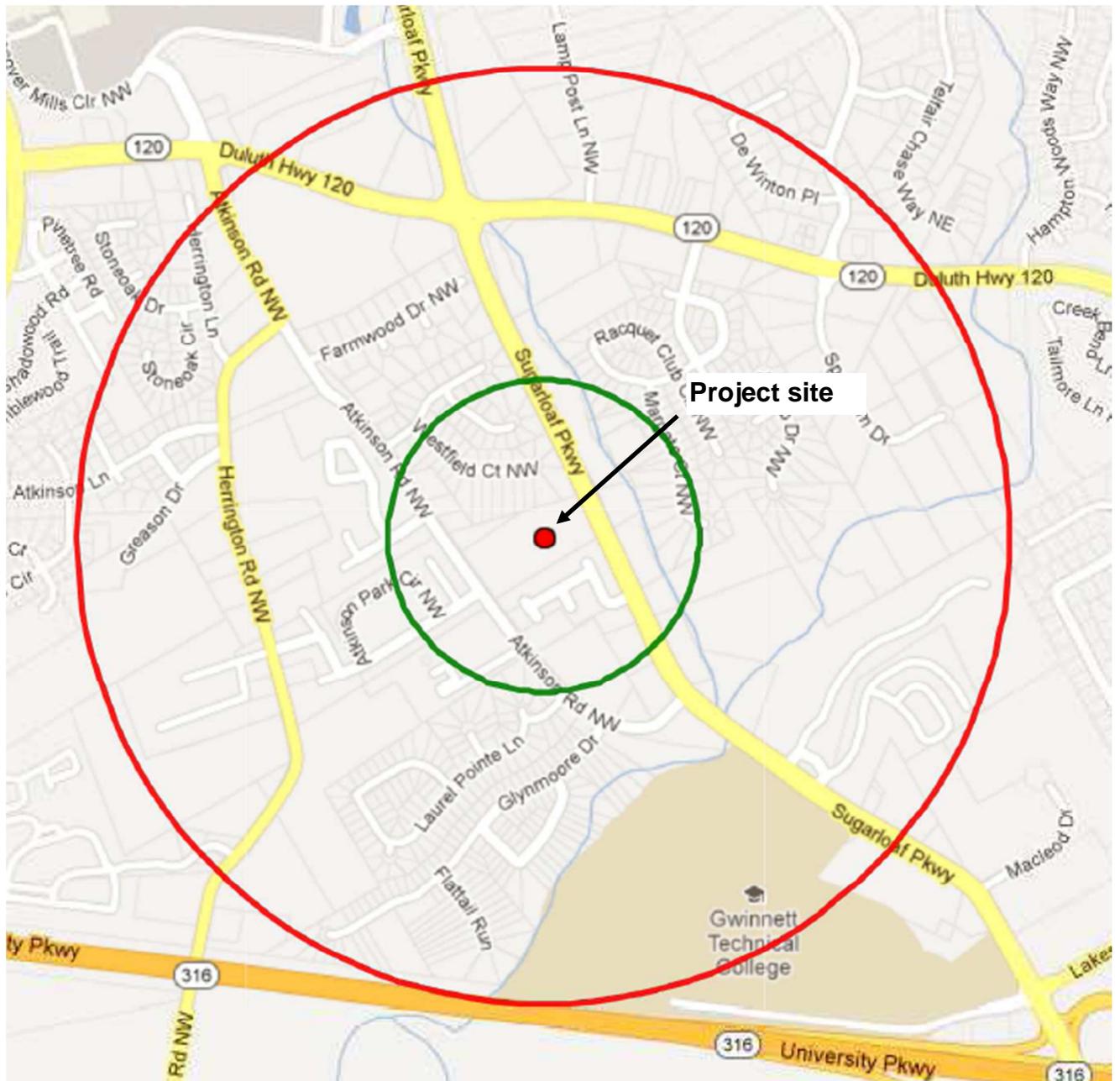


Figure 3 - Map of project area with 1000' (Green) and 3000' (Red) range rings centered on the site

Norsouth Hearthside Sugarloaf, Lawrenceville, Georgia

Arpeggio Acoustic Consulting, LLC

June 6, 2012

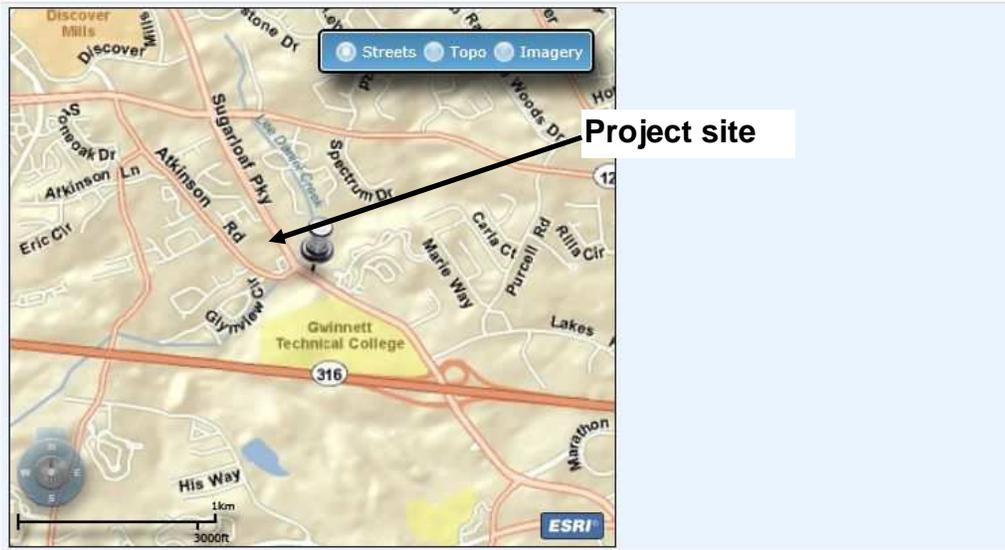
Appendix A - Supporting Data

GDOT STARS Traffic Counter Output

HUD Site DNL Calculator Output

State Traffic & Report Statistics (STA)

135 Gwinnett, Traffic Counter: 6748

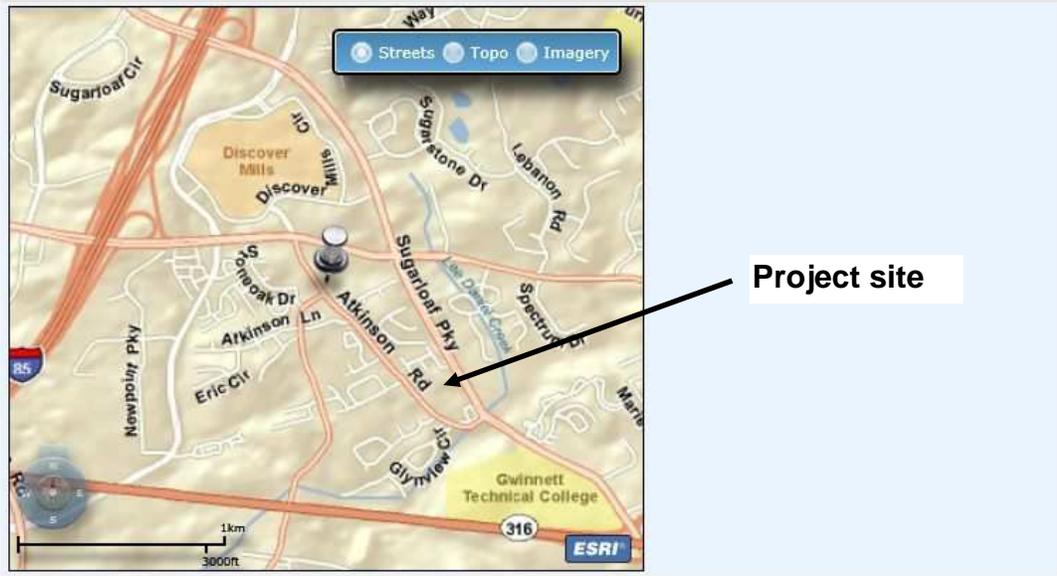


Disclaimer: The Georgia Department of Transportation makes no representation or warranties, implied or expressed, concerning the accuracy, completeness, reliability, or suitability for any particular purpose of this information and data contained on this Web Site.

Year	RCLINK	Beginning Milepoint	Ending Milepoint	Directional	Actual/Estimate	Direction 1	Direction 2	Total AADT	Truck%
2011	1352651200	6.57	7.97	Directional	Actual	16400 (North)	16500 (South)	32900	
2010	1352651200	6.57	7.97	Non-Directional	Estimate			36590	
2009	1352651200	6.60	7.96	Non-Directional	Estimate			36510	
2008	1352651200	6.60	7.96	Bi-Directional	Actual	19190 (North)	18220 (South)	37410	

State Traffic & Report Statistics (S

135 Gwinnett, Traffic Counter: 0532



Disclaimer: The Georgia Department of Transportation makes no representation or warranties, implied or expressed, concerning the accuracy, completeness, reliability, or suitability for any particular purpose of this information and data contained on this Web Site.

Year	RCLINK	Beginning Milepoint	Ending Milepoint	Directional	Actual/Estimate	Direction 1	Direction 2	Total AADT	Truck%
2011	1352054200	0.12	1.10	Non-Directional	Actual			11430	
2010	1352054200	0.12	1.10	Non-Directional	Estimate			22150	
2009	1352054200	0.00	0.72	Non-Directional	Estimate			22100	
2008	1352054200	0.00	0.72	Non-Directional	Estimate			22730	
2007	1352054200	0.00	0.72	Bi-Directional	Estimate	12080 (South)	12080 (North)	24160	
2006	1352054200	0.00	0.72	Bi-Directional	Actual	2990 (West)	2580 (East)	5570	
2005	1352054200	0.00	0.72	Bi-Directional	Actual	18910 (East)	20890 (West)	39800	

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Site DNL Calculator

For more information on using the noise calculator, to access the guidebook, or send comments, please visit the following page:

[**Day/Night Noise Level Electronic Assessment Tool**](#)

Providing Feedback & Corrections

When using the DNL Assessment Tool, following the directions in the User's Guide, users are encouraged to provide feedback on how the DNL Assessment Tool may be improved. Users are also encouraged to send comments or corrections for the improvement of the tool. Please send comments or other input to: separately.gov

Guidelines:

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

Related Information

- [Day/Night Noise Level Assessment Tool User Guide](#)
- [Day/Night Noise Level Assessment Tool Flowcharts](#)

System Requirements

- ▶ [Internet Explorer 6.0 or above](#)
- ▶ [Adobe Reader](#)
- ▶ Enabling JavaScript

Site ID

Record Date

User's Name

Road # 1 Name:

Road #1			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	360	360	360
Distance to Stop Sign			
Average Speed	45	45	45
Average Daily Trips (ADT)	42353	1594	1594
Night Fraction of ADT	15	15	15
Road Gradient (%)			0
Vehicle DNL	59.8992	55.6553	62.4915
Calculate Road #1 DNL	64.9253	Reset	

Road # 2 Name:

Road #2			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input type="checkbox"/>	Heavy Trucks <input type="checkbox"/>
Effective Distance	580		
Distance to Stop Sign			
Average Speed	45		
Average Daily Trips (ADT)	15822		
Night Fraction of ADT	15		

Road Gradient (%)			
Vehicle DNL	52.5161		
Calculate Road #2 DNL	52.5161	Reset	

 Airport Noise Level

 Loud Impulse Sounds? Yes No

 Combined DNL for all
Road and Rail sources

 Combined DNL including Airport

 Site DNL with Loud Impulse Sound

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative**
Cancel the project at this location [DNL Calculator](#)
- **Other Reasonable Alternatives**
Choose an alternate site [DNL Calculator](#)
- **Mitigation**
 - **Contact your Field or Regional Environmental Officer - [Environmental Contacts](#)**
 - **Increase mitigation in the building walls** (only effective if no outdoor, noise sensitive areas).
 - **Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses** [DNL Calculator](#)
 - **Incorporate natural or man-made barriers.** See [The Noise Guidebook](#)
 - **Construct noise barrier.** See the [Barrier Performance Module](#)

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- [Day/Night Noise Level Assessment Tool Flowcharts](#)

System Requirements

- ▶ [Internet Explorer 6.0 or above](#)
- ▶ [Adobe Reader](#)
- ▶ Enabling JavaScript

Site ID

Record Date

User's Name

Road # 1 Name:

Road #1			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	780	780	780
Distance to Stop Sign			
Average Speed	45	45	45
Average Daily Trips (ADT)	42353	1594	1594
Night Fraction of ADT	15	15	15
Road Gradient (%)			0
Vehicle DNL	54.8624	50.6184	57.4545
Calculate Road #1 DNL	59.8884	Reset	

Road # 2 Name:

Road #2			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input type="checkbox"/>	Heavy Trucks <input type="checkbox"/>
Effective Distance	130		
Distance to Stop Sign			
Average Speed	45		
Average Daily Trips (ADT)	15822		
Night Fraction of ADT	15		

Road Gradient (%)			
Vehicle DNL	62.2584		
Calculate Road #2 DNL	62.2584	Reset	

 Airport Noise Level

 Loud Impulse Sounds? Yes No

 Combined DNL for all
Road and Rail sources

 Combined DNL including Airport

 Site DNL with Loud Impulse Sound

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative**
Cancel the project at this location [DNL Calculator](#)
- **Other Reasonable Alternatives**
Choose an alternate site [DNL Calculator](#)
- **Mitigation**
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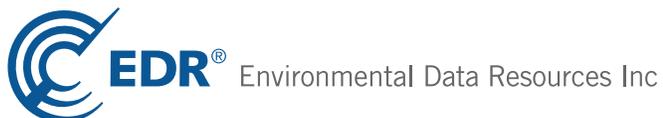
APPENDIX G
REGULATORY SEARCH INFORMATION

Hearthside At Sugarloaf

1625 Atkinson Road
Lawrenceville, GA 30043

Inquiry Number: 3297868.2s
April 06, 2012

The EDR Radius Map™ Report with GeoCheck®



440 Wheelers Farms Road
Milford, CT 06461
Toll Free: 800.352.0050
www.edrnet.com

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Thank you for your business.
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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-05) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

1625 ATKINSON ROAD
LAWRENCEVILLE, GA 30043

COORDINATES

Latitude (North): 33.9699000 - 33° 58' 11.64"
Longitude (West): 84.0722000 - 84° 4' 19.92"
Universal Transverse Mercator: Zone 16
UTM X (Meters): 770521.9
UTM Y (Meters): 3762488.2
Elevation: 960 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 33084-H1 LUXOMNI, GA
Most Recent Revision: 1999

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 2009, 2010
Source: USDA

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL..... National Priority List

EXECUTIVE SUMMARY

Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

CERCLIS..... Comprehensive Environmental Response, Compensation, and Liability Information System
FEDERAL FACILITY..... Federal Facility Site Information listing

Federal CERCLIS NFRAP site List

CERC-NFRAP..... CERCLIS No Further Remedial Action Planned

Federal RCRA CORRACTS facilities list

CORRACTS..... Corrective Action Report

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-LQG..... RCRA - Large Quantity Generators
RCRA-SQG..... RCRA - Small Quantity Generators
RCRA-CESQG..... RCRA - Conditionally Exempt Small Quantity Generator

Federal institutional controls / engineering controls registries

US ENG CONTROLS..... Engineering Controls Sites List
US INST CONTROL..... Sites with Institutional Controls

Federal ERNS list

ERNS..... Emergency Response Notification System

State- and tribal - equivalent CERCLIS

GA NON-HSI..... Non-Hazardous Site Inventory

State and tribal leaking storage tank lists

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

State and tribal registered storage tank lists

UST..... Underground Storage Tank Database
AST..... Above Ground Storage Tanks
INDIAN UST..... Underground Storage Tanks on Indian Land
FEMA UST..... Underground Storage Tank Listing

State and tribal institutional control / engineering control registries

INST CONTROL..... Public Record List

EXECUTIVE SUMMARY

AUL..... Uniform Environmental Covenants

State and tribal voluntary cleanup sites

INDIAN VCP..... Voluntary Cleanup Priority Listing
VIC..... Voluntary Cleanup Program site

State and tribal Brownfields sites

BROWNFIELDS..... Brownfields Public Record List

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS..... A Listing of Brownfields Sites

Local Lists of Landfill / Solid Waste Disposal Sites

ODI..... Open Dump Inventory
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations
HIST LF..... Historical Landfills
SWRCY..... Recycling Center Listing
INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands

Local Lists of Hazardous waste / Contaminated Sites

US CDL..... Clandestine Drug Labs
DEL SHWS..... Delisted Hazardous Site Inventory Listing
US HIST CDL..... National Clandestine Laboratory Register

Local Land Records

LIENS 2..... CERCLA Lien Information
LUCIS..... Land Use Control Information System

Records of Emergency Release Reports

HMIRS..... Hazardous Materials Information Reporting System
SPILLS..... Spills Information

Other Ascertainable Records

RCRA-NonGen..... RCRA - Non Generators
DOT OPS..... Incident and Accident Data
DOD..... Department of Defense Sites
FUDS..... Formerly Used Defense Sites
CONSENT..... Superfund (CERCLA) Consent Decrees
ROD..... Records Of Decision
UMTRA..... Uranium Mill Tailings Sites
MINES..... Mines Master Index File
TRIS..... Toxic Chemical Release Inventory System
TSCA..... Toxic Substances Control Act
FTTS..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

EXECUTIVE SUMMARY

HIST FTTS.....	FIFRA/TSCA Tracking System Administrative Case Listing
SSTS.....	Section 7 Tracking Systems
ICIS.....	Integrated Compliance Information System
PADS.....	PCB Activity Database System
MLTS.....	Material Licensing Tracking System
RADINFO.....	Radiation Information Database
FINDS.....	Facility Index System/Facility Registry System
RAATS.....	RCRA Administrative Action Tracking System
NPDES.....	NPDES Wastewater Permit List
DRYCLEANERS.....	Drycleaner Database
AIRS.....	Permitted Facility and Emissions Listing
TIER 2.....	Tier 2 Data Listing
INDIAN RESERV.....	Indian Reservations
SCRD DRYCLEANERS.....	State Coalition for Remediation of Drycleaners Listing
PCB TRANSFORMER.....	PCB Transformer Registration Database
COAL ASH EPA.....	Coal Combustion Residues Surface Impoundments List
FINANCIAL ASSURANCE.....	Financial Assurance Information Listing
COAL ASH.....	Coal Ash Disposal Site Listing
COAL ASH DOE.....	Sleam-Electric Plan Operation Data

EDR PROPRIETARY RECORDS

EDR Proprietary Records

Manufactured Gas Plants..... EDR Proprietary Manufactured Gas Plants

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

State- and tribal - equivalent CERCLIS

SHWS: The State Hazardous Waste Sites records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. The data come from the Department of Natural Resources' Hazardous Site Inventory.

A review of the SHWS list, as provided by EDR, and dated 07/01/2011 has revealed that there is 1 SHWS site within approximately 1 mile of the target property.

EXECUTIVE SUMMARY

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
DANFOSS MANEUROP LTD.	1775-G MACLEOD DRIVE	ESE 1/2 - 1 (0.726 mi.)	4	9

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: The Solid Waste Facilities/Landfill Sites records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. The data come from the Department of Natural Resources' Operating Solid Waste Facilities' list.

A review of the SWF/LF list, as provided by EDR, and dated 03/04/2011 has revealed that there is 1 SWF/LF site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
ATKINSON ROAD BAPTIST CHURCH	1755 HERRINGTON ROAD	WNW 1/4 - 1/2 (0.383 mi.)	1	7

State and tribal leaking storage tank lists

LUST: The Leaking Underground Storage Tank Incident Reports contain an inventory of reported leaking underground storage tank incidents. The data come from the Department of Natural Resources' Confirmed Release List.

A review of the LUST list, as provided by EDR, and dated 11/30/2011 has revealed that there are 2 LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>FORMER BRUCE SERVICE STATION</i>	<i>1722 DULUTH HIGHWAY</i>	<i>NNE 1/4 - 1/2 (0.442 mi.)</i>	<i>A2</i>	<i>7</i>
<i>CHARLIE M COOPER</i>	<i>1735 DULUTH HWY</i>	<i>NNE 1/4 - 1/2 (0.442 mi.)</i>	<i>A3</i>	<i>8</i>

EXECUTIVE SUMMARY

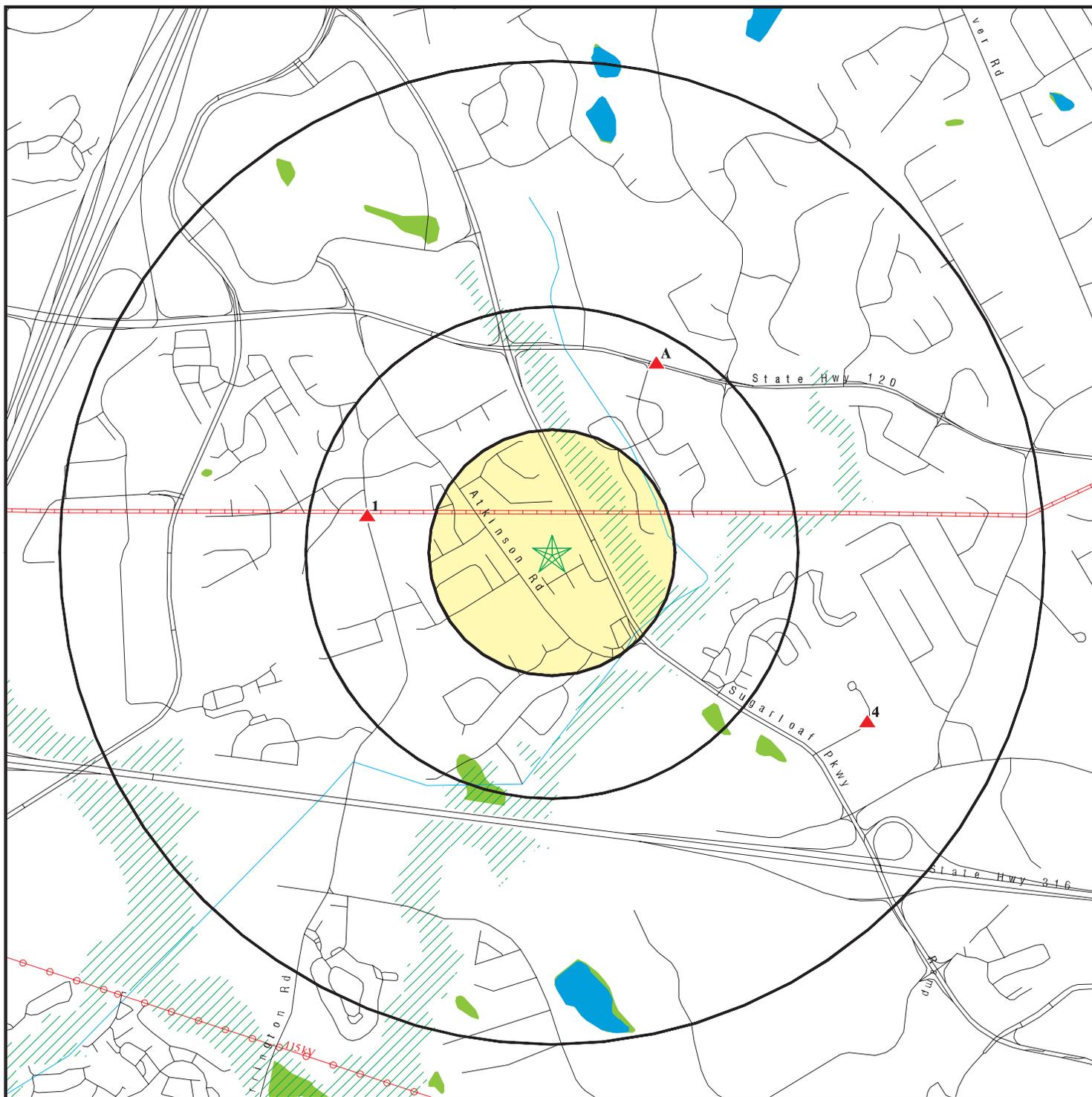
Due to poor or inadequate address information, the following sites were not mapped. Count: 97 records.

<u>Site Name</u>	<u>Database(s)</u>
FOOD STORE #1	FINDS, UST, FINANCIAL ASSURANCE
BP #02769	LUST, UST, FINANCIAL ASSURANCE
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
RESIDENTIAL BUILDERS, INC. INERT L	SWF/LF
RESIDENTIAL BUILDERS, INC. INERT L	SWF/LF
RESIDENTIAL BUILDERS, INC. INERT L	SWF/LF
HEDGEWOOD PROPERTIES INERT LANDFIL	SWF/LF
HEDGEWOOD PROPERTIES INERT LANDFIL	SWF/LF
COOPER KEY HOMES, INC. INERT LANDF	SWF/LF
COPPER KEY HOMES, INC. INERT LANDF	SWF/LF
COOPER KEY HOMES, INC. INERT LANDF	SWF/LF
COOPER KEY HOMES, INC. INERT LANDF	SWF/LF
COOPER KEY HOMES, INC. INERT LANDF	SWF/LF
COOPER KEY HOMES, INC. INERT LANDF	SWF/LF
COOPER KEY HOMES, INC. INERT LANDF	SWF/LF
RYLAND HOMES INERT LANDFILL	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC.	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAND	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAND	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
MEADOW TRACE, INC.	SWF/LF
JDB INVESTORS, INC. INERT LANDFILL	SWF/LF
LOT 95A APALACHEE RIVER CLUB S/D	SWF/LF
LOT 120A HUNTINGTON FALLS S/D	SWF/LF
LOT 21 CANTERBURY WOODS S/D	SWF/LF
LOT 1B HUNTINGTON FALLS S/D	SWF/LF
LOT 84A HUNTINGTON FALLS S/D	SWF/LF
LOT 122 CANTERBURY WOODS S/D	SWF/LF
LOT 86A HUNTINGTON FALLS S/D	SWF/LF
LOT 4B HUNTINGTON FALLS S/D	SWF/LF
LOT HF88A HUNTINGTON FALLS S/D	SWF/LF
LOT 39A HUNTINGTON FALLS S/D	SWF/LF
LOT 86B MCKENDREE PARK S/D	SWF/LF
LOT 25A APALACHEE RIVER CLUB S/D	SWF/LF
LOT 63A APALACHEE RIVER CLUB S/D	SWF/LF
LOT 67A APALACHEE RIVER CLUB S/D	SWF/LF
LOT 87A HUNTINGTON FALLS S/D	SWF/LF
LOT HF6B HUNTINGTON FALLS S/D	SWF/LF
LOT 129A APALACHEE RIVER CLUB S/D	SWF/LF
LOT 20 CANTERBURY WOODS S/D	SWF/LF
LOT 149 CANTERBURY WOODS S/D	SWF/LF

EXECUTIVE SUMMARY

LOT 121 CANTERBURY WOODS S/D	SWF/LF
LOT 9B HUNTINGTON FALLS S/D	SWF/LF
LOT 134 CANTERBURY WOODS S/D	SWF/LF
LOT 147 CANTERBURY WOODS S/D	SWF/LF
LOT 38A HUNTINGTON FALLS S/D	SWF/LF
LOT 5B HUNTINGTON FALLS S/D	SWF/LF
LOT 3B HUNTINGTON FALLS S/D	SWF/LF
BRENTWOOD HOMES, INC. INERT LANDFI	SWF/LF
DOUG WOOLRIDGE INERT LANDFILL	SWF/LF
DOUG WOOLRIDGE INERT LANDFILL	SWF/LF
TRATON CORP. OF GWINNETT INERT LAN	SWF/LF
RYLAND HOMES INERT LANDFILL LOT 41	SWF/LF
RYLAND HOMES INERT LANDFILL LOT 93	SWF/LF
RYLAND HOMES INERT LANDFILL LOT 99	SWF/LF
RYLAND HOMES INERT LANDFILL LOT 98	SWF/LF
TRATON CORP. OF GWINNETT INERT LAN	SWF/LF
RYLAND HOMES INERT LANDFILL LOT 9B	SWF/LF
HEDGEWOOD PROPERTIES INERT LANDFIL	SWF/LF
COPPER KEY HOMES, INC. INERT LANDF	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
JOHN WIELAND HOMES, INC. INERT LAN	SWF/LF
TRATON CORP. OF GWINNETT INERT LAN	SWF/LF
FOOD STORE #1	LUST
BIG H. CHEVRON #92	AST
CITGO FOOD MART	AST

OVERVIEW MAP - 3297868.2s



★ Target Property

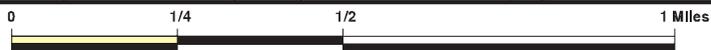
▲ Sites at elevations higher than or equal to the target property

◆ Sites at elevations lower than the target property

▲ Manufactured Gas Plants

■ National Priority List Sites

■ Dept. Defense Sites



■ Indian Reservations BIA

■ Power transmission lines

■ Oil & Gas pipelines from USGS

■ 100-year flood zone

■ 500-year flood zone

■ National Wetland Inventory

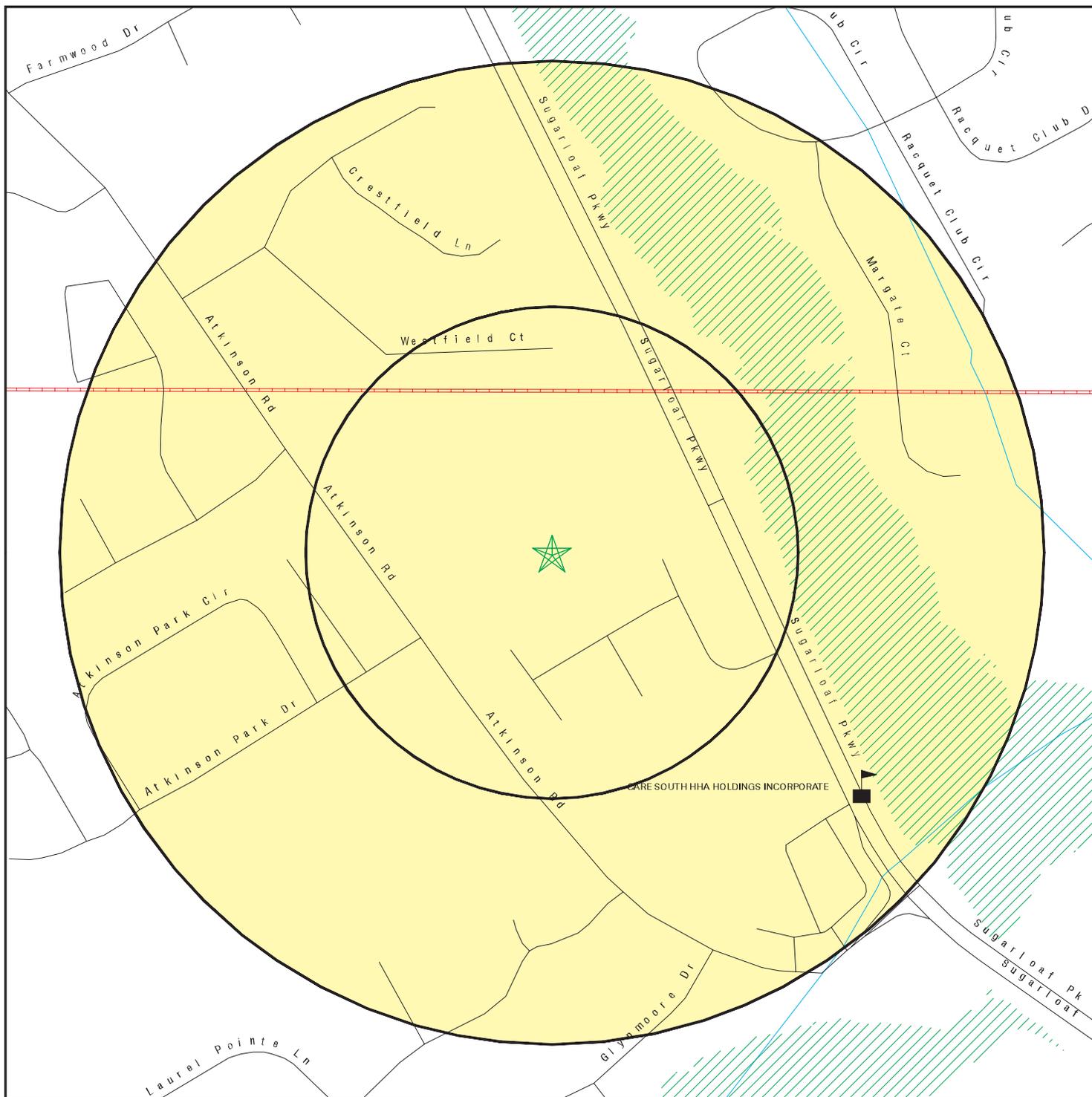


This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Heartside At Sugarloaf
 ADDRESS: 1625 Atkinson Road
 Lawrenceville GA 30043
 LAT/LONG: 33.9699 / 84.0722

CLIENT: One Consulting Group, Inc.
 CONTACT: Brawner
 INQUIRY #: 3297868.2s
 DATE: April 06, 2012 9:58 am

DETAIL MAP - 3297868.2s



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- Sensitive Receptors
- National Priority List Sites
- Dept. Defense Sites

- Indian Reservations BIA
 - ▲ Oil & Gas pipelines from USGS
 - 100-year flood zone
 - 500-year flood zone
- 0 1/16 1/8 1/4 Miles

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Heartside At Sugarloaf
 ADDRESS: 1625 Atkinson Road
 Lawrenceville GA 30043
 LAT/LONG: 33.9699 / 84.0722

CLIENT: One Consulting Group, Inc.
 CONTACT: Brawner
 INQUIRY #: 3297868.2s
 DATE: April 06, 2012 9:59 am

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	TP		NR	NR	NR	NR	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
CERCLIS	0.500		0	0	0	NR	NR	0
FEDERAL FACILITY	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS NFRAP site List</i>								
CERC-NFRAP	0.500		0	0	0	NR	NR	0
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-CESQG	0.250		0	0	NR	NR	NR	0
<i>Federal institutional controls / engineering controls registries</i>								
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROL	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	TP		NR	NR	NR	NR	NR	0
<i>State- and tribal - equivalent CERCLIS</i>								
SHWS	1.000		0	0	0	1	NR	1
GA NON-HSI	1.000		0	0	0	0	NR	0
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
SWF/LF	0.500		0	0	1	NR	NR	1
<i>State and tribal leaking storage tank lists</i>								
LUST	0.500		0	0	2	NR	NR	2
INDIAN LUST	0.500		0	0	0	NR	NR	0
<i>State and tribal registered storage tank lists</i>								
UST	0.250		0	0	NR	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
AST	0.250		0	0	NR	NR	NR	0
INDIAN UST	0.250		0	0	NR	NR	NR	0
FEMA UST	0.250		0	0	NR	NR	NR	0
<i>State and tribal institutional control / engineering control registries</i>								
INST CONTROL	0.500		0	0	0	NR	NR	0
AUL	0.500		0	0	0	NR	NR	0
<i>State and tribal voluntary cleanup sites</i>								
INDIAN VCP	0.500		0	0	0	NR	NR	0
VIC	0.500		0	0	0	NR	NR	0
<i>State and tribal Brownfields sites</i>								
BROWNFIELDS	0.500		0	0	0	NR	NR	0
<u>ADDITIONAL ENVIRONMENTAL RECORDS</u>								
<i>Local Brownfield lists</i>								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
<i>Local Lists of Landfill / Solid Waste Disposal Sites</i>								
ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
HIST LF	0.500		0	0	0	NR	NR	0
SWRCY	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
<i>Local Lists of Hazardous waste / Contaminated Sites</i>								
US CDL	TP		NR	NR	NR	NR	NR	0
DEL SHWS	1.000		0	0	0	0	NR	0
US HIST CDL	TP		NR	NR	NR	NR	NR	0
<i>Local Land Records</i>								
LIENS 2	TP		NR	NR	NR	NR	NR	0
LUCIS	0.500		0	0	0	NR	NR	0
<i>Records of Emergency Release Reports</i>								
HMIRS	TP		NR	NR	NR	NR	NR	0
SPILLS	TP		NR	NR	NR	NR	NR	0
<i>Other Ascertainable Records</i>								
RCRA-NonGen	0.250		0	0	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
DOD	1.000		0	0	0	0	NR	0
FUDS	1.000		0	0	0	0	NR	0
CONSENT	1.000		0	0	0	0	NR	0
ROD	1.000		0	0	0	0	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
UMTRA	0.500		0	0	0	NR	NR	0
MINES	0.250		0	0	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
DRYCLEANERS	0.250		0	0	NR	NR	NR	0
AIRS	TP		NR	NR	NR	NR	NR	0
TIER 2	TP		NR	NR	NR	NR	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
FINANCIAL ASSURANCE	TP		NR	NR	NR	NR	NR	0
COAL ASH	0.500		0	0	0	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0

EDR PROPRIETARY RECORDS

EDR Proprietary Records

Manufactured Gas Plants	1.000		0	0	0	0	NR	0
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NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

1
WNW
1/4-1/2
0.383 mi.
2023 ft.

ATKINSON ROAD BAPTIST CHURCH
1755 HERRINGTON ROAD
LAWRENCEVILLE, GA

SWF/LF S107665727
N/A

Relative:
Higher

SWF/LF:

Facility Mgr Name: Not reported
Facility Mgr Addr: Not reported
Facility Mgr City/State/Zip: Not reported
Facility Mgr Telephone: Not reported
Permit Number: PBR-067-7511L-A
Operating Status: Not reported
Dominion: Not reported
Type: Inert Landfill
Owner Name: Not reported
Owner Phone: 770995-0223
Mailing Address: 1755 HERRINGTON ROAD
Mailing City: Not reported
Mailing State: GA
Mailing Zip: 30043
Date Ceased Accepting Waste: Not reported
Date Closed: Not reported
Post Closure Period: Not reported

Actual:
978 ft.

A2
NNE
1/4-1/2
0.442 mi.
2331 ft.

FORMER BRUCE SERVICE STATION
1722 DULUTH HIGHWAY
LAWRENCEVILLE, GA 30045

LUST U004117425
UST N/A
FINANCIAL ASSURANCE

Site 1 of 2 in cluster A

Relative:
Higher

LUST:

Facility ID: 10001432
Leak ID: 1
Description: Confirmed Release Received
Cleanup Status: NFA - No Further Action
Date Received: 10/30/2007
Project Officer: Wallace, Ronald J

Actual:
975 ft.

UST:

Facility:

Facility Id: 10001432
Facility Status: Closed
Facility Type: Gas Station
Contact Id: 55890
Owner Name: ESTATE OF PAULINE THOMPSON
Owner Address: 441 ROBERSON CAMPBELL ROAD
Owner City: WASHINGTON
Owner State: GA
Owner Zip: 30673
Owner City, St, Zip: WASHINGTON, GA 30673
Owner Telephone: 706-285-2832
District: PIRT 2

Tank ID: 1
Status Date: 1/1/1988
Status: **Removed From Ground**
Product1: Gas

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

FORMER BRUCE SERVICE STATION (Continued)

U004117425

Material: Unknown
Capacity: Not reported
Pipe Material: Unknown
Pipe Type: Not reported
Overfill Protection: No
Overfill Installed: Not reported
Tank Exempt From Spill: No
Date Spill Device Installed: Not reported

Tank ID: 2
Status Date: 1/1/1988
Status: Removed From Ground
Product1: Gas
Material: Unknown
Capacity: Not reported
Pipe Material: Unknown
Pipe Type: Not reported
Overfill Protection: No
Overfill Installed: Not reported
Tank Exempt From Spill: No
Date Spill Device Installed: Not reported

GA FINANCIAL ASSURANCE:

Region: 1
Facility ID: 10001432
Financial Responsibility: Not reported

A3
NNE
1/4-1/2
0.442 mi.
2332 ft.

CHARLIE M COOPER
1735 DULUTH HWY
LAWRENCEVILLE, GA 30043

FINDS 1006788110
LUST N/A

Site 2 of 2 in cluster A

Relative:
Higher

FINDS:

Registry ID: 110013575185

Actual:
977 ft.

Environmental Interest/Information System

GEIMS (Geographic Environmental Information Management System) provides the EPA and Public a single point of access to core data for all facilities and sites regulated or monitored by the EPA and a single system for the reporting of all environmental data.

LUST:

Facility ID: 00670168
Leak ID: 1
Description: Confirmed Release Received
Cleanup Status: NFA - No Further Action
Date Received: 7/13/2006
Project Officer: Badru,Abiola

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

4
ESE
1/2-1
0.726 mi.
3834 ft.

DANFOSS MANEUROP LTD.
1775-G MACLEOD DRIVE
LAWRENCEVILLE, GA 30043

SHWS S105964695
N/A

Relative:
Higher

SHWS:

FACID:

10756

Regulated Substances(RS):

1,1,1-Trichloroethane-GW, 1,1-Dichloroethene-GW, Benzene-GW, Methyl ethyl ketone-Soil, Toluene-GW, Trichloroethene-GW

Actual:
985 ft.

RS Released/Threats to Health Env:

This site has a known release of 1,1-Dichloroethene in groundwater at levels exceeding the reportable quantity. N human exposure via drinking water is suspected from this release. The nearest drinking water well is less than 0.5 miles from the area affected by the release.

Status of Cleanup Activities:

Investigations are being conducted to determine how much cleanup is necessary for source materials, soil, and groundwater.

GA EPD Dir Determination Re Correction Action: Pending

Owner Name:

Gwinnett Industries Inc.

Owner Address:

P. O. Box 67

Owner City,St,Zip:

Tucker, GA 30085

Last Known Property Owner NAME B:

Not reported

Last Known Property Owner ADDRESS B:

Not reported

Last Known Property Owner CITY B:

Not reported

Last Known Property Owner STATE B:

Not reported

Last Known Property Owner ZIP B:

Not reported

Last Known Property Owner NAME C:

Not reported

Last Known Property Owner ADDRESS C:

Not reported

Last Known Property Owner CITY C:

Not reported

Last Known Property Owner STATE C:

Not reported

Last Known Property Owner ZIP C:

Not reported

Latitude:

33 50' 24" N

Longitude:

84 8' 2" W

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
DACULA	A100331632	BIG H. CHEVRON #92	3595 HWY 124	30046	AST
LAWRENCEVILLE	S109504872	FOOD STORE #1	854 HWY 20 GABUFORD DR	30043	LUST
LAWRENCEVILLE	1006777402	FOOD STORE #1	854 HWY 20 GABUFORD DR	30043	FINDS, UST, FINANCIAL ASSURANC
LAWRENCEVILLE	S107666865	JOHN WIELAND HOMES, INC. INERT LAN	2510TH WOOD BROOK CT EDGEWATER		SWF/LF
LAWRENCEVILLE	S107667638	RESIDENTIAL BUILDERS, INC. INERT L	2652 AMBERLY GLEN DR		SWF/LF
LAWRENCEVILLE	S107667636	RESIDENTIAL BUILDERS, INC. INERT L	2015 AMBERLY GLEN WAY		SWF/LF
LAWRENCEVILLE	S107667640	RESIDENTIAL BUILDERS, INC. INERT L	2672 AMBERLY GLEN DR		SWF/LF
LAWRENCEVILLE	S107666530	HEDGEWOOD PROPERTIES INERT LANDFIL	APALACHEE RIVER CLB		SWF/LF
LAWRENCEVILLE	S107666531	HEDGEWOOD PROPERTIES INERT LANDFIL	APALACHEE RIVER CLB		SWF/LF
LAWRENCEVILLE	S107666060	COOPER KEY HOMES, INC. INERT LANDF	54 BROOKFOREST 2767 SPRINGFOUN		SWF/LF
LAWRENCEVILLE	S107666066	COPPER KEY HOMES, INC. INERT LANDF	58 BROOKFOREST 2727 SPRINGFOUN		SWF/LF
LAWRENCEVILLE	S107666058	COOPER KEY HOMES, INC. INERT LANDF	49 BROOKFOREST 842 ROCKFOUNT W		SWF/LF
LAWRENCEVILLE	S107666062	COOPER KEY HOMES, INC. INERT LANDF	59 BROOKFOREST 2732 SPRING FOU		SWF/LF
LAWRENCEVILLE	S107666057	COOPER KEY HOMES, INC. INERT LANDF	114 BROOKFOREST 777 ROCKFOUNT		SWF/LF
LAWRENCEVILLE	S107666059	COOPER KEY HOMES, INC. INERT LANDF	51 BROOKFOREST 857 ROCKFOUNT W		SWF/LF
LAWRENCEVILLE	S107666061	COOPER KEY HOMES, INC. INERT LANDF	55 BROOKFOREST 2757 SPRINGFOUN		SWF/LF
LAWRENCEVILLE	S107667715	RYLAND HOMES INERT LANDFILL	CARLYSLE S & D LOT 123 BLOCK		SWF/LF
LAWRENCEVILLE	1006777936	BP #02769	1065 DULUTH HWY NW	30043	LUST, UST, FINANCIAL ASSURANCE
LAWRENCEVILLE	A100331532	CITGO FOOD MART	1488 DULUTH HWY NW	30043	AST
LAWRENCEVILLE	S107667718	RYLAND HOMES INERT LANDFILL	DUNLIN S & DLOT 29B RD		SWF/LF
LAWRENCEVILLE	S107667717	RYLAND HOMES INERT LANDFILL	DUNLIN S & DLOT 28B RD		SWF/LF
LAWRENCEVILLE	S107667723	RYLAND HOMES INERT LANDFILL	DUNLIN S & DLOT 53A WAY		SWF/LF
LAWRENCEVILLE	S107667722	RYLAND HOMES INERT LANDFILL	DUNLIN S & DLOT 51A WAY		SWF/LF
LAWRENCEVILLE	S107667721	RYLAND HOMES INERT LANDFILL	DUNLIN S & D LOT 38 WAY		SWF/LF
LAWRENCEVILLE	S107667720	RYLAND HOMES INERT LANDFILL	DUNLIN S & DLOT 37A WAY		SWF/LF
LAWRENCEVILLE	S107667719	RYLAND HOMES INERT LANDFILL	DUNLIN S & D LOT 35 WAY		SWF/LF
LAWRENCEVILLE	S108895650	JOHN WIELAND HOMES, INC. INERT LAN	EDGEWATER S & DLOT 14N PT		SWF/LF
LAWRENCEVILLE	S108895672	JOHN WIELAND HOMES, INC. INERT LAN	EDGEWATER S & DLOT 15N PT		SWF/LF
LAWRENCEVILLE	S108895674	JOHN WIELAND HOMES, INC. INERT LAN	EDGEWATER S & D LOT 20 L LN		SWF/LF
LAWRENCEVILLE	S107666921	JOHN WIELAND HOMES, INC. INERT LAN	EDGEWATER S & DLOT 11E WAY		SWF/LF
LAWRENCEVILLE	S107666925	JOHN WIELAND HOMES, INC. INERT LAN	EDGEWATER S & DLOT 15E PT		SWF/LF
LAWRENCEVILLE	S107666937	JOHN WIELAND HOMES, INC. INERT LAN	EDGEWATER S & DLOT 60L TRCE		SWF/LF
LAWRENCEVILLE	S107666838	JOHN WIELAND HOMES, INC.	EDGEWATER S & DLOT 25L LN		SWF/LF
LAWRENCEVILLE	S107667209	JOHN WIELAND HOMES, INC. INERT LAND	EDGEWATER S & DLOT 12L WAY		SWF/LF
LAWRENCEVILLE	S107667210	JOHN WIELAND HOMES, INC. INERT LAND	EDGEWATER S & DLOT 31K WAY		SWF/LF
LAWRENCEVILLE	S107666933	JOHN WIELAND HOMES, INC. INERT LAN	EDGEWATER S & DLOT 2G WAY		SWF/LF
LAWRENCEVILLE	S107666932	JOHN WIELAND HOMES, INC. INERT LAN	EDGEWATER S & DLOT 28L LN		SWF/LF
LAWRENCEVILLE	S107666928	JOHN WIELAND HOMES, INC. INERT LAN	EDGEWATER S & DLOT 16N PT		SWF/LF
LAWRENCEVILLE	S107666931	JOHN WIELAND HOMES, INC. INERT LAN	EDGEWATER S & DLOT 21N PT		SWF/LF
LAWRENCEVILLE	S107666930	JOHN WIELAND HOMES, INC. INERT LAN	EDGEWATER S & DLOT 20N PT		SWF/LF
LAWRENCEVILLE	S107666934	JOHN WIELAND HOMES, INC. INERT LAN	EDGEWATER S & DLOT 32K WAY		SWF/LF
LAWRENCEVILLE	S107667446	MEADOW TRACE, INC.	FAIRFIELD OAKS S & D UNIT 5		SWF/LF
LAWRENCEVILLE	S107666660	JDB INVESTORS, INC. INERT LANDFILL	FOSTER TRACE DR		SWF/LF

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
LAWRENCEVILLE	S107667389	LOT 95A APALACHEE RIVER CLUB S/D	GWINNET COUNTY		SWF/LF
LAWRENCEVILLE	S107667315	LOT 120A HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667334	LOT 21 CANTERBURY WOODS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667332	LOT 1B HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667384	LOT 84A HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667317	LOT 122 CANTERBURY WOODS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667385	LOT 86A HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667340	LOT 4B HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667392	LOT HF88A HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667338	LOT 39A HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667386	LOT 86B MCKENDREE PARK S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667336	LOT 25A APALACHEE RIVER CLUB S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667379	LOT 63A APALACHEE RIVER CLUB S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667381	LOT 67A APALACHEE RIVER CLUB S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667387	LOT 87A HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667391	LOT HF6B HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667321	LOT 129A APALACHEE RIVER CLUB S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667333	LOT 20 CANTERBURY WOODS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667329	LOT 149 CANTERBURY WOODS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667316	LOT 121 CANTERBURY WOODS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667390	LOT 9B HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667326	LOT 134 CANTERBURY WOODS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667328	LOT 147 CANTERBURY WOODS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667337	LOT 38A HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667359	LOT 5B HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107667339	LOT 3B HUNTINGTON FALLS S/D	GWINNETT COUNTY		SWF/LF
LAWRENCEVILLE	S107665839	BRENTWOOD HOMES, INC. INERT LANDFI	HAMPTON PL S & D LOT 71 WAY		SWF/LF
LAWRENCEVILLE	S107666151	DOUG WOOLRIDGE INERT LANDFILL	84 LANSDOWNE		SWF/LF
LAWRENCEVILLE	S107666152	DOUG WOOLRIDGE INERT LANDFILL	88 LANSDOWNE		SWF/LF
LAWRENCEVILLE	S107667946	TRATON CORP. OF GWINNETT INERT LAN	LOT 25A 1292ND FOREST GLADE TR		SWF/LF
LAWRENCEVILLE	S107667749	RYLAND HOMES INERT LANDFILL LOT 41	LOT 41A 3410TH DUCKPOND TRACE		SWF/LF
LAWRENCEVILLE	S107667756	RYLAND HOMES INERT LANDFILL LOT 93	LOT 93 S & D		SWF/LF
LAWRENCEVILLE	S107667761	RYLAND HOMES INERT LANDFILL LOT 99	LOT 99A 3132ND DUNLIN WAY DUNL		SWF/LF
LAWRENCEVILLE	S107667760	RYLAND HOMES INERT LANDFILL LOT 98	LOT 98A 3122ND DUNLIN WAY DUNL		SWF/LF
LAWRENCEVILLE	S107667943	TRATON CORP. OF GWINNETT INERT LAN	LOT 24 UNIT S & D FOREST GLAD		SWF/LF
LAWRENCEVILLE	S107667762	RYLAND HOMES INERT LANDFILL LOT 9B	LOT 9B 4050TH BERKLEY VIEW DR		SWF/LF
LAWRENCEVILLE	S107666546	HEDGEWOOD PROPERTIES INERT LANDFIL	1103 MCKENDREE PARK		SWF/LF
LAWRENCEVILLE	S107666549	HEDGEWOOD PROPERTIES INERT LANDFIL	1143 MCKENDREE PARK		SWF/LF
LAWRENCEVILLE	S107666539	HEDGEWOOD PROPERTIES INERT LANDFIL	1365 MCKENDREE PARK		SWF/LF
LAWRENCEVILLE	S107666540	HEDGEWOOD PROPERTIES INERT LANDFIL	1799 MCKENDREE PARK		SWF/LF
LAWRENCEVILLE	S107666542	HEDGEWOOD PROPERTIES INERT LANDFIL	MCKENDREE PARK		SWF/LF
LAWRENCEVILLE	S107666547	HEDGEWOOD PROPERTIES INERT LANDFIL	1123 MCKENDREE PARK		SWF/LF
LAWRENCEVILLE	S107666545	HEDGEWOOD PROPERTIES INERT LANDFIL	1093 MCKENDREE PARK		SWF/LF
LAWRENCEVILLE	S107666552	HEDGEWOOD PROPERTIES INERT LANDFIL	1421 MCKENDREE PARK		SWF/LF
LAWRENCEVILLE	S107666553	HEDGEWOOD PROPERTIES INERT LANDFIL	1052 MCKENDREE PARK		SWF/LF
LAWRENCEVILLE	S107666557	HEDGEWOOD PROPERTIES INERT LANDFIL	1718 MCKENDREE PARK		SWF/LF
LAWRENCEVILLE	S107666548	HEDGEWOOD PROPERTIES INERT LANDFIL	1133 MCKENDREE PARK		SWF/LF

Count: 97 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
LAWRENCEVILLE	S107666067	COPPER KEY HOMES, INC. INERT LANDF	7 RIVERSHYRE SUB 1234 RIVERLOC		SWF/LF
LAWRENCEVILLE	S108310790	JOHN WIELAND HOMES, INC. INERT LAN	SARATOGA S & D LOT 4 I KINDER		SWF/LF
LAWRENCEVILLE	S108310791	JOHN WIELAND HOMES, INC. INERT LAN	SARATOGA S & D LOT 6 I KINDER		SWF/LF
LAWRENCEVILLE	S107667105	JOHN WIELAND HOMES, INC. INERT LAN	SARATOGA S & D LOT 16 G MERRI		SWF/LF
LAWRENCEVILLE	S107667108	JOHN WIELAND HOMES, INC. INERT LAN	SARATOGA S & D LOT 31 I MERRI		SWF/LF
LAWRENCEVILLE	S107667107	JOHN WIELAND HOMES, INC. INERT LAN	SARATOGA S & D LOT 30 I MERRI		SWF/LF
LAWRENCEVILLE	S107667953	TRATON CORP. OF GWINNETT INERT LAN	SEVER WOODS S & D LOT 18 A CT		SWF/LF

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 09/07/2011	Source: EPA
Date Data Arrived at EDR: 10/12/2011	Telephone: N/A
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 141	Next Scheduled EDR Contact: 04/23/2012
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 6
Telephone: 214-655-6659

EPA Region 3
Telephone 215-814-5418

EPA Region 7
Telephone: 913-551-7247

EPA Region 4
Telephone 404-562-8033

EPA Region 8
Telephone: 303-312-6774

EPA Region 5
Telephone 312-886-6686

EPA Region 9
Telephone: 415-947-4246

EPA Region 10
Telephone 206-553-8665

Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 09/07/2011	Source: EPA
Date Data Arrived at EDR: 10/12/2011	Telephone: N/A
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 141	Next Scheduled EDR Contact: 04/23/2012
	Data Release Frequency: Quarterly

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

Date of Government Version: 10/15/1991	Source: EPA
Date Data Arrived at EDR: 02/02/1994	Telephone: 202-564-4267
Date Made Active in Reports: 03/30/1994	Last EDR Contact: 08/15/2011
Number of Days to Update: 56	Next Scheduled EDR Contact: 11/28/2011
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal Delisted NPL site list

DELISTED NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 09/07/2011	Source: EPA
Date Data Arrived at EDR: 10/12/2011	Telephone: N/A
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 141	Next Scheduled EDR Contact: 04/23/2012
	Data Release Frequency: Quarterly

Federal CERCLIS list

CERCLIS: Comprehensive Environmental Response, Compensation, and Liability Information System

CERCLIS contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to or on the National Priorities List (NPL) and sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 12/27/2011	Source: EPA
Date Data Arrived at EDR: 02/27/2012	Telephone: 703-412-9810
Date Made Active in Reports: 03/12/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 14	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 12/10/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/11/2011	Telephone: 703-603-8704
Date Made Active in Reports: 02/16/2011	Last EDR Contact: 01/13/2012
Number of Days to Update: 36	Next Scheduled EDR Contact: 04/23/2012
	Data Release Frequency: Varies

Federal CERCLIS NFRAP site List

CERCLIS-NFRAP: CERCLIS No Further Remedial Action Planned

Archived sites are sites that have been removed and archived from the inventory of CERCLIS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

Date of Government Version: 12/28/2011	Source: EPA
Date Data Arrived at EDR: 02/27/2012	Telephone: 703-412-9810
Date Made Active in Reports: 03/12/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 14	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

Federal RCRA CORRACTS facilities list

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 08/19/2011
Date Data Arrived at EDR: 08/31/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 132

Source: EPA
Telephone: 800-424-9346
Last EDR Contact: 02/13/2012
Next Scheduled EDR Contact: 05/28/2012
Data Release Frequency: Quarterly

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Quarterly

Federal RCRA generators list

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Quarterly

RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Quarterly

RCRA-CESQG: RCRA - Conditionally Exempt Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal institutional controls / engineering controls registries

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 12/30/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/30/2011	Telephone: 703-603-0695
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/12/2012
Number of Days to Update: 11	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

US INST CONTROL: Sites with Institutional Controls

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 12/30/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/30/2011	Telephone: 703-603-0695
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/12/2012
Number of Days to Update: 11	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

Federal ERNS list

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 10/03/2011	Source: National Response Center, United States Coast Guard
Date Data Arrived at EDR: 10/04/2011	Telephone: 202-267-2180
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 04/03/2012
Number of Days to Update: 38	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Annually

State- and tribal - equivalent CERCLIS

SHWS: Hazardous Site Inventory

State Hazardous Waste Sites. State hazardous waste site records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. Available information varies by state.

Date of Government Version: 07/01/2011	Source: Department of Environmental Protection
Date Data Arrived at EDR: 07/21/2011	Telephone: 404-657-8600
Date Made Active in Reports: 08/09/2011	Last EDR Contact: 04/02/2012
Number of Days to Update: 19	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Annually

NON HSI: Non-Hazardous Site Inventory

This list was obtained by EDR in 1998 and contains property listings that have reported contamination of soil or groundwater under the Georgia Hazardous Site Response Act (HSRA). These sites were not placed on the Georgia Priority list (Hazardous Site Inventory or HSI) because their hazard evaluation scores did not exceed the threshold levels established for sites posing an imminent threat to health or the environment. Disclaimer provided by Rindt-McDuff Associates - the database information has been obtained from publicly available sources produced by other entities. While reasonable steps have been taken to insure the accuracy of the data, RMA does not guarantee the accuracy of the data. No claim is made for the actual existence of pollution at any site. This data does not constitute a legal opinion.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 01/12/2012
Date Data Arrived at EDR: 01/13/2012
Date Made Active in Reports: 02/17/2012
Number of Days to Update: 35

Source: Rindt-McDuff Associates, Inc.
Telephone: N/A
Last EDR Contact: 03/16/2012
Next Scheduled EDR Contact: 06/25/2012
Data Release Frequency: Annually

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: Solid Waste Disposal Facilities

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 03/04/2011
Date Data Arrived at EDR: 05/11/2011
Date Made Active in Reports: 06/23/2011
Number of Days to Update: 43

Source: Department of Natural Resources
Telephone: 404-362-2696
Source: Center for GIS, Georgia Institute of Technology
Telephone: 404-385-0900
Last EDR Contact: 02/10/2012
Next Scheduled EDR Contact: 05/21/2012
Data Release Frequency: Semi-Annually

State and tribal leaking storage tank lists

LUST: List of Leaking Underground Storage Tanks

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state.

Date of Government Version: 11/30/2011
Date Data Arrived at EDR: 12/19/2011
Date Made Active in Reports: 01/30/2012
Number of Days to Update: 42

Source: Environmental Protection Division
Telephone: 404-362-2687
Last EDR Contact: 03/21/2012
Next Scheduled EDR Contact: 07/02/2012
Data Release Frequency: Quarterly

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 12/14/2011
Date Data Arrived at EDR: 12/15/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 26

Source: EPA Region 4
Telephone: 404-562-8677
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Semi-Annually

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 12/05/2011
Date Data Arrived at EDR: 12/07/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 34

Source: Environmental Protection Agency
Telephone: 415-972-3372
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Quarterly

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 11/02/2011
Date Data Arrived at EDR: 11/04/2011
Date Made Active in Reports: 11/11/2011
Number of Days to Update: 7

Source: EPA Region 10
Telephone: 206-553-2857
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land
A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 10/01/2011	Source: EPA Region 1
Date Data Arrived at EDR: 11/01/2011	Telephone: 617-918-1313
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 02/03/2012
Number of Days to Update: 10	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Varies

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 09/12/2011	Source: EPA Region 6
Date Data Arrived at EDR: 09/13/2011	Telephone: 214-665-6597
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 01/30/2012
Number of Days to Update: 59	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Varies

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 11/01/2011	Source: EPA Region 7
Date Data Arrived at EDR: 11/21/2011	Telephone: 913-551-7003
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 01/30/2012
Number of Days to Update: 50	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Varies

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 08/18/2011	Source: EPA Region 8
Date Data Arrived at EDR: 08/19/2011	Telephone: 303-312-6271
Date Made Active in Reports: 09/13/2011	Last EDR Contact: 01/30/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Quarterly

State and tribal registered storage tank lists

UST: Underground Storage Tank Database

Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 09/14/2010	Source: Environmental Protection Division
Date Data Arrived at EDR: 09/21/2010	Telephone: 404-362-2687
Date Made Active in Reports: 11/29/2010	Last EDR Contact: 03/16/2012
Number of Days to Update: 69	Next Scheduled EDR Contact: 07/02/2012
	Data Release Frequency: Annually

AST: Above Ground Storage Tanks

A listing of LP gas tank site locations.

Date of Government Version: 12/02/2011	Source: Office of Insurance & Safety Fire Commissioner
Date Data Arrived at EDR: 12/02/2011	Telephone: 404-656-5875
Date Made Active in Reports: 12/16/2011	Last EDR Contact: 02/27/2012
Number of Days to Update: 14	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Varies

INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/01/2011
Date Data Arrived at EDR: 08/26/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 18

Source: EPA Region 5
Telephone: 312-886-6136
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Varies

INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 05/10/2011
Date Data Arrived at EDR: 05/11/2011
Date Made Active in Reports: 06/14/2011
Number of Days to Update: 34

Source: EPA Region 6
Telephone: 214-665-7591
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Semi-Annually

INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 12/14/2011
Date Data Arrived at EDR: 12/15/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 26

Source: EPA Region 4
Telephone: 404-562-9424
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Semi-Annually

INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 11/28/2011
Date Data Arrived at EDR: 11/29/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 42

Source: EPA Region 9
Telephone: 415-972-3368
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Quarterly

INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 08/18/2011
Date Data Arrived at EDR: 08/19/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 25

Source: EPA Region 8
Telephone: 303-312-6137
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Quarterly

INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 10/01/2011
Date Data Arrived at EDR: 11/01/2011
Date Made Active in Reports: 11/11/2011
Number of Days to Update: 10

Source: EPA, Region 1
Telephone: 617-918-1313
Last EDR Contact: 02/03/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Varies

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/02/2011
Date Data Arrived at EDR: 11/04/2011
Date Made Active in Reports: 11/11/2011
Number of Days to Update: 7

Source: EPA Region 10
Telephone: 206-553-2857
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Quarterly

INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 11/01/2011
Date Data Arrived at EDR: 11/21/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 50

Source: EPA Region 7
Telephone: 913-551-7003
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Varies

FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/01/2010
Date Data Arrived at EDR: 02/16/2010
Date Made Active in Reports: 04/12/2010
Number of Days to Update: 55

Source: FEMA
Telephone: 202-646-5797
Last EDR Contact: 01/16/2012
Next Scheduled EDR Contact: 04/30/2012
Data Release Frequency: Varies

State and tribal institutional control / engineering control registries

AUL: Uniform Environmental Covenants

A list of environmental covenants

Date of Government Version: 12/08/2010
Date Data Arrived at EDR: 01/06/2012
Date Made Active in Reports: 01/30/2012
Number of Days to Update: 24

Source: Department of Natural Resources
Telephone: 404-657-8600
Last EDR Contact: 02/17/2012
Next Scheduled EDR Contact: 05/28/2012
Data Release Frequency: Varies

INST CONTROL: Public Record List

Sites on the Public Record Listing that have institutional controls or limitations on use are sites with Risk Reduction Standards of 3, 4, and 5.

Date of Government Version: 10/27/2011
Date Data Arrived at EDR: 11/17/2011
Date Made Active in Reports: 12/14/2011
Number of Days to Update: 27

Source: Department of Natural Resources
Telephone: 404-657-8600
Last EDR Contact: 02/17/2012
Next Scheduled EDR Contact: 05/28/2012
Data Release Frequency: Varies

State and tribal voluntary cleanup sites

VCP: Voluntary Cleanup Program site

Georgia's Voluntary Remediation Program Act was created to encourage voluntary investigation and remediation of contaminated properties.

Date of Government Version: 08/24/2011
Date Data Arrived at EDR: 09/07/2011
Date Made Active in Reports: 09/21/2011
Number of Days to Update: 14

Source: DNR
Telephone: 404-657-8600
Last EDR Contact: 03/06/2012
Next Scheduled EDR Contact: 06/18/2012
Data Release Frequency: Varies

INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/20/2008
Date Data Arrived at EDR: 04/22/2008
Date Made Active in Reports: 05/19/2008
Number of Days to Update: 27

Source: EPA, Region 7
Telephone: 913-551-7365
Last EDR Contact: 04/20/2009
Next Scheduled EDR Contact: 07/20/2009
Data Release Frequency: Varies

INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 08/04/2011
Date Data Arrived at EDR: 10/04/2011
Date Made Active in Reports: 11/11/2011
Number of Days to Update: 38

Source: EPA, Region 1
Telephone: 617-918-1102
Last EDR Contact: 04/03/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Varies

State and tribal Brownfields sites

BROWNFIELDS: Brownfields Public Record List

The Brownfields Public Record lists properties where response actions under the Georgia Hazardous Site Reuse and Redevelopment Act are planned, ongoing or completed.

Date of Government Version: 10/27/2011
Date Data Arrived at EDR: 11/17/2011
Date Made Active in Reports: 12/14/2011
Number of Days to Update: 27

Source: Department of Natural Resources
Telephone: 404-657-8600
Last EDR Contact: 02/17/2012
Next Scheduled EDR Contact: 05/28/2012
Data Release Frequency: Varies

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 06/27/2011
Date Data Arrived at EDR: 06/27/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 78

Source: Environmental Protection Agency
Telephone: 202-566-2777
Last EDR Contact: 04/03/2012
Next Scheduled EDR Contact: 07/09/2012
Data Release Frequency: Semi-Annually

Local Lists of Landfill / Solid Waste Disposal Sites

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985
Date Data Arrived at EDR: 08/09/2004
Date Made Active in Reports: 09/17/2004
Number of Days to Update: 39

Source: Environmental Protection Agency
Telephone: 800-424-9346
Last EDR Contact: 06/09/2004
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009
Date Data Arrived at EDR: 05/07/2009
Date Made Active in Reports: 09/21/2009
Number of Days to Update: 137

Source: EPA, Region 9
Telephone: 415-947-4219
Last EDR Contact: 03/26/2012
Next Scheduled EDR Contact: 07/09/2012
Data Release Frequency: No Update Planned

SWRCY: Recycling Center Listing

A listing of recycling facility locations.

Date of Government Version: 12/09/2011
Date Data Arrived at EDR: 12/09/2011
Date Made Active in Reports: 12/14/2011
Number of Days to Update: 5

Source: Department of Community Affairs
Telephone: 404-679-1598
Last EDR Contact: 02/20/2012
Next Scheduled EDR Contact: 04/12/2012
Data Release Frequency: Varies

HIST LF: Historical Landfills

Landfills that were closed many years ago.

Date of Government Version: 01/15/2003
Date Data Arrived at EDR: 01/20/2004
Date Made Active in Reports: 02/06/2004
Number of Days to Update: 17

Source: Department of Natural Resources
Telephone: 404-362-2696
Last EDR Contact: 01/20/2004
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998
Date Data Arrived at EDR: 12/03/2007
Date Made Active in Reports: 01/24/2008
Number of Days to Update: 52

Source: Environmental Protection Agency
Telephone: 703-308-8245
Last EDR Contact: 02/06/2012
Next Scheduled EDR Contact: 05/21/2012
Data Release Frequency: Varies

Local Lists of Hazardous waste / Contaminated Sites

US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 10/07/2011
Date Data Arrived at EDR: 12/09/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 32

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 03/06/2012
Next Scheduled EDR Contact: 06/18/2012
Data Release Frequency: Quarterly

DEL SHWS: Delisted Hazardous Site Inventory Listing

A listing of sites delisted from the Hazardous Site Inventory.

Date of Government Version: 07/01/2011
Date Data Arrived at EDR: 07/21/2011
Date Made Active in Reports: 08/09/2011
Number of Days to Update: 19

Source: Department of Natural Resources
Telephone: 404-657-8636
Last EDR Contact: 04/02/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 09/01/2007	Source: Drug Enforcement Administration
Date Data Arrived at EDR: 11/19/2008	Telephone: 202-307-1000
Date Made Active in Reports: 03/30/2009	Last EDR Contact: 03/23/2009
Number of Days to Update: 131	Next Scheduled EDR Contact: 06/22/2009
	Data Release Frequency: No Update Planned

Local Land Records

LIENS 2: CERCLA Lien Information

A Federal CERCLA ("Superfund") lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 09/09/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 09/16/2011	Telephone: 202-564-6023
Date Made Active in Reports: 09/29/2011	Last EDR Contact: 01/30/2012
Number of Days to Update: 13	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Varies

LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 12/09/2005	Source: Department of the Navy
Date Data Arrived at EDR: 12/11/2006	Telephone: 843-820-7326
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 04/03/2012
Number of Days to Update: 31	Next Scheduled EDR Contact: 06/04/2012
	Data Release Frequency: Varies

Records of Emergency Release Reports

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 10/04/2011	Source: U.S. Department of Transportation
Date Data Arrived at EDR: 10/04/2011	Telephone: 202-366-4555
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 04/03/2012
Number of Days to Update: 38	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Annually

SPILLS: Spills Information

Oil or Hazardous Material Spills or Releases.

Date of Government Version: 12/31/2011	Source: Department of Natural Resources
Date Data Arrived at EDR: 01/03/2012	Telephone: 404-656-6905
Date Made Active in Reports: 01/30/2012	Last EDR Contact: 04/02/2012
Number of Days to Update: 27	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Quarterly

Other Ascertainable Records

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RCRA-NonGen: RCRA - Non Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 11/10/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/05/2012	Telephone: (404) 562-8651
Date Made Active in Reports: 03/12/2012	Last EDR Contact: 04/04/2012
Number of Days to Update: 67	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Varies

DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 07/29/2011	Source: Department of Transportation, Office of Pipeline Safety
Date Data Arrived at EDR: 08/09/2011	Telephone: 202-366-4595
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 02/07/2012
Number of Days to Update: 94	Next Scheduled EDR Contact: 05/21/2012
	Data Release Frequency: Varies

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005	Source: USGS
Date Data Arrived at EDR: 11/10/2006	Telephone: 888-275-8747
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 01/20/2012
Number of Days to Update: 62	Next Scheduled EDR Contact: 04/30/2012
	Data Release Frequency: Semi-Annually

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 12/31/2009	Source: U.S. Army Corps of Engineers
Date Data Arrived at EDR: 08/12/2010	Telephone: 202-528-4285
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 03/12/2012
Number of Days to Update: 112	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 12/01/2011	Source: Department of Justice, Consent Decree Library
Date Data Arrived at EDR: 01/25/2012	Telephone: Varies
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/02/2012
Number of Days to Update: 36	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Varies

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 09/28/2011	Source: EPA
Date Data Arrived at EDR: 12/14/2011	Telephone: 703-416-0223
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/14/2012
Number of Days to Update: 27	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 09/14/2010	Source: Department of Energy
Date Data Arrived at EDR: 10/07/2011	Telephone: 505-845-0011
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 02/28/2012
Number of Days to Update: 146	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Varies

MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 08/18/2011	Source: Department of Labor, Mine Safety and Health Administration
Date Data Arrived at EDR: 09/08/2011	Telephone: 303-231-5959
Date Made Active in Reports: 09/29/2011	Last EDR Contact: 03/07/2012
Number of Days to Update: 21	Next Scheduled EDR Contact: 06/18/2012
	Data Release Frequency: Semi-Annually

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2009	Source: EPA
Date Data Arrived at EDR: 09/01/2011	Telephone: 202-566-0250
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 02/28/2012
Number of Days to Update: 131	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Annually

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2006	Source: EPA
Date Data Arrived at EDR: 09/29/2010	Telephone: 202-260-5521
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 03/28/2012
Number of Days to Update: 64	Next Scheduled EDR Contact: 07/09/2012
	Data Release Frequency: Every 4 Years

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 02/27/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 02/27/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2007
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2008
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 12/31/2009	Source: EPA
Date Data Arrived at EDR: 12/10/2010	Telephone: 202-564-4203
Date Made Active in Reports: 02/25/2011	Last EDR Contact: 01/30/2012
Number of Days to Update: 77	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Annually

ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 07/20/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/10/2011	Telephone: 202-564-5088
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/26/2012
Number of Days to Update: 61	Next Scheduled EDR Contact: 07/09/2012
	Data Release Frequency: Quarterly

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 11/01/2010	Source: EPA
Date Data Arrived at EDR: 11/10/2010	Telephone: 202-566-0500
Date Made Active in Reports: 02/16/2011	Last EDR Contact: 01/20/2012
Number of Days to Update: 98	Next Scheduled EDR Contact: 04/30/2012
	Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 06/21/2011	Source: Nuclear Regulatory Commission
Date Data Arrived at EDR: 07/15/2011	Telephone: 301-415-7169
Date Made Active in Reports: 09/13/2011	Last EDR Contact: 03/12/2012
Number of Days to Update: 60	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Quarterly

RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 01/10/2012	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/12/2012	Telephone: 202-343-9775
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 01/12/2012
Number of Days to Update: 49	Next Scheduled EDR Contact: 04/23/2012
	Data Release Frequency: Quarterly

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 10/23/2011	Source: EPA
Date Data Arrived at EDR: 12/13/2011	Telephone: (404) 562-9900
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 03/13/2012
Number of Days to Update: 79	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Quarterly

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2009	Source: EPA/NTIS
Date Data Arrived at EDR: 03/01/2011	Telephone: 800-424-9346
Date Made Active in Reports: 05/02/2011	Last EDR Contact: 02/27/2012
Number of Days to Update: 62	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Biennially

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

NPDES: NPDES Wastewater Permit List

A listing of NPDES wastewater permits issued by the Watershed Protection Branch.

Date of Government Version: 01/27/2011	Source: Department of Natural Resources
Date Data Arrived at EDR: 02/15/2011	Telephone: 404-362-2680
Date Made Active in Reports: 02/23/2011	Last EDR Contact: 02/15/2012
Number of Days to Update: 8	Next Scheduled EDR Contact: 05/28/2012
	Data Release Frequency: Varies

DRYCLEANERS: Drycleaner Database

A list of drycleaners in the state. The listing includes drycleaner facilities, that use perchloroethylene, that responded to the Notification of Compliance Status forms. It also includes those businesses that are pick-up stores only and do not conduct dry cleaning on site.

Date of Government Version: 09/18/2009	Source: Department of Natural Resources
Date Data Arrived at EDR: 09/18/2009	Telephone: 404-363-7000
Date Made Active in Reports: 10/09/2009	Last EDR Contact: 02/27/2012
Number of Days to Update: 21	Next Scheduled EDR Contact: 05/28/2012
	Data Release Frequency: Varies

AIRS: Permitted Facility & Emissions Listing

A listing of permitted Air facilities and emissions data.

Date of Government Version: 12/31/2009	Source: Department of Natural Resources
Date Data Arrived at EDR: 06/29/2011	Telephone: 404-363-7000
Date Made Active in Reports: 08/16/2011	Last EDR Contact: 02/27/2012
Number of Days to Update: 48	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Varies

TIER 2: Tier 2 Data Listing

A listing of facilities which store or manufacture hazardous materials and submit a chemical inventory report.

Date of Government Version: 12/31/2010	Source: Department of Natural Resources
Date Data Arrived at EDR: 10/25/2011	Telephone: 404-656-4852
Date Made Active in Reports: 11/18/2011	Last EDR Contact: 03/05/2012
Number of Days to Update: 24	Next Scheduled EDR Contact: 06/18/2012
	Data Release Frequency: Varies

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2005	Source: USGS
Date Data Arrived at EDR: 12/08/2006	Telephone: 202-208-3710
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 01/20/2012
Number of Days to Update: 34	Next Scheduled EDR Contact: 04/30/2012
	Data Release Frequency: Semi-Annually

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 03/07/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/09/2011	Telephone: 615-532-8599
Date Made Active in Reports: 05/02/2011	Last EDR Contact: 02/06/2012
Number of Days to Update: 54	Next Scheduled EDR Contact: 05/07/2012
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FINANCIAL ASSURANCE: Financial Assurance Information Listing

A listing of financial assurance information for underground storage tank facilities.

Date of Government Version: 09/14/2010	Source: Department of Natural Resources
Date Data Arrived at EDR: 09/21/2010	Telephone: 404-362-4892
Date Made Active in Reports: 11/24/2010	Last EDR Contact: 03/16/2012
Number of Days to Update: 64	Next Scheduled EDR Contact: 07/02/2012
	Data Release Frequency: Annually

COAL ASH DOE: Sleam-Electric Plan Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2005	Source: Department of Energy
Date Data Arrived at EDR: 08/07/2009	Telephone: 202-586-8719
Date Made Active in Reports: 10/22/2009	Last EDR Contact: 01/18/2012
Number of Days to Update: 76	Next Scheduled EDR Contact: 04/30/2012
	Data Release Frequency: Varies

PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 02/01/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 10/19/2011	Telephone: 202-566-0517
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 02/03/2012
Number of Days to Update: 83	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Varies

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 08/17/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/03/2011	Telephone: N/A
Date Made Active in Reports: 03/21/2011	Last EDR Contact: 03/16/2012
Number of Days to Update: 77	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

COAL ASH: Coal Ash Disposal Site Listing

A listing of coal ash landfills.

Date of Government Version: 05/27/2011	Source: Department of Natural Resources
Date Data Arrived at EDR: 05/31/2011	Telephone: 404-362-2537
Date Made Active in Reports: 07/11/2011	Last EDR Contact: 03/05/2012
Number of Days to Update: 41	Next Scheduled EDR Contact: 05/21/2012
	Data Release Frequency: Varies

FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 12/31/2005	Source: U.S. Geological Survey
Date Data Arrived at EDR: 02/06/2006	Telephone: 888-275-8747
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 01/20/2012
Number of Days to Update: 339	Next Scheduled EDR Contact: 04/30/2012
	Data Release Frequency: N/A

EDR PROPRIETARY RECORDS

EDR Proprietary Records

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Manufactured Gas Plants: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 02/20/2012
Date Data Arrived at EDR: 02/20/2012
Date Made Active in Reports: 03/15/2012
Number of Days to Update: 24

Source: Department of Environmental Protection
Telephone: 860-424-3375
Last EDR Contact: 02/20/2012
Next Scheduled EDR Contact: 06/04/2012
Data Release Frequency: Annually

NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2010
Date Data Arrived at EDR: 07/20/2011
Date Made Active in Reports: 08/11/2011
Number of Days to Update: 22

Source: Department of Environmental Protection
Telephone: N/A
Last EDR Contact: 01/20/2012
Next Scheduled EDR Contact: 04/30/2012
Data Release Frequency: Annually

NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/10/2012
Date Data Arrived at EDR: 02/09/2012
Date Made Active in Reports: 03/09/2012
Number of Days to Update: 29

Source: Department of Environmental Conservation
Telephone: 518-402-8651
Last EDR Contact: 02/09/2012
Next Scheduled EDR Contact: 05/21/2012
Data Release Frequency: Annually

PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2009
Date Data Arrived at EDR: 01/26/2012
Date Made Active in Reports: 03/06/2012
Number of Days to Update: 40

Source: Department of Environmental Protection
Telephone: 717-783-8990
Last EDR Contact: 01/23/2012
Next Scheduled EDR Contact: 05/07/2012
Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2010
Date Data Arrived at EDR: 06/24/2011
Date Made Active in Reports: 06/30/2011
Number of Days to Update: 6

Source: Department of Environmental Management
Telephone: 401-222-2797
Last EDR Contact: 02/27/2012
Next Scheduled EDR Contact: 06/11/2012
Data Release Frequency: Annually

WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2010
Date Data Arrived at EDR: 08/19/2011
Date Made Active in Reports: 09/15/2011
Number of Days to Update: 27

Source: Department of Natural Resources
Telephone: N/A
Last EDR Contact: 03/19/2012
Next Scheduled EDR Contact: 07/02/2012
Data Release Frequency: Annually

Oil/Gas Pipelines: This data was obtained by EDR from the USGS in 1994. It is referred to by USGS as GeoData Digital Line Graphs from 1:100,000-Scale Maps. It was extracted from the transportation category including some oil, but primarily gas pipelines.

Electric Power Transmission Line Data

Source: Rextag Strategies Corp.

Telephone: (281) 769-2247

U.S. Electric Transmission and Power Plants Systems Digital GIS Data

Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Child Care Centers

Source: Department of Human Resources

Telephone: 404-651-5562

Flood Zone Data: This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002 and 2005 from the U.S. Fish and Wildlife Service.

Scanned Digital USGS 7.5' Topographic Map (DRG)

Source: United States Geologic Survey

A digital raster graphic (DRG) is a scanned image of a U.S. Geological Survey topographic map. The map images are made by scanning published paper maps on high-resolution scanners. The raster image is georeferenced and fit to the Universal Transverse Mercator (UTM) projection.

STREET AND ADDRESS INFORMATION

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GEOCHECK[®] - PHYSICAL SETTING SOURCE ADDENDUM

TARGET PROPERTY ADDRESS

HEARTHSIDE AT SUGARLOAF
1625 ATKINSON ROAD
LAWRENCEVILLE, GA 30043

TARGET PROPERTY COORDINATES

Latitude (North):	33.9699 - 33° 58' 11.64"
Longitude (West):	84.0722 - 84° 4' 19.92"
Universal Tranverse Mercator:	Zone 16
UTM X (Meters):	770521.9
UTM Y (Meters):	3762488.2
Elevation:	960 ft. above sea level

USGS TOPOGRAPHIC MAP

Target Property Map:	33084-H1 LUXOMNI, GA
Most Recent Revision:	1999

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principal investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

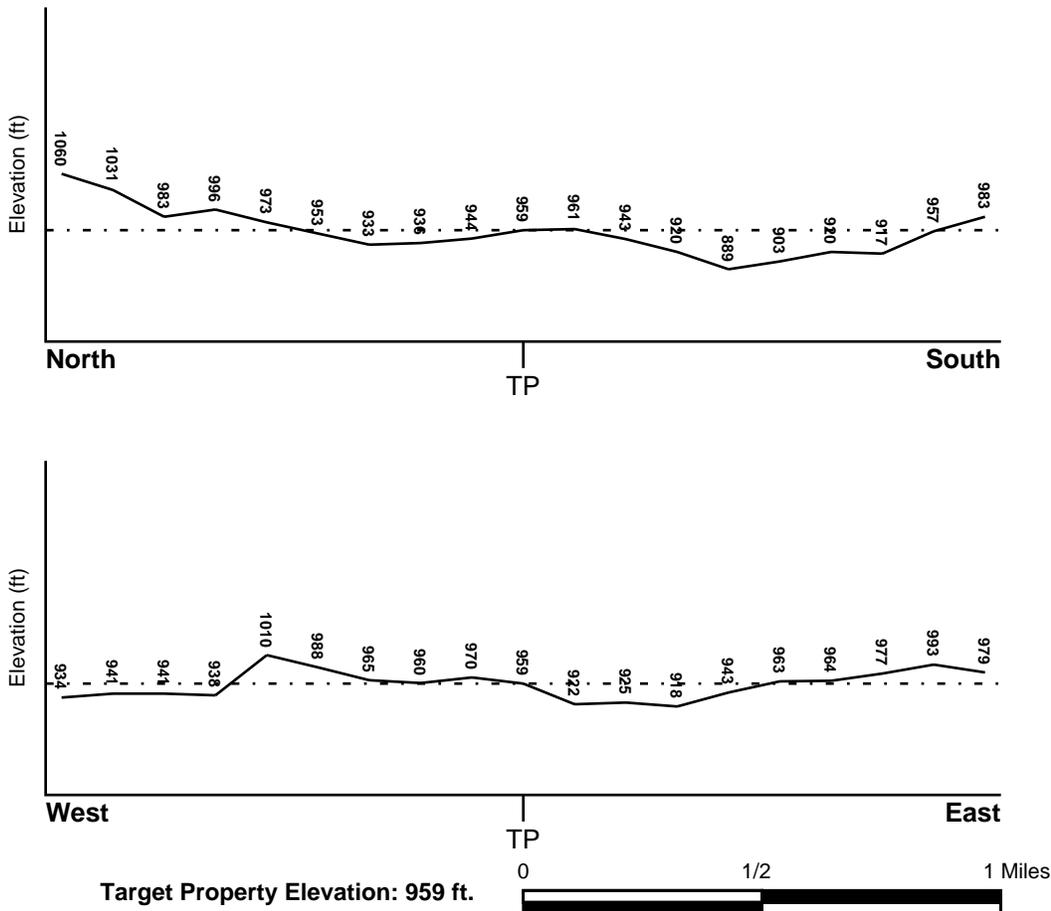
TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General East

SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

FEMA FLOOD ZONE

<u>Target Property County</u> GWINNETT, GA	FEMA Flood <u>Electronic Data</u> YES - refer to the Overview Map and Detail Map
Flood Plain Panel at Target Property:	13135C - FEMA DFIRM Flood data
Additional Panels in search area:	Not Reported

NATIONAL WETLAND INVENTORY

<u>NWI Quad at Target Property</u> LUXOMNI	NWI Electronic <u>Data Coverage</u> YES - refer to the Overview Map and Detail Map
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HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
1	1/2 - 1 Mile ENE	Not Reported
2	1/2 - 1 Mile WNW	S

For additional site information, refer to Physical Setting Source Map Findings.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

ROCK STRATIGRAPHIC UNIT

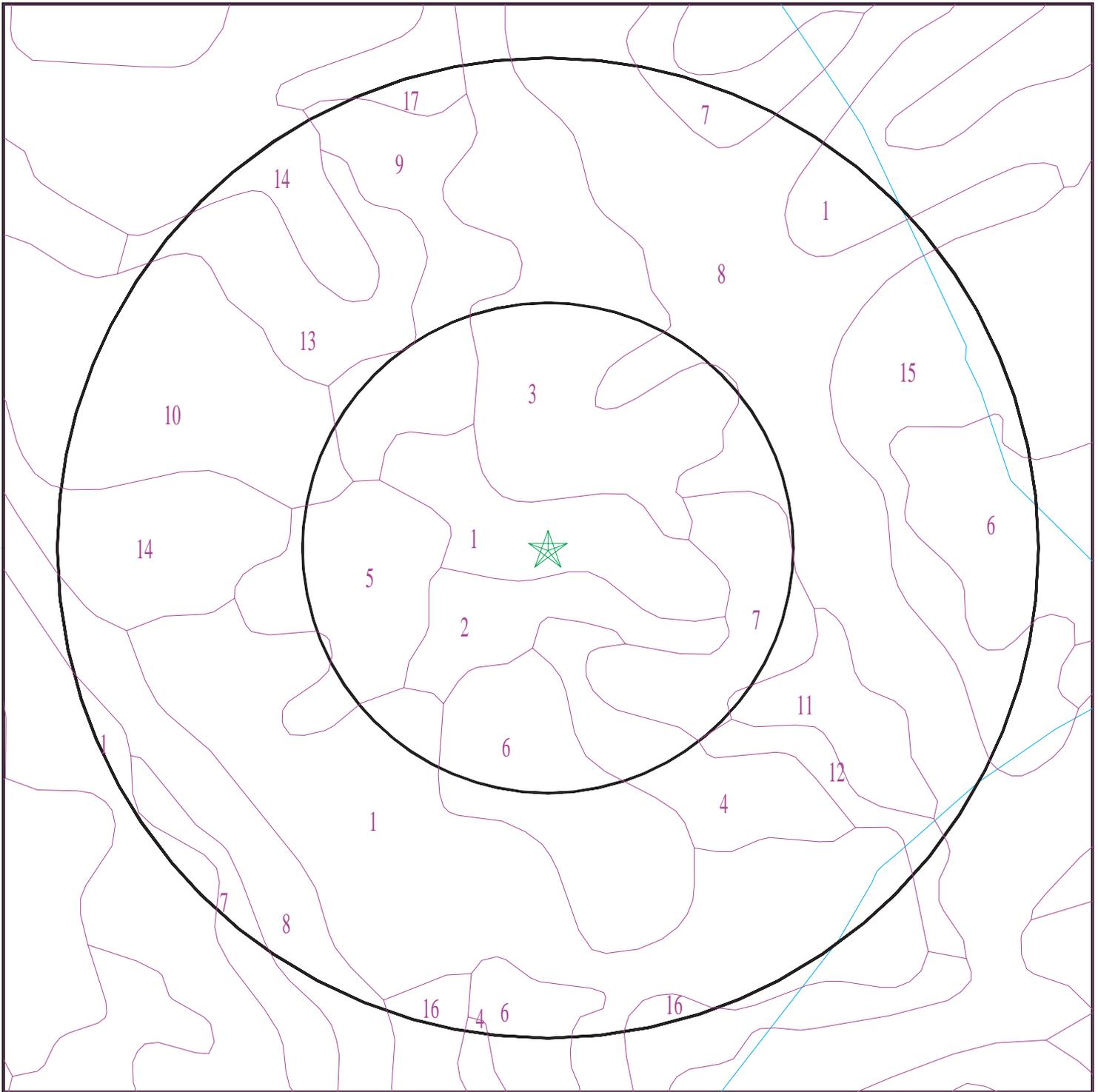
Era:	Paleozoic
System:	Ordovician
Series:	Lower Paleozoic
Code:	IPz <i>(decoded above as Era, System & Series)</i>

GEOLOGIC AGE IDENTIFICATION

Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

SSURGO SOIL MAP - 3297868.2s



- ★ Target Property
- SSURGO Soil
- Water



SITE NAME: Hearthside At Sugarloaf
ADDRESS: 1625 Atkinson Road
Lawrenceville GA 30043
LAT/LONG: 33.9699 / 84.0722

CLIENT: One Consulting Group, Inc.
CONTACT: Brawner
INQUIRY #: 3297868.2s
DATE: April 06, 2012 9:59 am

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. The following information is based on Soil Conservation Service SSURGO data.

Soil Map ID: 1

Soil Component Name: Appling

Soil Surface Texture: sandy clay loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Moderate

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	46 inches	64 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 5.5 Min: 4.5
2	0 inches	9 inches	sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 5.5 Min: 4.5
3	9 inches	35 inches	sandy clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 5.5 Min: 4.5

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
4	35 inches	46 inches	sandy clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 5.5 Min: 4.5

Soil Map ID: 2

Soil Component Name: Madison

Soil Surface Texture: sandy clay loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	5 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
2	5 inches	29 inches	clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
3	29 inches	35 inches	clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
4	35 inches	66 inches	fine sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5

Soil Map ID: 3

Soil Component Name: Hard Labor

Soil Surface Texture: sandy loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Moderately well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 81 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	2 inches	sandy loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
2	2 inches	7 inches	coarse sandy loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
3	7 inches	31 inches	clay	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
4	31 inches	48 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
5	48 inches	59 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand. COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5

Soil Map ID: 4

Soil Component Name: Madison

Soil Surface Texture: sandy clay loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	5 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
2	5 inches	29 inches	clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
3	29 inches	35 inches	clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
4	35 inches	66 inches	fine sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5

Soil Map ID: 5

Soil Component Name: Gwinnett

Soil Surface Texture: loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	7 inches	loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 14 Min: 4	Max: 6.5 Min: 5.1
2	7 inches	35 inches	clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 14 Min: 4	Max: 6.5 Min: 5.1
3	35 inches	44 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay	Max: 14 Min: 4	Max: 6.5 Min: 5.1

Soil Map ID: 6

Soil Component Name: Appling

Soil Surface Texture: sandy loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Moderate

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 81 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	sandy loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 4
2	9 inches	35 inches	sandy clay	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 4
3	35 inches	46 inches	sandy clay	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 4
4	46 inches	64 inches	sandy clay loam	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 4

Soil Map ID: 7

Soil Component Name: Wedowee

Soil Surface Texture: sandy loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Moderate

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 3.6
2	9 inches	14 inches	loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 3.6
3	14 inches	31 inches	sandy clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 3.6
4	31 inches	59 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 5.5 Min: 3.6

Soil Map ID: 8

Soil Component Name: Chewacla

Soil Surface Texture: silt loam

Hydrologic Group: Class C - Slow infiltration rates. Soils with layers impeding downward movement of water, or soils with moderately fine or fine textures.

Soil Drainage Class: Somewhat poorly drained

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 31 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	7 inches	silt loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 7.8 Min: 4.5
2	7 inches	24 inches	silt loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 7.8 Min: 4.5
3	24 inches	33 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 7.8 Min: 4.5
4	33 inches	70 inches	silt loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 7.8 Min: 4.5

Soil Map ID: 9

Soil Component Name: Pacolet

Soil Surface Texture: sandy clay loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	3 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
2	3 inches	29 inches	clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
3	51 inches	70 inches	loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
4	29 inches	51 inches	clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 6 Min: 4.5

Soil Map ID: 10

Soil Component Name: Gwinnett

Soil Surface Texture: clay loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	7 inches	clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 6.5 Min: 5.1
2	7 inches	35 inches	clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 6.5 Min: 5.1
3	35 inches	44 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 6.5 Min: 5.1

Soil Map ID: 11

Soil Component Name: Altavista

Soil Surface Texture: sandy loam

Hydrologic Group: Class C - Slow infiltration rates. Soils with layers impeding downward movement of water, or soils with moderately fine or fine textures.

Soil Drainage Class: Moderately well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Moderate

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 61 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	42 inches	59 inches	sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 6 Min: 3.6
2	0 inches	11 inches	fine sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 6 Min: 3.6
3	11 inches	42 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 6 Min: 3.6

Soil Map ID: 12

Soil Component Name: Bethlehem

Soil Surface Texture: sandy clay loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Moderate

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	7 inches	11 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 42 Min: 14	Max: 5.5 Min: 4.5
2	11 inches	25 inches	clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 42 Min: 14	Max: 5.5 Min: 4.5
3	25 inches	31 inches	gravelly sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 42 Min: 14	Max: 5.5 Min: 4.5
4	31 inches	59 inches	weathered bedrock	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 42 Min: 14	Max: 5.5 Min: 4.5
5	0 inches	7 inches	gravelly sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 42 Min: 14	Max: 5.5 Min: 4.5

Soil Map ID: 13

Soil Component Name: Gwinnett

Soil Surface Texture: clay loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	7 inches	clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 6.5 Min: 5.1
2	7 inches	35 inches	clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 6.5 Min: 5.1
3	35 inches	44 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit less than 50%), Lean Clay Soils.	Max: 14 Min: 4	Max: 6.5 Min: 5.1

Soil Map ID: 14

Soil Component Name: Cecil

Soil Surface Texture: sandy loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	50 inches	75 inches	sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit 50% or more), Elastic silt.	Max: 14 Min: 4	Max: 5.5 Min: 4.5
2	0 inches	7 inches	sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit 50% or more), Elastic silt.	Max: 14 Min: 4	Max: 5.5 Min: 4.5
3	7 inches	11 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit 50% or more), Elastic silt.	Max: 14 Min: 4	Max: 5.5 Min: 4.5
4	11 inches	50 inches	clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit 50% or more), Elastic silt.	Max: 14 Min: 4	Max: 5.5 Min: 4.5

Soil Map ID: 15

Soil Component Name: Urban land

Soil Surface Texture: sandy loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class:
Hydric Status: Unknown

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

No Layer Information available.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Map ID: 16

Soil Component Name: Madison

Soil Surface Texture: sandy clay loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	5 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
2	5 inches	29 inches	clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
3	29 inches	35 inches	clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
4	35 inches	66 inches	fine sandy loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 14 Min: 4	Max: 6 Min: 4.5

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Map ID: 17

Soil Component Name: Pacolet

Soil Surface Texture: sandy clay loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: High

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	3 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
2	3 inches	29 inches	clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
3	51 inches	70 inches	loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 6 Min: 4.5
4	29 inches	51 inches	clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 14 Min: 4	Max: 6 Min: 4.5

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

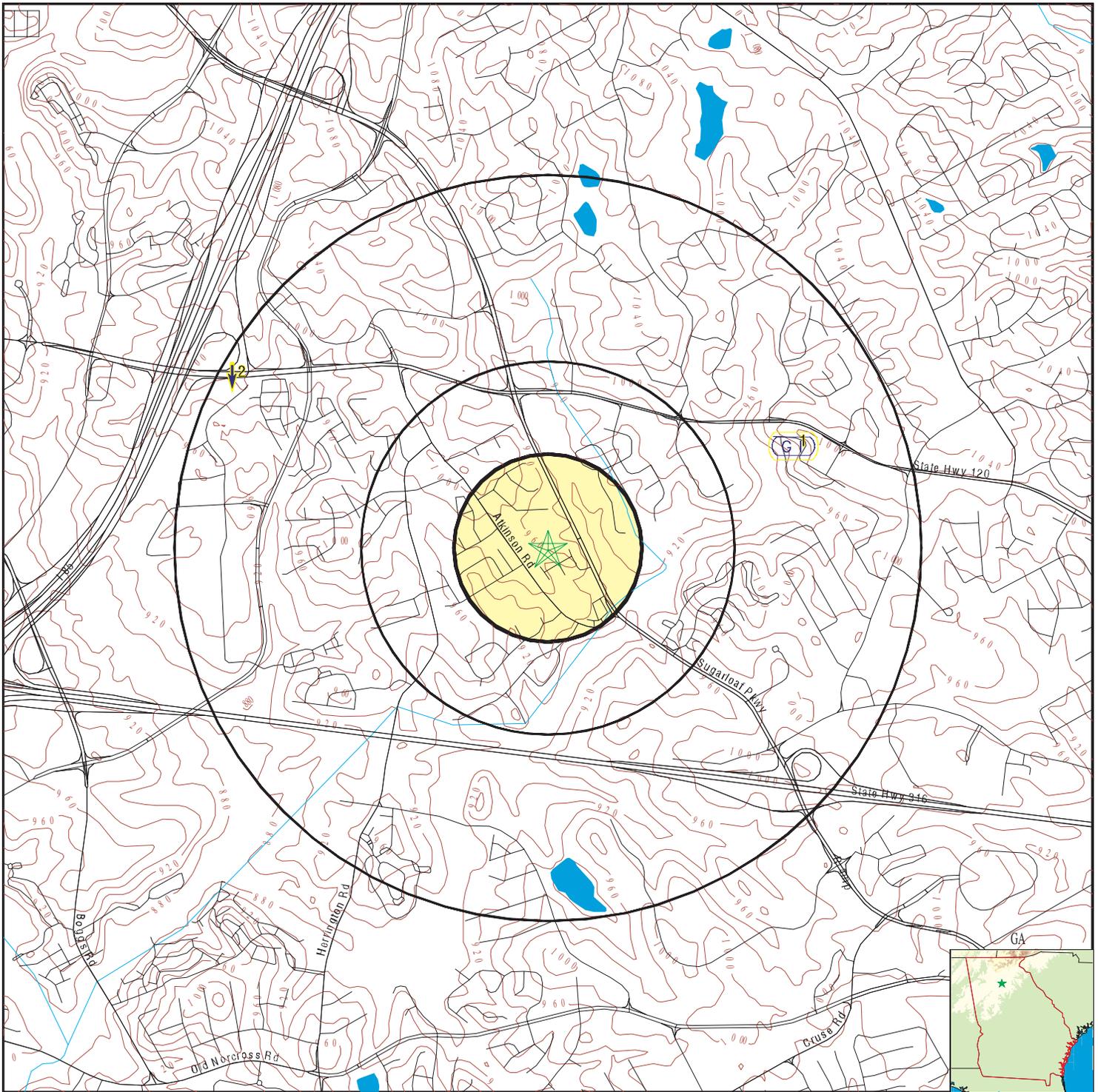
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No PWS System Found		

Note: PWS System location is not always the same as well location.

STATE DATABASE WELL INFORMATION

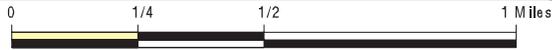
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

PHYSICAL SETTING SOURCE MAP - 3297868.2s



-  County Boundary
-  Major Roads
-  Contour Lines
-  Earthquake epicenter, Richter 5 or greater
-  Water Wells
-  Public Water Supply Wells
-  Cluster of Multiple Icons

-  Groundwater Flow Direction
-  Wildlife Areas
-  Indeterminate Groundwater Flow at Location
-  Groundwater Flow Varies at Location



SITE NAME: Heartside At Sugarloaf
 ADDRESS: 1625 Atkinson Road
 Lawrenceville GA 30043
 LAT/LONG: 33.9699 / 84.0722

CLIENT: One Consulting Group, Inc.
 CONTACT: Brawner
 INQUIRY #: 3297868.2s
 DATE: April 06, 2012 9:59 am

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

1	Site ID:	0-670379		
ENE	Groundwater Flow:	Not Reported	AQUIFLOW	22734
1/2 - 1 Mile	Shallow Water Depth:	19		
Higher	Deep Water Depth:	Not Reported		
	Average Water Depth:	Not Reported		
	Date:	8/31/1995		

2	Site ID:	9-000612		
WNW	Groundwater Flow:	S	AQUIFLOW	26829
1/2 - 1 Mile	Shallow Water Depth:	15.83		
Higher	Deep Water Depth:	36.60		
	Average Water Depth:	Not Reported		
	Date:	11/25/1997		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

Federal EPA Radon Zone for GWINNETT County: 1

- Note: Zone 1 indoor average level > 4 pCi/L.
- : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.
- : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for GWINNETT COUNTY, GA

Number of sites tested: 44

<u>Area</u>	<u>Average Activity</u>	<u>% <4 pCi/L</u>	<u>% 4-20 pCi/L</u>	<u>% >20 pCi/L</u>
Living Area - 1st Floor	2.402 pCi/L	89%	11%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	3.057 pCi/L	89%	11%	0%

PHYSICAL SETTING SOURCE RECORDS SEARCHED

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Scanned Digital USGS 7.5' Topographic Map (DRG)

Source: United States Geologic Survey

A digital raster graphic (DRG) is a scanned image of a U.S. Geological Survey topographic map. The map images are made by scanning published paper maps on high-resolution scanners. The raster image is georeferenced and fit to the Universal Transverse Mercator (UTM) projection.

HYDROLOGIC INFORMATION

Flood Zone Data: This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002 and 2005 from the U.S. Fish and Wildlife Service.

HYDROGEOLOGIC INFORMATION

AQUIFLOW^R Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Services, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

LOCAL / REGIONAL WATER AGENCY RECORDS

FEDERAL WATER WELLS

PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

STATE RECORDS

Georgia Public Supply Wells

Source: Georgia Department of Community Affairs

Telephone: 404-894-0127

USGS Georgia Water Wells

Source: USGS, Georgia District Office

Telephone: 770-903-9100

DNR Managed Lands

Source: Department of Natural Resources

Telephone: 706-557-3032

This dataset provides 1:24,000-scale data depicting boundaries of land parcels making up the public lands managed by the Georgia Department of Natural Resources (GDNR). It includes polygon representations of State Parks, State Historic Parks, State Conservation Parks, State Historic Sites, Wildlife Management Areas, Public Fishing Areas, Fish Hatcheries, Natural Areas and other specially-designated areas. The data were collected and located by the Georgia Department of Natural Resources. Boundaries were digitized from survey plats or other information.

OTHER STATE DATABASE INFORMATION

RADON

Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

OTHER

Airport Landing Facilities: Private and public use landing facilities

Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater

Source: Department of Commerce, National Oceanic and Atmospheric Administration

PHYSICAL SETTING SOURCE RECORDS SEARCHED

STREET AND ADDRESS INFORMATION

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Georgia Department of Natural Resources

Environmental Protection Division, Watershed Protection Branch
4220 International Parkway, Suite 101
Atlanta, Georgia 30354
FAX: 404/675-2506

April 11, 2012

Sam Urban
Robert Brawner
One Consulting Group, Inc.

RE: Open Records Request:
Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Georgia 30043
Proposed Braselton Court
Beaver Dam Road (just east of intersection
With GA Hwy 211)
Braselton, Georgia 30548

Dear Mr. Urban:

This is in response to your recent request, made under the Georgia Open Records Act (GORA) regarding information from our files on the above referenced properties.

A review of Watershed Protection Branch files indicates that we have no information concerning the above referenced properties as listed in your request.

For further assistance, please contact Renee Walker at (404) 675-1743 or by email at renee_walker@dnr.state.ga.us.

Sincerely,

Renee Walker
GORA Secretary

Rlw

Robert Brawner

From: Kim Feagler [Kim.Feagler@dnr.state.ga.us]
Sent: Thursday, April 12, 2012 2:48 PM
To: Robert Brawner
Subject: Open Records Request - 1625 Atkinson Road

Mr. Brawner,

This is in response to your recent request made under the Georgia Open Records Act (GORA) regarding information from our files on the referenced facility.

A review of the Land Protection Branch files indicate that we have no information concerning the referenced facility as listed in your request. The Land Protection Branch consists of the Hazardous Waste Management Program, Underground Storage Tank Program, Solid Waste Management Program, Surface Mining Management Program, Scrap Tire Management Program, and the Lead-Based Paint & Asbestos Program.

Please let me know if you have any questions or need further assistance.

Thank you

Kim Feagler
Environmental Protection Division
Georgia Department of Natural Resources
4244 International Parkway, Suite 104
Atlanta, GA 30354

Robert Brawner

From: Kim Feagler [Kim.Feagler@dnr.state.ga.us]
Sent: Wednesday, May 09, 2012 2:54 PM
To: Robert Brawner
Subject: Open Records Request

Mr. Brawner,

This is in response to your recent request made under the Georgia Open Records Act (GORA) regarding information from our files on the referenced facilities:

Proposed Hearthside at Sugarloaf, 1625 Atkinson Road, Lawrenceville, Gwinnett County Proposed
Braselton Court, Beaver Dam Road, Braselton, Barrow County

A review of the Land Protection Branch files indicate that we have no information concerning the referenced facilities as listed in your request. The Land Protection Branch consists of the Hazardous Waste Management Program, Underground Storage Tank Program, Solid Waste Management Program, Surface Mining Management Program, Scrap Tire Management Program, and the Lead-Based Paint & Asbestos Program.

Please let me know if you have any questions or need further assistance.

Thank you

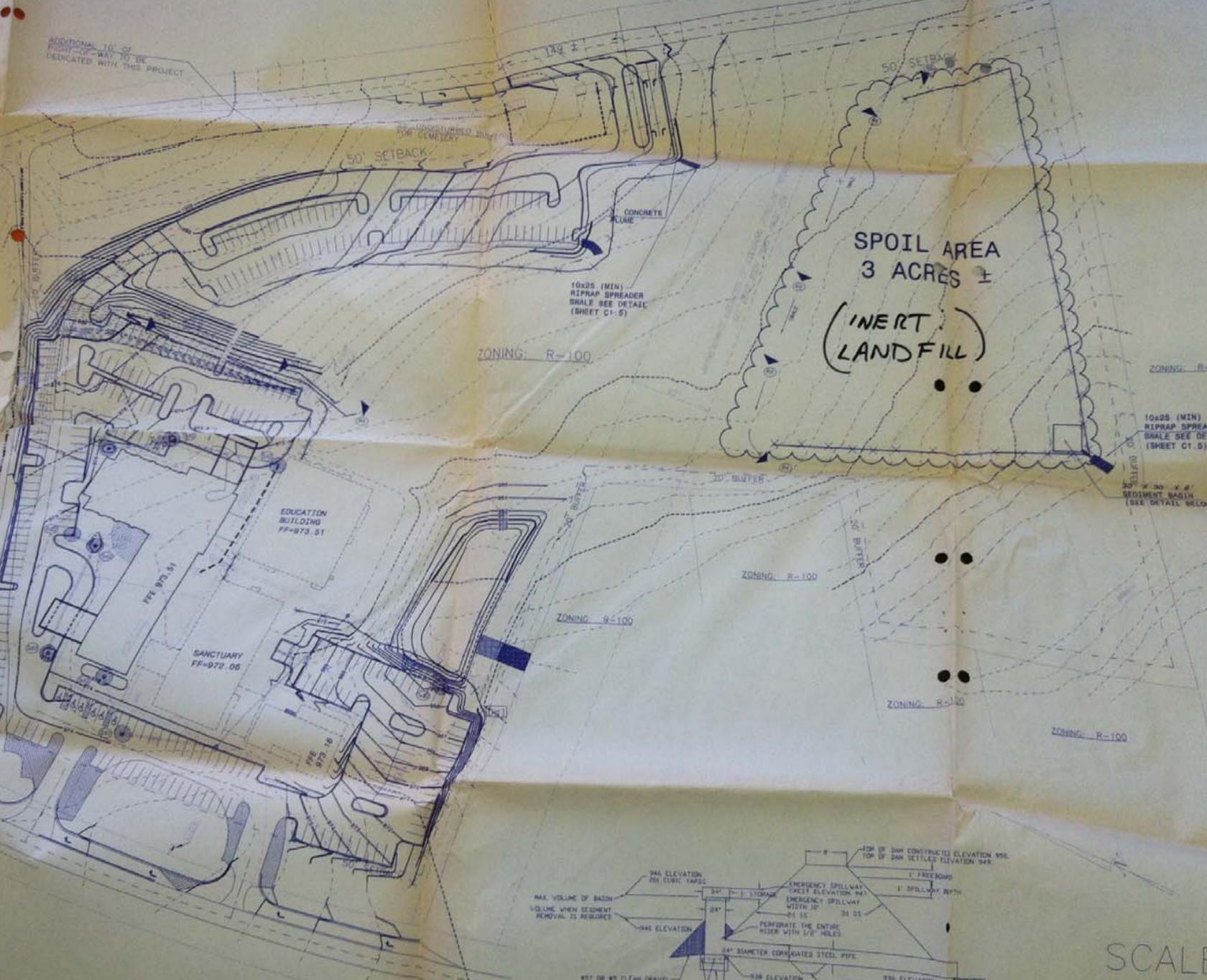
Kim Feagler
Environmental Protection Division
Georgia Department of Natural Resources
4244 International Parkway, Suite 104
Atlanta, GA 30354

ALL WORK SHALL BE PERFORMED BY
 DISPOSAL OF SOLID
 USE STORAGE
 MATERIALS OF THIS PROJECT
 HAZARDOUS MATERIAL
 SHALL BE INSTALLED BY
 COUNTY OF AND
 ANY WETLAND AREA
 PRACTICES SHALL

ADDITIONAL 10' OF
 RIGHT-OF-WAY TO BE
 DEDICATED WITH THIS PROJECT

RA-200

PROPERTY LINE
 WILSON LANE
 P.L.O.W.



SPOIL AREA
 3 ACRES ±
 (INERT
 LANDFILL)

ZONING: R-100

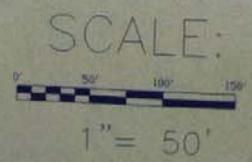
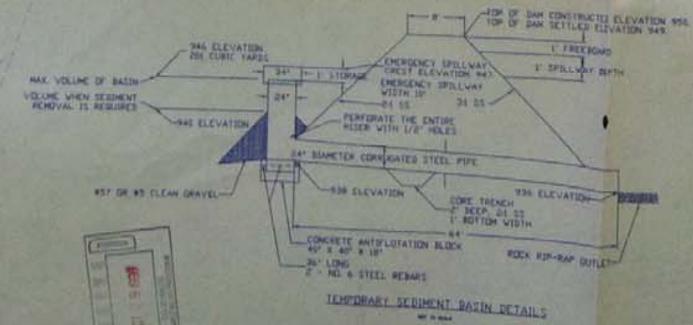
ZONING: R-100

ZONING: R-100

ZONING: R-100

ZONING: R-100

ZONING: R-100



NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		

ATKINSON ROAD
 BAPTIST CHURCH
 GWINNETT COUNTY, GEORGIA

185 Cahaba Valley Parkway
 Birmingham, Alabama 35124
 Phone: (205) 444-0776
 Fax: (205) 444-0994
 myrick.batson@mtdsprng.com

**Myrick
 Batson**

PROJECT NUMBER
ISSUE DATE
DRAWN BY
CHECKED BY
SHEET NUMBER
REVISION

EROSION CONTROL PLAN

Georgia Department of Natural Resources

Environmental Protection Division

Solid Waste Management Program

4244 International Parkway, Suite 104, Atlanta, Georgia 30354

Lonice C. Barrett, Commissioner

Harold F. Reheis, Director

(404)362-2692

November 9, 1998

Mr. Russell Small
Project Manager
Atkinscn Road Baptist Church Inert Landfill
1026 Old Peachtree Road, NE
Lawrenceville, GA 30043

SUBJECT: Notification of Permit by Rule Operation
Inert Landfill - Gwinnett County
PBR-067-751IL

Dear Mr. Small:

The Solid Waste Management Program has received your notification for an inert waste landfill located at 1755 Herrington Road. in Gwinnett County. Your inert waste landfill operation shall be deemed to have a solid waste handling permit by rule if it complies with Section 391-3-4-.06(3)(c):

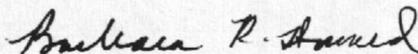
1. Only waste that will not or is not likely to produce leachate of environmental concern may be disposed of in an inert waste landfill. Only earth and earth-like products, concrete, cured asphalt, rock, bricks, yard trash, and land clearing debris such as stumps; limbs and leaves, are acceptable for disposal in an inert waste landfill.
2. No portion of waste disposal area shall be located within one hundred (100) linear feet of any property line or enclosed structure.
3. Materials placed in inert waste landfills shall be spread in layers and compacted to the least practical volume. A uniform compacted layer of clean earth cover no less than one (1) foot in depth shall be placed over all exposed inert waste material at least monthly.
4. The inert waste landfill site shall be graded and drained to minimize runoff onto the landfill surface, to prevent erosion and to drain water from the surface of the landfill.
5. Access to inert waste landfills shall be limited to authorized entrances which shall be closed when the site is not in operation.
6. Suitable means shall be provided to prevent and control fires. Stockpiled soil is considered to be the most satisfactory fire fighting material.
7. A uniform compacted layer of final cover not less than two (2) feet in depth and a vegetative cover shall be placed over the final lift not later than one month following final placement of inert waste within that lift.
8. Notice of final closure must be provided to the Director within 30 days of receiving the final load of waste. Any site not receiving waste for in excess of 180 days shall be deemed abandoned and in violation of these Rules unless properly closed. Notice of closure must include the date of final waste receipt and an accurate legal description of the boundaries of the landfill.

9. All deeds for real property which have been used for landfilling shall include notice of the landfill operations, the date the landfill operation commenced and terminated, an accurate legal description of the actual location of the landfill, and a description of the type of solid wastes which have been deposited in the landfill. Concurrent with the submission of notice of final closure to the Director, the owner or operator must submit to the Director confirmation that the information required in this section has been noticed on the property deed.
10. All wastes received at the landfill must be measured and reported as required by Rule 391-3-4- .17.
11. All other applicable federal, state, and local laws, rules and ordinances, including erosion and sediment control, and any applicable federal wetlands permits, must be fully complied with prior to commencement of landfilling operations.

A copy of the Rules for Solid Waste Management, Chapter 391-3-4, is enclosed for your information. Please carefully review definitions and requirements pertaining to your inert waste landfill. Violation of any of the applicable requirements will invalidate your permit by rule status.

This Permit by Rule does not supersede any approvals or permits that may be required by any other existing Federal, State or local ordinances, or rules and regulations. Most land disturbing activities including inert landfill operations require that a Land Disturbing Activity Permit (erosion and sedimentation control) be issued by the appropriate issuing authority prior to any construction taking place. Wetland areas are protected under Section 404 of the Clean Water Act and are regulated by the U.S. Army Corps of Engineers. Filling in such an area without obtaining permission from the Corps of Engineers may violate Federal Law. If you have any questions regarding this matter, please contact me at (404)362-2572.

Sincerely,



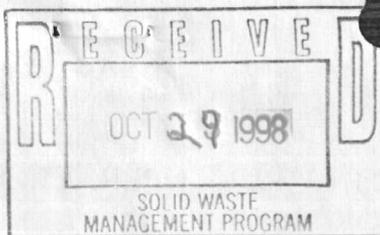
Barbara R. Howard, P.E.
Principal Environmental Engineer
Solid Waste Management Program

BH:g:\landdocs\barbarah\Atkinsch.il

Enclosure: Copy of Solid Waste Management Rules

cc: Honorable F. Wayne Hill
Northwest Region EPD
File (PBR) Gwinnett County

Department of Natural Resources
Environmental Protection Division
Solid Waste Management Program
4244 International Parkway, Suite 104
Atlanta, Georgia 30354-3902 (404) 362-2692



COUNTY DeWitt

PBR- 062-7511
(For SWMP Use Only)

NOTIFICATION OF PERMIT BY RULE OPERATIONS

Please Type or Print:

I. FACILITY NAME Atkinson Road Baptist Church
FACILITY ADDRESS/LOCATION 1755 Harrington Road
CITY Lawrenceville STATE Georgia ZIP 30043
OWNER/OPERATOR Atkinson Road Baptist Church
ADDRESS 1755 Harrington Road TELEPHONE (770) 995-0223
CITY Lawrenceville STATE GA ZIP 30043
AUTHORIZED REPRESENTATIVE Russell Small TITLE Project Manager
MAILING ADDRESS 1026 Old Peachtree Road NE TELEPHONE (770) 995-0534
CITY Lawrenceville STATE GA. ZIP 30043
SIGNATURE [Signature] DATE 10/23/98
(Please sign here)

II. TYPE OF OPERATION (Check only the block for the operation(s) for which you will be responsible)

- A Collection
B Transfer Station
C Inert Landfill Is property for disposal site owned leased by applicant?

If leased, Property Owner _____

Address _____

City _____ State _____ Zip _____

- D On-Site Processing or Thermal Treatment Processing Thermal Treatment
E Wastewater Treatment or Pretreatment Plant Sludge Disposal

III. DESCRIPTION OF OPERATION (Describe briefly the general nature of the proposed operation and list the specific solid waste to be disposed, processed or treated.)

Dispose of asphalt to be demolished from site. Asphalt is part of existing parking lot

IV. STATUS OF OPERATION (Check) Existing Proposed Projected startup 11 / 98
Month Year

V. AREA TO BE SERVED (List County(s)) N/A

OVER

8001 P 13

NOTIFICATION OF PERMIT BY RULE OPERATIONS
PAGE 2

See West

VI. INERT LANDFILL OPERATIONS ONLY:

ATTACH a letter from the host local jurisdiction which states that this operation is in compliance with all applicable local rules and ordinances, including erosion and sediment control.

ATTACH a drawing that documents that no portion of the waste disposal area will be located within one hundred (100) linear feet of any property line or enclosed structure.

VII. INERT LANDFILL, TRANSFER STATION, ON-SITE PROCESSING OR THERMAL TREATMENT OR WASTE WATER TREATMENT OR THERMAL TREATMENT PLANT SLUDGE DISPOSAL OPERATIONS:

ATTACH a street or highway map indicating location of site or facility.

NOTE

INCOMPLETE NOTIFICATIONS WILL BE RETURNED. OPERATIONS MUST MEET THE CONDITIONS IN PARAGRAPH (2) AND THE CONDITIONS IN PARAGRAPH (3) OF SECTION .06 OF THE RULES FOR SOLID WASTE MANAGEMENT IN ORDER TO OPERATE UNDER THE PERMIT BY RULE PROVISION.



EROSION CONTROL AND
SOLID WASTE MANAGEMENT AFFIDAVIT

This affidavit must be submitted at time of permit application; please type or use black ink.

Permit Number: COP 98-00344
Clearing: [] Clearing and Grubbing: [] Grading: [] Development: []
Subdivision or Project Name: Atkinson Road Baptist Church
Phase/Unit: _____ Lot: _____ Block: _____
Job Site Address: 1755 Herrington Road, Lawrenceville, GA.
Company Name: Myrick, Bateson + Gurosky, Inc.
Company Address: 2810 Spring Road, Suite 114, Atlanta, GA. 30339
City: Atlanta State: GA. Zip: 30139
Company Phone: 770-436-9937 Other Phone: _____

EROSION CONTROL

My signature hereon signifies that I am the person responsible for compliance with the Soil Erosion & Sediment Control Ordinance. I acknowledge that County inspection staff may: refuse to make inspections, issue Stop Work Orders, and issue summons's to appear in Recorder's Court for violations of erosion control requirements; and that I must use Best Management Practices (BMP's) to control soil erosion on my job site which includes at a minimum all of the following:

- Installation and regular maintenance of silt barriers (i.e. silt fences, hay bales, etc.) in those areas where water exits the job site;
- Installation and regular maintenance of a stone driveway entrance/exit pad to minimize the tracking of mud into the street;
- Removal of mud from the street or adjacent property immediately following any such occurrence;
- Maintenance and removal of mud from detention ponds and sediment basins;
- Conduct no land disturbing activities within 25 feet of the banks of streams, lakes, wetlands, etc. (i.e. "state waters") except in locations as indicated on the approved Soil Erosion and Sediment Control Plan;
- Institute erosion control measures and practices as indicated on the approved Soil Erosion and Sediment Control Plan.

SOLID WASTE MANAGEMENT

1. Construction and Demolition (C&D) Waste Disposal Information: (Please complete both paragraphs "a" and "b" below)
Note: on-site burial/disposal of Construction and Demolition (C&D) Waste is prohibited by Georgia law and the Gwinnett County Solid Waste Disposal Services Ordinance. Construction and Demolition (C&D) Waste means building materials from construction and demolition operations which include, but are not limited to: asbestos-containing waste, wood, bricks, metal, concrete, wall board, paper, and cardboard.

a. State how often C&D Waste will be collected and hauled (note: hauler must have a Permit by Rule from Georgia EPD):

b. State the type of container or enclosure to be used to temporarily store waste before hauling (e.g. dumpsters provided every other lot, etc.):

2. Inert Waste Disposal Information: (Please complete either paragraph "a" or "b" below)

Note: on-site disposal of Inert Waste is authorized by Georgia law and the Gwinnett County Solid Waste Disposal Services Ordinance ONLY if Georgia EPD Permit by Rule regulations are followed. Inert Waste is limited to: earth, earth-like products, concrete, cured asphalt, rock, bricks, yard trimmings, stumps, limbs and leaves.

a. Off-Site Disposal (including residue from burning):

(1) State if Inert Waste is to be burned (approval from Gwinnett Fire Marshall's Office is required): _____ Yes _____ No; and,

(2) State how often Inert Waste and/or burning residue will be collected and hauled (note: hauler must have a Permit by Rule from Georgia EPD):

b. On-Site Disposal (including residue from burning):

(1) Please attach a copy of completed Georgia EPD Notification of Permit by Rule Operations Form; and,

(2) Please attach a copy of "sketch plan" indicating the proposed location and boundaries of the disposal site; and,

(3) Please state if inert waste is to be burned (approval from Gwinnett Fire Marshall's Office is required) and applied as a soil amendment: _____ Yes X No.

My signature hereon signifies acknowledgement of all of the following:

- On-site disposal of Construction and Demolition (C&D) Waste is prohibited;
- County inspection staff may: refuse to make inspections, issue Stop Work Orders, issue summons's to Recorder's Court for violations of Stop Work Orders, and refuse to approve Final Plats and Certificates of Occupancy or Completion for failure to comply with solid waste disposal laws;
- If on-site disposal of Inert Waste is proposed, proof shall be provided that property/deed records have been revised or recorded indicating the boundaries of the disposal site prior to approval of a Final Plat, Certificate of Occupancy or Completion.

Signature: Russell A. Small Date Signed: 10/23/98

Printed Name: Russell A. Small Title: Project Manager



MEMORANDUM

TO: Whom It May Concern

FROM: Development Division
Department of Planning & Development

SUBJECT: Georgia EPD Permit By Rule Operations Application for On-site Disposal of Inert Waste; Compliance with the Gwinnett County Zoning Resolution and the Soil Erosion and Sediment Control Ordinance

DATE: July 3, 1996

The definition of the term "landfill" contained in the Gwinnett County Zoning Resolution specifically excludes "approved on-site disposal of inert waste at a building, land disturbing, or development site." Therefore, if approved by the Environmental Protection Division (EPD) of the Georgia Department of Natural Resources, such operations would be in compliance with Gwinnett County regulations.

Also, on-site disposal of inert waste at a building, land disturbing, or development site would be in compliance with the Gwinnett County Soil Erosion and Sediment Control Ordinance if the land disturber follows the approved soil erosion and sediment control plan for the subdivision or project and implements soil erosion and sediment control Best Management Practices (BMP's).

Please attach a copy of this memorandum to your Permit By Rule application form.

If you have any questions, please contact Development Division staff at 770-822-7500.

wdj:pbrepdl.mem

c: WDJ File



3443 Diversified Drive
Loganville, Georgia 30052
Telephone: (770) 466-5525
Fax: (770) 466-2075

April 13, 2007

Ms. Karleen A. Francis
GA Department of Natural Resources
UST Management Program
4244 International Parkway, Suite 104
Atlanta, Georgia 30354

RE: Project Completion Report
Cooper Tucking Co.
1735 Duluth Highway
Lawrenceville, GA; Gwinnett County
Facility ID: 0670168*1



Dear Ms. Francis:

As requested in your letter of No Further Action dated March 16, 2007, please find enclosed the original Completion Report for the referenced project. A representative of Cooper Trucking Co., Mr. Charlie Cooper, has signed the Certificate of Completion. A final reimbursement application will be following in approximately 30 days.

If you should have any questions or comments, please do not hesitate to contact CATLIN at (770) 466-5525.

Sincerely,

Richard F. Copeland
Project Manager

cc: Mr. Charlie Cooper, Cooper Trucking Co.
206-066\Closure\206-066completion.ltr.doc

CATLIN ENVIRONMENTAL CONSULTANTS

PROJECT COMPLETION REPORT

FOR

COOPER TRUCKING

CLIENT: Mr. Charlie Cooper

SITE: Cooper Trucking

LOCATION: 1735 Duluth Highway

FACILITY ID: 0670168*1

CITY: Lawrenceville

CATLIN PROJECT #: 206-066

COUNTY: Gwinnett

LAST REPORT: February 13, 2007

STATE: Georgia

Monitoring Well Number	Monitoring Well Depth
MW-1	33'
MW-2	32'
MW-3	35'

I. PROJECT SUMMARY

The site is an active trucking and hauling company located in Lawrenceville, Georgia. The site previously contained one (1) underground storage tank (UST) system consisting of one 4,000-gallon diesel tank within a single UST basin. In June 2006, Southeastern Petroleum Construction, Inc. removed the tank from the subsurface. During tank closure activities, soil samples were collected and analyzed for Total Petroleum Hydrocarbons – Diesel Range Organics (TPH-DRO), Polynuclear Aromatic Hydrocarbons (PAH), as well as Benzene, Toluene, Ethyl benzene, and Xylenes (BTEX). Elevated TPH-DRO concentrations were discovered within the soil beneath the former UST location, therefore requiring a Corrective Action Plan-Part A.

During the CAP-A investigation, three monitoring wells (MW-1, MW-2, and MW-3) were installed in the area surrounding the former tank basin. Soil and groundwater samples were collected at each monitoring well location. Each sample was laboratory analyzed for PAH and BTEX constituents, in addition each soil sample was also analyzed for TPH-DRO. No soil contamination above State threshold limits was detected in any sample. Laboratory analysis of groundwater samples revealed no concentrations of dissolved BTEX or PAH constituents above laboratory detection limits. No drinking water sources were found within the applicable radii. The nearest surface water receptor was determined to be a small creek, located approximately 900 feet southwest of the site in a down gradient direction.

An Environmental Site Sensitivity Score of 50 was calculated and the CAP-A was submitted on February 13, 2007. The USTMP provided notice of No Further Action Required (NFAR) status for the subject site in a letter dated March 16, 2007.

II. ON SITE EVALUATION

To date, free product has not been detected at this site. The data collected during the life of the project have been reviewed and show no trend in dissolved contaminant concentrations. No monitoring wells have contained any dissolved BTEX concentrations exceeding the applicable standards.

III. SUMMARY OF COMPLETION ACTIVITIES

On March 26, 2007, three (3) monitoring wells (MW-1, MW-2, and MW-3) were abandoned in accordance with the Georgia Department of Natural Resources manual for Groundwater Monitoring (September 1991). The abandoned monitoring wells were as follows:

Monitoring Well Number	Monitoring Well Depth
MW-1	35'
MW-2	35'
MW-3	35'

All soil cuttings from drilling and boring operations previously performed were spread on site.

IV. CONCLUSIONS

After submittal of the CAP-A report, the project officer for the USTMP, in a letter dated March 16, 2007, indicated that this project should be granted NFAR status. It is expected that any remaining hydrocarbon contamination will continue to gradually degrade through natural biological activities. However, should additional contamination (either soil or groundwater) be identified in the future as originating from this UST site, or if the GUST Rules are amended and the cleanup standards become more stringent, it is understood that further investigation and/or corrective action may be required.

Registered Professional Engineer or Professional Geologist Certification

I hereby certify that I have directed and supervised the fieldwork and preparation of this report, in accordance with State Rules and Regulations. As a registered professional geologist and/or professional engineer, I certify that I am a qualified groundwater professional, as defined by the Georgia State Board of Professional Geologists. All of the information and laboratory data in this report and in all of the attachments are true, accurate, complete, and in accordance with applicable State Rules and Regulations.

Name: Mr. William J. Walsh, P.E.

Signature: *William J. Walsh*

Date: 3-28-07



Georgia Stamp or Seal

Georgia Department of Natural Resources

Environmental Protection Division

Underground Storage Tank Management Program

4244 International Parkway, Suite 104, Atlanta, Georgia 30354

Noel Holcomb, Commissioner

Carol A. Couch, Ph.D., Director

(404) 362-2687

March 16, 2007

Mr. Charles Cooper
Cooper Trucking
1735 Duluth Highway
Lawrenceville, GA 30043

SUBJECT: Corrective Action Plan (CAP)-Part A

No Further Action Required:

Cooper Trucking
1735 Duluth Highway
Lawrenceville, Gwinnett County, GA
Facility ID: 0670168*1

Dear Mr. Cooper:

The Georgia Underground Storage Tank Management Program (USTMP) has received your consultant's letter, dated February 13, 2007, that forwarded a properly certified CAP-Part A. The report was prepared by Catlin Environmental Consultants.

Based on current requirements of the Georgia Underground Storage Tank Act, the Georgia Rules for Underground Storage Tank Management (GUST Rules) and the data submitted, the USTMP has determined that **no further action is required for the referenced release.**

However, further corrective action may be required if mandated through more stringent State or Federal statutory or regulatory changes. Additional measures may also be required if existing or future drinking water systems or surface water bodies within two miles of the site are impacted by any dissolved contamination resulting from this release, or if previously unidentified soil contamination, dissolved contamination or free product are identified as originating from this site.

Please note that only a Corrective Action Agreement (CAA) can obligate money for the reimbursement of approved expenses incurred or projected in your CAP-Part A. Based on confirmation of your GUST Trust Fund eligibility, a CAA will be proposed to you in writing as funds become available. If subsequent information, regardless of when or how obtained, should reveal facts relative to the eligibility of this claim, the GUST Trust Fund Application may be re-evaluated and a new determination of eligibility may be made.

CORRECTIVE ACTION PLAN PART A

Facility Name: Cooper Trucking Street Address: 1735 Duluth Highway
Facility ID: 0670168 City: Lawrenceville County: Gwinnett Zip Code: 30043
Latitude: N 33° 58' 35" Longitude: W 84° 4' 11"

Submitted by UST Owner/Operator:

Name: Charlie Cooper
Company: Cooper Trucking
Address: 1735 Duluth Highway
City: Lawrenceville State: Georgia
Zip Code: 30043
Telephone: (706) 963-7245

Prepared by Consultant/Contractor:

Name: Richard F. Copeland
Company: CATLIN Environmental Consultants
Address: 3443 Diversified Drive
City: Loganville State: Georgia
Zip Code: 30052
Telephone: (770) 466-5525

I. PLAN CERTIFICATION:

A. UST Owner/Operator Certification

I hereby certify that the information contained in this plan and in all the attachments is true, accurate, and the plan satisfies all criteria and requirements of rule 391-3-15-09 of the Georgia Rules for Underground Storage Tank Management.

Name: Mr. Charlie Cooper

Signature: Charlie Cooper Date: 2-13-07

B. Registered Professional Engineer or Professional Geologist Certification

I hereby certify that I have directed and supervised the fieldwork and preparation of this plan, in accordance with State Rules and Regulations. As a registered professional geologist and/or professional engineer, I certify that I am a qualified groundwater professional, as defined by the Georgia State Board of Professional Geologists. All of the information and laboratory data in this plan and in all of the attachments are true, accurate, complete, and in accordance with applicable State Rules and Regulations.

Name: Mr. William J. Walsh, P.E.

Signature: William J. Walsh

Date: 2-2-2007



Georgia Stamp or Seal

SUMMARY SHEET

TO BE COMPLETED BY CONSULTANT

Environmental Site Rank 50

Applicable water quality standards (check one): Drinking water standards _____ In-Stream Water Quality Stds. X

Has free product ever been observed in a monitor well at the site? No (Y/N)

What was the maximum free product thickness observed during the history of this release? N/A (ft)

Is groundwater impacted above applicable water quality standards? No (Y/N)

If groundwater is impacted:

Maximum most recent Benzene concentration in groundwater N/A ug/L

Maximum Benzene concentration observed in groundwater during history of this release N/A ug/L

Maximum MTBE concentration in groundwater during history of this release N/A ug/L

Have points of withdrawal for water supply been impacted by this release? No (Y/N)

If points of withdrawal for water supply have been impacted:

Was free product observed at a point of withdrawal during the history of this release? No (Y/N)

Maximum benzene concentration in water supply during history of this release N/A ug/L

Maximum MTBE concentration in water supply during history of this release N/A ug/L

How many public points of withdrawal were impacted? N/A

How many private points of withdrawal were impacted? N/A

Have any surface water bodies been impacted by this release? No (Y/N)

If surface water bodies have been impacted:

How many surface water bodies have been impacted? N/A

Was free product ever observed in the impacted surface water body? No (Y/N)

Maximum benzene concentration in surface water during history of this release N/A ug/L

Maximum MTBE concentration in surface water during history of this release N/A ug/L

Have petroleum vapors from this release ever been observed in any structures? No (Y/N)

How many public points of withdrawal for water supply are located within 500 feet of the plume edge? 0

What are their distances from the plume edge? _____ ft. _____ ft. _____ ft. _____ ft.

How many non-public points of withdrawal for water supply are located within 500 feet of the plume edge? 0

What are their distances from the plume edge? _____ ft. _____ ft. _____ ft. _____ ft.

How many surface water bodies are located within 500 feet of the plume edge? 0

How far are they from the plume? _____ ft. _____ ft. _____ ft.

General: READ THE GUIDANCE DOCUMENT FOR CAP PART-A BEFORE COMPLETING THIS FORM. FAILURE TO READ THE GUIDANCE DOCUMENT WILL MOST LIKELY RESULT IN PREPARATION OF AN UNACCEPTABLE REPORT. All text, figures, and tables requested in their respective sections should be prepared strictly in accordance with the Georgia EPD CAP-A guidance document. Please fill out this form as provided. Do not change the size of the fields or alter the placement of each section on each page.

(Appendix I: All Report Figures)
(Appendix II: All Report Tables)

II. INITIAL RESPONSE REPORT

A. Initial Abatement

Were initial abatement actions initiated? YES _____ NO X
 If Yes, please summarize. If No, please explain why not.

No imminent hazards and/or emergency conditions existed at the site.

B. Free Product Removal

(Table 1: Summary of Free Product Removal - must include Free Product thickness in each well in which it was detected, and volume of product removed)

Free Product Detected? YES _____ NO X
 If Yes, please summarize free product recovery efforts.

Continuing free product recovery proposed? YES _____ NO X
 If yes, please indicate the method and frequency of removal.

C. Tank History

List current and former UST's operated at site based on owner/operator knowledge (consistent with EPA 7530-1 Form). Systems must be illustrated on Figure 2 (Site Plan), as described in section D below.

CURRENT UST SYSTEMS (if applicable)

<u>Tank ID Number</u>	<u>Capacity (gal)</u>	<u>Substance Stored</u>	<u>Age (yrs)</u>	<u>Meets 1998 Upgrade Standards (Yes/No)</u>
		N/A		

FORMER UST SYSTEMS (if applicable)

<u>Tank ID Number</u>	<u>Capacity (gal)</u>	<u>Substance Stored</u>	<u>Date Removed</u>
162700	4,000	Diesel	6/20/06

D. Initial Site Characterization

(Figure 1: Vicinity/Location Map)

(Figure 2: Site Plan)

1. Regulated Substance Released (gasoline, diesel, used oil, etc.): Diesel.
Discuss how this determination was made and circumstances of discovery.

The analytical data from soil samples collected as part of the UST removal activities indicated high levels of Total Petroleum Hydrocarbons – Diesel Range Organics (TPH-DRO). This type of contamination is generally associated with a release from diesel tank systems.

2. Source(s) of Contamination: Past overflow spillages.
Discuss how this determination was made.

Based on the samples collected during the tank closures, sample TS-2 was located beneath the fill end of the tank. The TPH-DRO collected at this location was 14,600 mg/kg.

3. Local Water Resources

(Figure 3: Quadrangle Map - Public and Private drinking water and surface water)

(Appendix III: Water resources survey documentation, including, but not limited to: USGS database search, interview forms, and documentation of field survey)

- a. Site located in high/average _____ OR low X groundwater pollution susceptibility area?

- b. Water Supplies within applicable radii? YES ___ NO X

If yes,

i. Nearest public water supply located within: _____ feet

ii. Nearest down-gradient public water supply located within: _____ feet

iii. Nearest non-public water supply located within: _____ feet

iv. Nearest down-gradient non-public water supply located within: _____ feet

- c. Surface Water Bodies and sewers:

i. Nearest surface water located within: 900 feet

ii. Nearest down-gradient surface water located within: 900 feet

iii. Nearest storm or sanitary sewer located within 400 feet

iv. Depth to bottom of sewer at a point nearest the plume: N/A feet

4. Impacted Environmental Media

a. *Soil Impacted*

(Table 2: Soil Analysis Results)

(Figure 4: Soil Quality Map)

(Appendix IV: Soil Boring Logs)

(Appendix V: Soil Laboratory Reports)

(Appendix VI: ATL Calculations, if applicable)

Provide a brief discussion of soil sampling.

During the CAP-A investigation, CATLIN subcontracted Kilman Bros. Inc. to install three monitoring wells (MW-1, MW-2, and MW-3). Soil samples were collected during the installation of all three monitoring wells utilizing split-spoon sampling techniques. The split-spoon samples were collected at five foot intervals and screened with a Photo Ionization Detector (PID). Locations with the highest PID readings in each boring were as follows: MW-1 (13-15 feet below land surface [BLS]), MW-2 (8-10 feet BLS), MW-3 (23-25 feet BLS).

Following standard CATLIN sampling protocol, soil samples were placed into laboratory provided glassware and packaged with ice prior to delivery to SGS Paradigm Analytical Laboratories in Wilmington, North Carolina. Samples were analyzed for BTEX constituents per EPA Method 8021 for volatile organic compounds, for Polynuclear Aromatic Hydrocarbons (PAH) per EPA method 8270 for semi-volatiles, and for TPH-DRO per EPA method 8015. Laboratory results are summarized in Table 2 and illustrated on Figure 4.

i. *Soil contamination above applicable threshold levels ?*

YES _____ NO X

If yes, indicate highest concentrations in soil along with locations and depths detected.

ii. *ATLs calculated?*

YES _____ NO X

If yes, present ATLs.

iii. *If ATL's calculated, is soil contamination above ATL's?*

YES _____ NO _____ N/A X

- b. Groundwater Impacted
(Table 3: Groundwater Analysis Results)
(Figure 5: Groundwater Quality Map)
(Appendix VII: Monitoring Well Details)
(Appendix VIII: Groundwater Laboratory Results)

Provide a brief discussion of groundwater sampling.

Groundwater samples were collected from the three (3) monitoring wells (MW-1, MW-2, and MW-3) using clean, disposable bailers and latex gloves after purging three well volumes from each well. All samples were placed on ice and sent to an independent laboratory. The groundwater samples were analyzed for dissolved BTEX constituents per EPA Method 8021 and dissolved PAH constituents per EPA method 8270. Laboratory analytical results indicated that no concentrations of dissolved BTEX or PAH constituents above laboratory detection limits existed in any of the three monitoring wells.

i. *Groundwater contamination above MCLs?* YES ___ NO ___ N/A X

ii. *Groundwater contamination above In-Stream Water Quality Standards?* YES ___ NO X
If yes, indicate highest concentrations in groundwater along with the locations.

c. *Surface Water Impacted?* YES ___ NO X
If Yes, indicate concentration(s) of surface water sample(s) taken from the surface water body/bodies impacted

d. *Point of Withdrawal Impacted?* YES ___ NO ___ N/A X
If Yes, indicate concentration(s) of water sample(s) taken from withdrawal point(s).

5. Other Geologic/Hydrogeologic Data

- a. *Depth to Groundwater:* 25.11 - 27.08 feet BLS (Table 4: Groundwater Elevations)
- b. *Groundwater Flow Direction:* Southwest (Figure 6: Potentiometric Surface Map)
- c. *Hydraulic Gradient:* 1.2 %
- d. *Geophysical Province:* Piedmont
- e. *Unique geologic/hydro geological conditions:* Geologic conditions in this area appear consistent with the surrounding Piedmont geology.

6. Corrective Action Completed or In-Progress (if applicable)

(Table 5: UST System Closure Sampling)

(Figure 7: UST System Closure Sampling)

(Appendix IX: UST Closure Form, Closure Figures, Closure Documentation)

(Appendix X: Contaminated Soil Disposal Manifests)

a. *Underground Storage Tank (UST) System Closure:* N/A_____

If applicable, summarize UST system closure activities conducted.

A UST system closure was performed on June 20, 2006, during which one (1) diesel UST system was removed. The diesel dispensing unit was located within a couple of feet of the UST basin. A total of three soil samples (TS-1, TS-2 and SP-1) were collected from beneath the UST (TS-1 and TS-2) and from the stockpile of excavated soils (SP-1). All soil samples were collected utilizing a hand-auger, then placed into laboratory provided glassware and packaged with ice prior to delivery to SGS Paradigm Analytical Laboratories in Wilmington, North Carolina. Soil samples were analyzed per EPA Methods 8021, 8270, and 8015B for volatile organic compounds (BTEX), semi-volatile compounds (PAH), and total petroleum hydrocarbons (TPH-DRO), respectively.

Laboratory analytical results indicated TPH-DRO was not delineated to non-detectable levels at TS-1 or TS-2, and PAHs were not delineated to non-detectable levels at TS-2. Therefore, in an effort to delineate soil contamination, additional soil samples were collected from TS-1 and TS-2 at a depth of 14 feet BLS on November 13, 2006. The additional soil samples were analyzed for TPH-DRO (both samples) and PAHs (TS-2 only). The results of the subsequent sampling efforts indicated much higher levels of contamination in both samples for all analyses performed. Therefore, CATLIN proceeded with the installation of monitoring wells in order to collect groundwater samples for this CAP-A investigation.

b. *Excavation and Treatment/Disposal of Backfill Materials and Native Soils*

Check one: No UST removal performed _____

Returned to UST excavation X

Excavated soils treated or disposed off site _____

If soils were excavated, summarize excavation and treatment/disposal activities:

Soils excavated from the UST basin were temporarily stockpiled and returned to the UST excavation after being sampled for BTEX, PAH, and TPH-DRO constituents.

7. Site Ranking:

Environmental Site Sensitivity Score: _____ 50 _____

(Appendix XI: Site Ranking Form)

8. Conclusions and Recommendations

Complete applicable section below, one section only

- a. No Further Action Required (if applicable) N/A _____
(provide justification)
Surficial Groundwater sample results indicated that all contaminant concentrations were below detection limits.
- b. Monitoring Only (if applicable) N/A X
(provide justification)
- c. CAP-B (if applicable) N/A X
(provide justification)

III. MONITORING ONLY PLAN (if applicable): N/A X

- A. Monitoring points**
- B. Period/Frequency of monitoring and reporting**
- C. Monitoring Parameters**
- D. Milestone Schedule**
- E. Scenarios for Site Closure or CAP-Part B**

IV. SITE INVESTIGATION PLAN (if applicable): N/A X
(Figure 8. Proposed Additional Boring/Monitoring Well Locations [Not Used])

- A. Proposed Investigation of Horizontal and Vertical Extent of Contamination In:
1. Soil N/A X
2. Groundwater
- a. Free Product N/A X
- b. Dissolved phase N/A X
3. Surface Water N/A X
- B. Proposed Investigation of Vadose Zone And Aquifer Characteristics: N/A X

V. PUBLIC NOTICE

(Figure 9. Tax Map)

(Appendix XII: Copies of public notification letters & certified return receipts or newspaper notice if approved)

Public notification letters were sent to all appropriate members of the public. Please refer to Figure 9 for a copy of the tax map, which indicates all of the adjacent property owners and Appendix XII for copies of the public notification letters and return receipts.

VI. CLAIM FOR REIMBURSEMENT (for GUST Trust Fund sites only):

(Appendix XIII: GUST Trust Fund Reimbursement Application and Claim for Reimbursement)

The GUST Trust Fund Application has been completed by the UST owner/operator. This application is included in Appendix XIII.

APPENDIX I

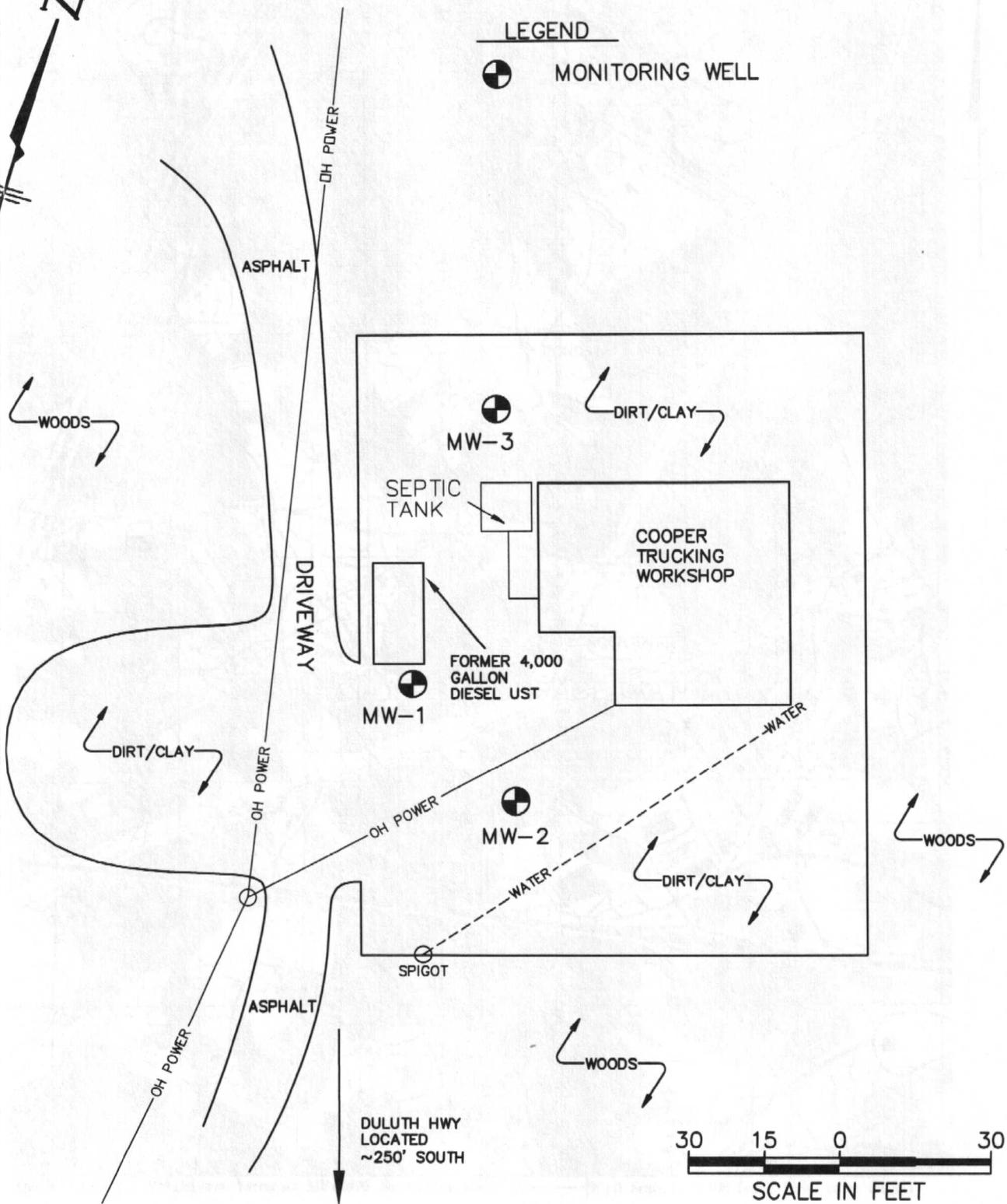
FIGURES



LEGEND



MONITORING WELL



CAELIN
ENVIRONMENTAL CONSULTANTS

LOGANVILLE, GA

PROJECT

COOPER TRUCKING
1735 DULUTH HWY
LAWRENCEVILLE, GA

TITLE

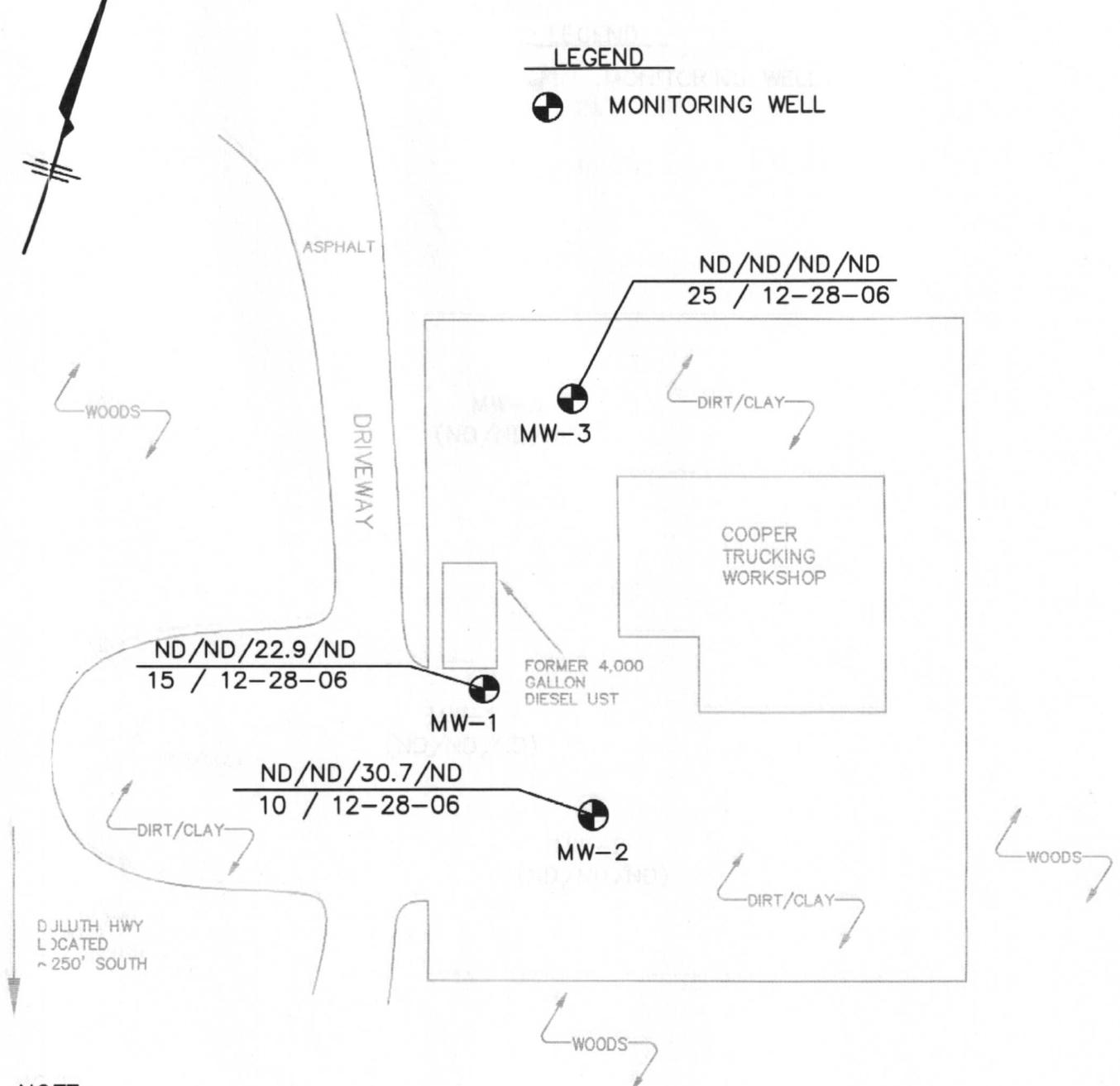
SITE PLAN WITH
MONITORING WELL AND
UTILITY LOCATIONS

FIGURE

2

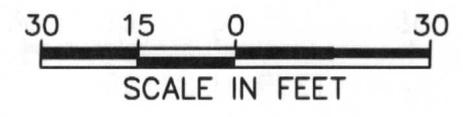


LEGEND
⊕ MONITORING WELL



NOTE:
ND = NON-DETECT
BENZENE/BTEX/TPH-DRO/TOTAL PAH (mg/kg)

(DEPTH in FT BLS)/DATE



	PROJECT	COOPER TRUCKING 1735 DULUTH HWY LAWRENCEVILLE, GA		TITLE	SOIL QUALITY MAP		FIGURE			
	JOB NO:	206-066	DATE:	JAN 2007	SCALE:	1"=30'	DRAWN BY:	CMO	CHECKED BY:	RFC

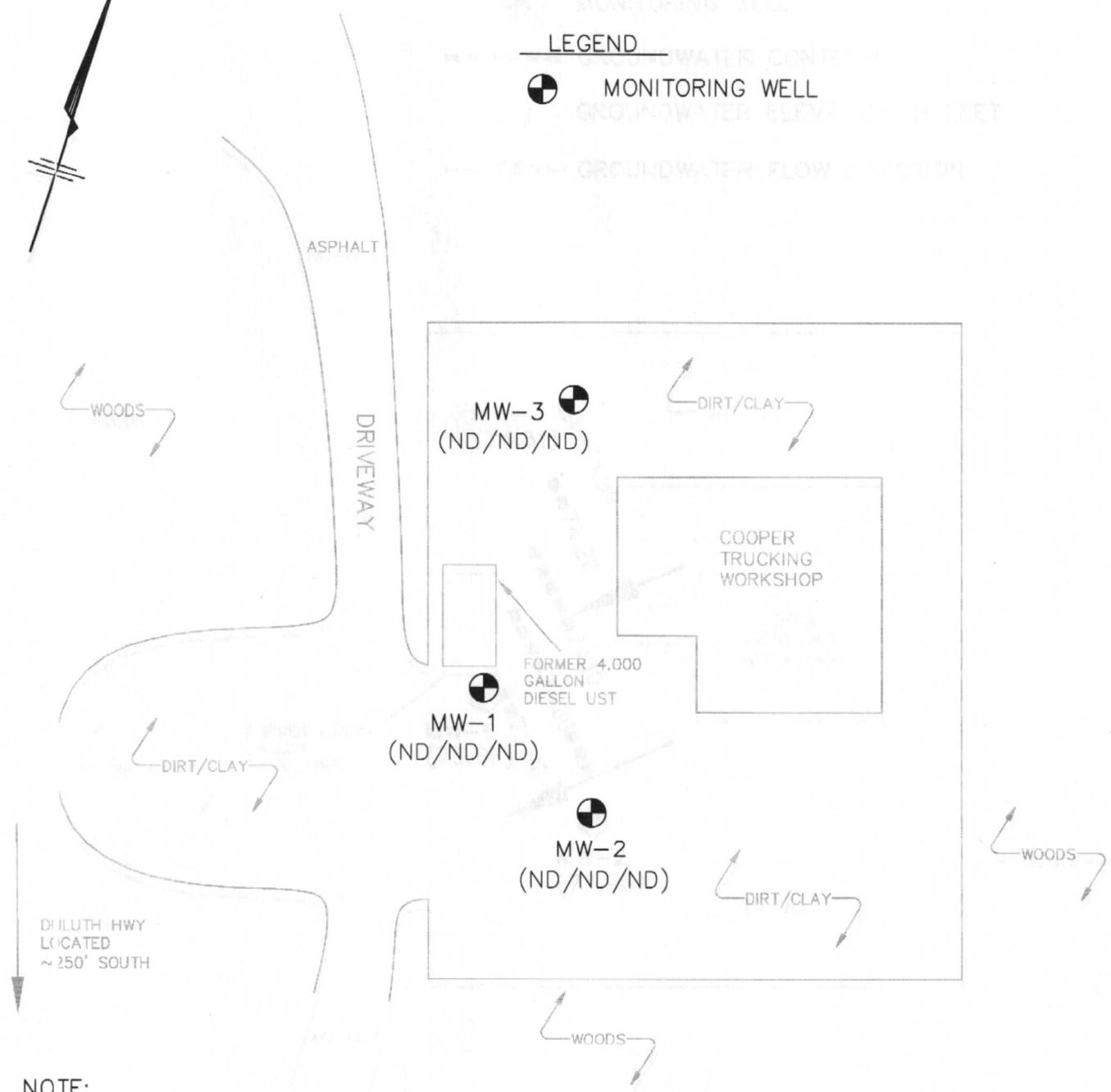


LEGEND

MONITORING WELL

GROUNDWATER ELEVATION IN FEET

GROUNDWATER FLOW DIRECTION



NOTE:
 ND = NON-DETECT
 ALL CONCENTRATIONS IN ug/L
 (BENZENE/BTEX/TOTAL PAH)



	PROJECT COOPER TRUCKING 1735 DULUTH HWY LAWRENCEVILLE, GA	TITLE GROUNDWATER QUALITY MAP	FIGURE 5
	JOB NO: 206-066 DATE: JAN 2007	SCALE: 1"=30' DRAWN BY: CMO CHECKED BY: RFC	



LEGEND



MONITORING WELL



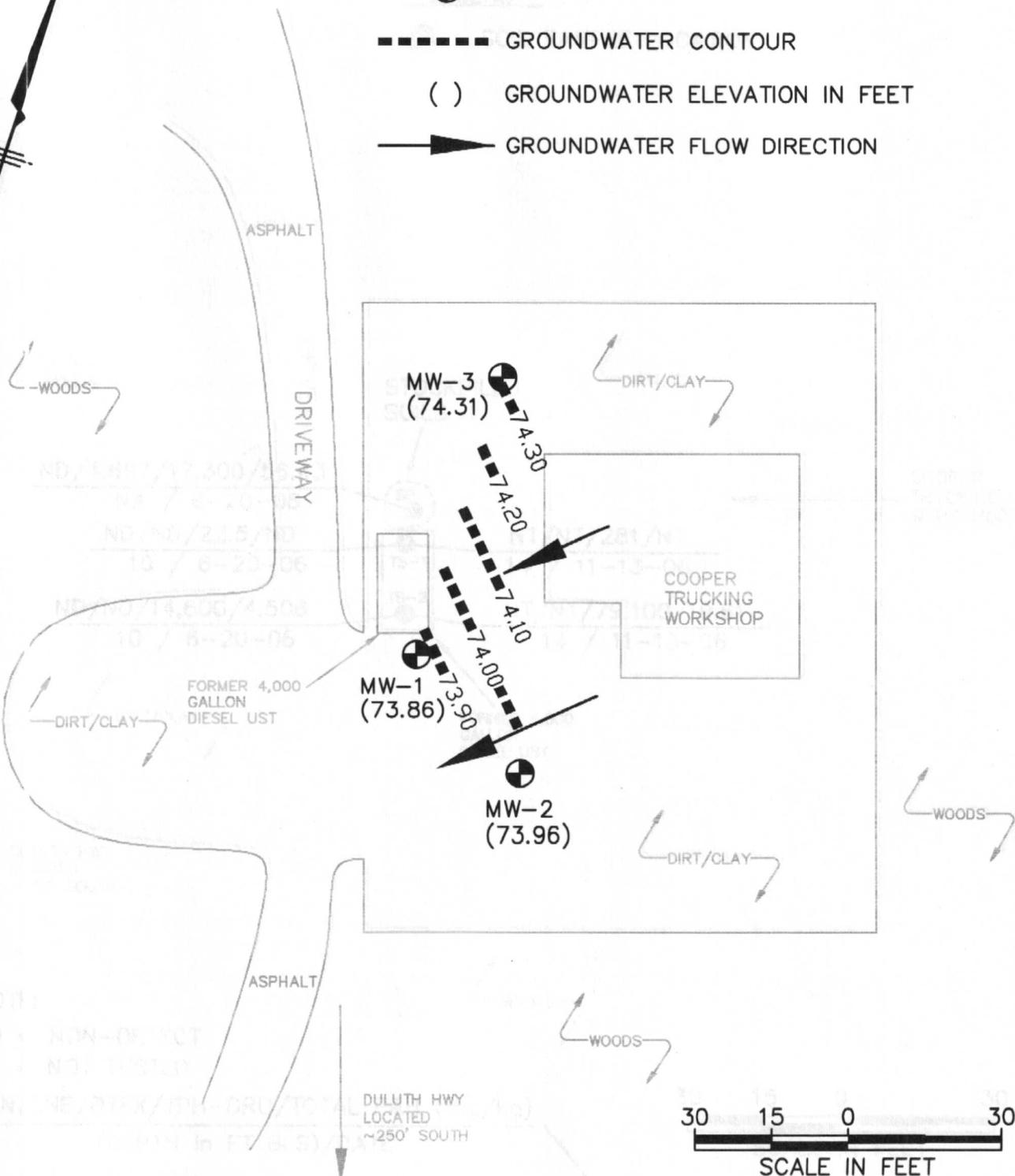
GROUNDWATER CONTOUR



GROUNDWATER ELEVATION IN FEET



GROUNDWATER FLOW DIRECTION



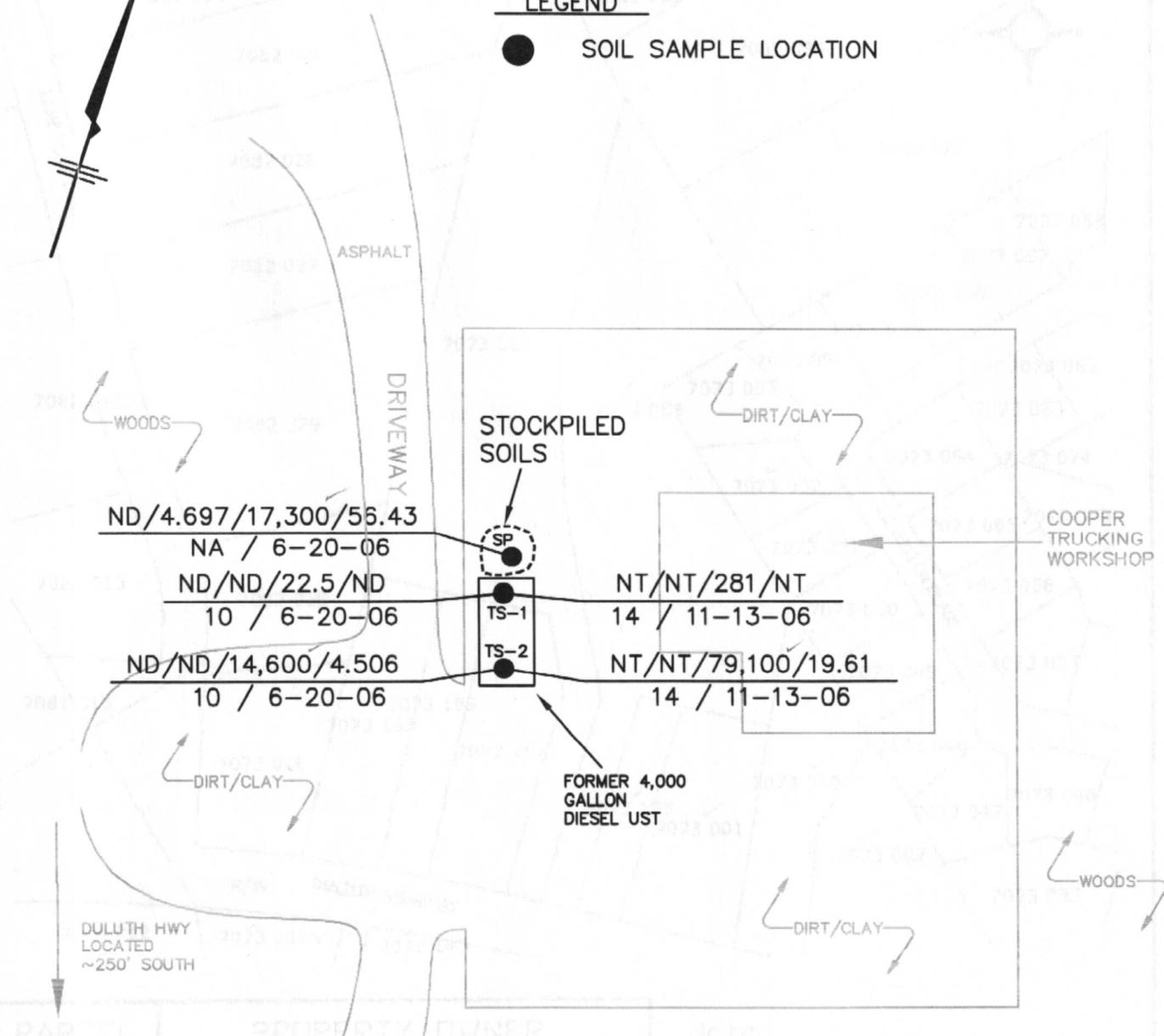
NOTE:
1. CONTOUR INTERVAL = 0.1 FEET

 LOGANVILLE, GA	PROJECT	TITLE	FIGURE
	COOPER TRUCKING 1735 DULUTH HWY LAWRENCEVILLE, GA	POTENTIOMETRIC SURFACE MAP AS OF JANUARY 2, 2007	6
JOB NO: 206-066	DATE: JAN 2007	SCALE: 1" = 30'	DRAWN BY: CMO
		CHECKED BY: REC	



LEGEND

● SOIL SAMPLE LOCATION



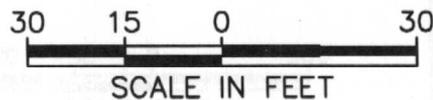
NOTE:

ND = NON-DETECT

NT = NOT TESTED

BENZENE/BTEX/TPH-DRO/TOTAL PAH (mg/kg)

(DEPTH in FT BLS)/DATE



<p>CAELIN ENVIRONMENTAL CONSULTANTS LOGANVILLE, GA</p>	<p>PROJECT COOPER TRUCKING 1735 DULUTH HWY LAWRENCEVILLE, GA</p>	<p>TITLE UST SYSTEM CLOSURE SITEMAP WITH SAMPLE LOCATIONS</p>	<p>FIGURE 7</p>
	<p>JOB NO: 206-066 DATE: JAN 2007</p>	<p>SCALE: 1" = 30' DRAWN BY: CMC CHECKED BY: PEC</p>	

Cooper Trucking
 1735 Duluth Highway
 Lawrenceville, GA; Gwinnett County
 Facility ID: 0670168*1

TABLE 2a: SOIL ANALYTICAL RESULTS
 (VOLATILE ORGANIC COMPOUNDS)

Sample Location	Depth (ft)	Date Sampled	Benzene (mg/Kg)	Toluene (mg/Kg)	Ethyl-benzene (mg/Kg)	Xylenes (mg/Kg)	Total BTEX (mg/Kg)	TPH (mg/Kg)
MW-1	15	12/28/2006	ND	ND	ND	ND	ND	22.9
MW-2	10	12/28/2006	ND	ND	ND	ND	ND	30.7
MW-3	25	12/28/2006	ND	ND	ND	ND	ND	ND
Applicable Standards			11.30	500.00	140.00	700.00	NA	NA

Note:

ND = Non-detect

NA = Not Applicable

Prepared by: C. O'Brien

Date: 1/12/2007

Reviewed by: J. Wessell

Date: 1/15/2007

TABLE 2b: SOIL ANALYTICAL RESULTS
 (POLYNUCLEAR AROMATIC HYDROCARBON)

Sample Location	Date Sampled	No Detected PAH Compounds					Total Detected PAHs (mg/kg)
MW-1	12/28/2006						ND
MW-2	12/28/2006						ND
MW-3	12/28/2006						ND
Applicable Standards		NA	NA	NA	NA	NA	NA

Note:

ND = Non-detect

NA = Not Applicable

Prepared by: C. O'Brien

Date: 1/12/2007

Reviewed by: J. Wessell

Date: 1/15/2007

Cooper Trucking
 1735 Duluth Highway
 Lawrenceville, GA; Gwinnett County
 Facility ID: 0670168*1

TABLE 3a: GROUNDWATER ANALYTICAL RESULTS
 (VOLATILE ORGANIC COMPOUNDS)

Well Number	Date Sampled	Benzene (µg/L)	Toluene (µg/L)	Ethyl-benzene (µg/L)	Xylenes (µg/L)	Total BTEX (µg/L)
MW-1	12/28/2006	ND	ND	ND	ND	ND
MW-2	12/28/2006	ND	ND	ND	ND	ND
MW-3	12/28/2006	ND	ND	ND	ND	ND
Applicable Standards		71	200,000	29,000	NA	NA

Note:

ND = Non-detect

NA = Not Applicable

Prepared by: C. O'Brien

Reviewed by: J. Wessell

Date: 1/12/2007

Date: 1/15/2007

TABLE 3b: GROUNDWATER ANALYTICAL RESULTS
 (POLYNUCLEAR AROMATIC HYDROCARBON)

Sample Location	Date Sampled	No Detected PAH Compounds				Total Detected PAHs (µg/L)
MW-1	12/28/2006					ND
MW-2	12/28/2006					ND
MW-3	12/28/2006					ND
Applicable Standards		NA	NA	NA	NA	NA

Note:

ND = Non-detect

NA = Not Applicable

Prepared by: C. O'Brien

Reviewed by: J. Wessell

Date: 1/12/2007

Date: 1/15/2007

Cooper Trucking
 1735 Duluth Highway
 Lawrenceville, GA; Gwinnett County
 Facility ID: 0670168*1

TABLE 4: GROUNDWATER ELEVATIONS

Well Number	Date Measured	Ground Surface Elevation (ft)	Top of Casing Elevation (ft)	Depth of Screened Interval (ft)	Depth to Free Product (ft)	Water Depth (ft)	Product Thickness (ft)	Spec. Gravity Adjustment	Corrected Groundwater Elev. (ft)
MW-1	2/28/2006	100.14	99.71	20.43' - 35.43'		25.72			73.99
	1/2/2007		99.71			25.85			73.86
MW-2	2/28/2006	99.22	98.91	20.31' - 35.31'		24.80			74.11
	1/2/2007		98.91			24.95			73.96
MW-3	2/28/2006	101.39	100.90	20.49' - 35.49'		26.45			74.45
	1/2/2007		100.90			26.59			74.31

Note:
 First measurement taken during installation.

Prepared by: C. O'Brien Date: 1/3/2007
 Reviewed by: J. Wessell Date: 1/15/2007

Well Number	Date Measured	Ground Surface Elevation (ft)	Top of Casing Elevation (ft)	Depth of Screened Interval (ft)	Depth to Free Product (ft)	Water Depth (ft)	Product Thickness (ft)	Spec. Gravity Adjustment	Corrected Groundwater Elev. (ft)

Note:
 NA - Not Available

Prepared by: C. O'Brien Date: 1/15/2007
 Reviewed by: J. Wessell Date: 1/15/2007

Cooper Trucking
 1735 Duluth Highway
 Lawrenceville, GA; Gwinnett County
 Facility ID: 0670168*1

TABLE 5a: UST SYSTEM CLOSURE - SOIL ANALYTICAL RESULTS
 (VOLATILE ORGANIC COMPOUNDS)

Sample Location	Depth (ft)	Date Sampled	Benzene (mg/Kg)	Toluene (mg/Kg)	Ethylbenzene (mg/Kg)	Xylenes (mg/Kg)	Total BTEX (mg/Kg)	TPH-DRO (mg/Kg)
TS-1	10	6/20/2006	ND	ND	ND	ND	ND	22.5
TS-2	10	6/20/2006	ND	ND	ND	ND	ND	14,600
SP	NA	6/20/2006	ND	ND	0.607	4.09	4.697	17,300
TS-1	14	11/13/2006	NT	NT	NT	NT	NT	281
TS-2	14	11/13/2006	NT	NT	NT	NT	NT	79,100
Applicable Standards			11.30	500.00	140.00	700.00	NA	NA

Note:

ND = Non-detect

NA = Not Applicable

NT = Not Tested

Prepared by: R. Copeland

Date: 12/18/2006

Reviewed by: C. O'Brien

Date: 1/3/2007

TABLE 5b: UST SYSTEM CLOSURE - SOIL ANALYTICAL RESULTS
 (POLYNUCLEAR AROMATIC HYDROCARBONS)

Sample Location	Depth (ft)	Date Sampled	Detected PAH Compounds (mg/Kg)							TOTAL PAHs (mg/Kg)	
			Anthracene	Fluoranthene	Fluorene	Pyrene	1-Methylnaphthalene	2-Methylnaphthalene	Naphthalene		Phenanthrene
TS-1	10	6/20/2006	ND	ND	ND	ND	ND	ND	ND	ND	ND
TS-2	10	6/20/2006	ND	0.416	ND	4.09	ND	ND	ND	ND	4.506
SP	NA	6/20/2006	ND	ND	5.01	ND	17.10	22	4.01	8.31	56.43
TS-2	14	11/13/2006	3.28	ND	3.79	6.54	ND	2.74	ND	3.26	19.61
Applicable Standards			NA	NA	NA	NA	NA	NA	NA	NA	NA

Note:

ND = Non-detect

NA = Not Applicable

NT = Not Tested

Prepared by: R. Copeland

Date: 12/18/2006

Reviewed by: C. O'Brien

Date: 1/3/2007

Cooper Trucking
 1735 Duluth Highway
 Lawrenceville, GA; Gwinnett County
 Facility ID: 0670168*1

TABLE 6: UST SYSTEM CLOSURE - GROUNDWATER ANALYTICAL RESULTS
 (VOLATILE ORGANIC COMPOUNDS)
 (Not Applicable)

Well Number	Date Sampled	Benzene (µg/L)	Toluene (µg/L)	Ethyl-benzene (µg/L)	Xylenes (µg/L)	Total BTEX (µg/L)
Applicable Standards		71	200,000	29,000	NA	NA

Note:
 NA = Not Applicable

Prepared by: C. O'Brien
 Reviewed by: J. Wessell

Date: 1/3/2007
 Date: 1/15/2007

Georgia Department of Natural Resources

Environmental Protection Division

Underground Storage Tank Management Program
4244 International Parkway, Suite 104, Atlanta, Georgia 30354
Noel Holcomb, Commissioner
Carol A. Couch, Ph.D., Director
404/362-2687

November 14, 2007

Ms. Wanda Cox
441 Roberson Campbell Road
Washington, GA 30673

SUBJECT: UST Closure Report

No Further Action Required:

Former Bruce Service Station
1722 Duluth Highway
Lawrenceville, Gwinnett, GA
Facility ID: 10001432*1

Dear Ms. Cox:

The Georgia Underground Storage Tank Management Program (USTMP) has received your consultant's letter, dated October 19, 2007, that forwarded a properly certified UST Closure Report. The report was prepared by Etowah Environmental Services, Inc.

Based on current requirements of the Georgia Underground Storage Tank Act, the Georgia Rules for Underground Storage Tank Management (GUST Rules) and the data submitted, the USTMP has determined that **no further action is required for the referenced release.**

However, further corrective action may be required if mandated through more stringent State or Federal statutory or regulatory changes. Additional measures may also be required if existing or future drinking water systems or surface water bodies within two miles of the site are impacted by any dissolved contamination resulting from this release, or if previously unidentified soil contamination, dissolved contamination or free product are identified as originating from this site.

If you have any technical questions, please contact me at (404) 362-2589.

Sincerely,



Ronald J. Wallace
Advanced Geologist
Corrective Action Unit II

RJW:

s:\vand\anddocs\ust\cau2\ronaldw\pending7\10001432-34

cc: Dennis P. Popham, P.G., Etowah Environmental Services, Inc.

Lisa Lewis, GA EPD

File (CA): Gwinnett, 10001432

Facility ID #: _____

USTMP CLOSURE REPORT FORM

Complete this form and provide documentation to substantiate information as outlined in the Underground Storage Tank (UST) Closure Guidance Document (GUST-9). Use a separate form for each tank excavation.

I. GENERAL

A. UST OWNER Company Name (if applicable): The Estate of Pauline Thompson

Mailing Address: 441 Riberson Campbell Road City: Washington State: GA Zip: 30673

Owner's Name (printed): Wanda Cox, executor Phone: 706 285-2832

I hereby certify that the information in this Closure Report and in all the attachments is true, accurate, and complete, and the Closure Report satisfies all criteria and requirements of Rule 391-3-15-.09 of the Georgia Rules for Underground Storage Tank Management.

Signature (of owner listed under "Name" above): Wanda Cox, Executor Date: _____
Estate of Pauline Thompson

B. REMOVAL CONTRACTOR (Prime Contractor/Prime consultant)

Company: Not applicable

Mailing Address: _____ City: _____ State: _____ Zip: _____

Name of Company Representative (printed): _____ Phone: _____

I hereby certify that I have performed or supervised the work detailed in this report, and have examined and am familiar with the information submitted in this and all attached documents. The submitted information is, to the best of knowledge, true, accurate, complete, and in accordance with the Georgia Rules for Underground Storage Tank Management, revised February, 1995.

Signature (of same contractor listed under "Name"): _____ Date: _____

C. UST Site Facility Name: _____ County: _____ Fac. I.D.#: 1-0001432

Street Address: _____ City: _____ State: _____ Zip: _____

II. TANKS AND PIPING CLOSURE DATA

A. LIST USTs THAT HAVE BEEN CLOSED (Use the same tank ID # as on the 7530-1):

TANK ID#	<u>T-1</u>	<u>T-2</u>	_____	_____	_____
Product	<u>gasoline</u>	<u>gasoline</u>	_____	_____	_____
Size (gals)	<u>unk</u>	<u>unk</u>	_____	_____	_____
How Closed (check one)	<input checked="" type="checkbox"/> Removed <input type="checkbox"/> In Place	<input checked="" type="checkbox"/> Removed <input type="checkbox"/> In Place	<input type="checkbox"/> Removed <input type="checkbox"/> In Place	<input type="checkbox"/> Removed <input type="checkbox"/> In Place	<input type="checkbox"/> Removed <input type="checkbox"/> In Place
Date Last Used	<u>1988</u>	<u>1988</u>	_____	_____	_____
Date Closed	<u>1988</u>	<u>1988</u>	_____	_____	_____

(Date removed from ground or filled in-place)

LIST ANY USTS STILL IN USE AT THE FACILITY (Use same tank ID # as on 7530-1):

TANK ID#	_____	_____	_____	_____	_____
Product	_____	_____	_____	_____	_____
Size (gals)	_____	_____	_____	_____	_____

B. PIPING: How was Piping closed? Removed. Emptied, capped, left in place.
 Emptied, filled with inert material.

III. SAMPLING AND ANALYTICAL

A. Soil/Groundwater Sampling: The quantity of samples taken should be in accordance with USTMP closure guideline (GUST-9) requirements and all samples must be collected in accordance with current EPA-approved sampling procedures.

B. Regulated Substance Released: Whenever free product is encountered and/or analytical results indicate that BTEX, PAH, or TPH contamination is present in the soil and/or groundwater, a release must be reported to EPD via telephone or fax by the next business day explaining what has been found and what steps were taken to eliminate any hazardous conditions and prevent the spread of contamination. Indicate here what substance, if any, was released:

None Gasoline Diesel Kerosene Used Oil Other (Name):

Date release reported to EPD: _____

C. Laboratory Analytical Methods Used (check all that were used):

5035-8021B _____ 5035-8015 _____ 5035-8260 8100 _____ 8310 _____ 8270
Other _____

If Method 5035 was used to sample, which method was used to collect and contain the samples?
Encore™ _____ Syringe/corer and field-preserved in 40 ml vial

IV. TANK EXCAVATION SAMPLES (see #5 for piping trench samples)

in gallons) of UST	# of samples required per UST	Size (capacity
<1,050	1	
1,050 - 12,500	2	
> of equal to 12,501	2 per UST + 1 per additional 10,000 gals	
(Collect 1 sample per UST if a groundwater sample was collected within 2 feet of the excavation.)		

A. Based on the total number of USTs closed as reported on this form, the total number of tank excavation samples taken for this site was: NA

B. If over-excavation is performed, take one confirmation sample every 30 linear feet along the base of the sides (within 1 ft of the bottom of the excavation) and one sample per 200 sq ft along the bottom of the excavated area.

- 1) Was over-excavation performed? Yes NA No _____
- 2) If "yes", what was the area of the excavation in square feet? _____
- 3) Enter total number of over-excavation samples for this site here: _____

- C. Site-Specific Hydrogeology:** 1.) Was Groundwater encountered? Yes No
 2.) If encountered, at what depth: 10 feet
 3.) If Table B Threshold Levels are being used, how far is the nearest drinking water well or point of withdrawal for drinking water? 70.5 mile ft.

D. Groundwater conditions: If more than one foot of groundwater covers more than 50% of the base of the excavation, a groundwater sample may be taken in lieu of soil samples from the base of the excavation. One soil sample per UST must still be collected at the fill-pipe end of each UST along the sidewalls at the soil-water interface.
 Enter total number of soil-water interface samples for this site here: 4

V. PIPING SYSTEM EXCAVATION SAMPLES

A. PIPING TRENCH

Distance from UST to nearest dispenser island: Less Than 25 ft* 25 feet or more
of samples required for each trench: 0* 1 sample per 25 feet**

What was the distance from the USTs along each piping trench to the nearest dispenser island?
 (feet) [(feet) (feet) (if more than one trench)]
 How many confirmation samples were collected from each piping trench?
 (piping trench 1) [(piping trench 2) (piping trench 3)]

B. DISPENSER ISLAND

Number of dispenser islands X Length of each Dispenser Island (ft) / 25(ft) = # of Samples
 (Rounded **up** to nearest whole number)

How many dispensers were present in the closed system(s)?
 How long was each dispenser island (ft)?

How many dispenser samples were collected?

* Although no piping trench samples are required if the piping length is <25 ft., dispenser samples are required.
 Exception: If the dispenser is directly above the tank excavation, no piping samples and no dispenser samples would be required.

** This includes all fittings (couplings, elbows, flex hoses, etc.) between the tank and the dispenser island. Do not count fittings at the tank excavation and the islands. For straight piping runs, estimate 20 ft between couplings.

VI. EXCAVATED SOIL

A. Sampling:

How many cubic yards of material was excavated?
 Based on one sample per 200 cubic yards of excavated soil or fraction thereof,
 the total number of excavated soil samples:

SOIL AND GROUNDWATER ANALYTICAL RESULTS SUMMARY

*Samples collected a part of
a Phase II ESA*

VII. CLOSURE SUMMARY

A. CONCLUSIONS

Soil or groundwater contamination exists in excess of the levels specified in the above situations and this closure report is being submitted within a certified CAP-Part A.

Clean Closure, No Further Action Required because analytical results indicate the condition marked below:

BTEX, PAHs and TPH are below detection limits (BDL) in the soil.

BTEX and PAHs are BDL in the soil and TPH (and BTEX) is vertically delineated to BDL above the groundwater table.

BTEX and PAHs are above detection limits in soil but below Table A Threshold Levels, and BTEX, PAHs, and TPH in soil is vertically delineated to BDL above the groundwater table.

BTEX and PAHs are above detection limits but below Table B Threshold Levels, a water supply survey indicates there are no potential receptors within the applicable radii, and BTEX, PAHs, and TPH in soil is vertically delineated to BDL above the groundwater table.

BTEX and PAHs are less than Table A Threshold Levels and BTEX, PAHs or TPH is not vertically delineated to BDL above the groundwater table because groundwater is encountered in the boring or the excavation, and the water sample does not contain BTEX or PAHs above Federal or State MCLs.

BTEX and PAHs are less than Table B Threshold Levels and BTEX, PAHs, or TPH is not vertically delineated to BDL above the groundwater table because groundwater is encountered in the boring or excavation, and the water sample does not contain BTEX or PAHs above In-stream Water Quality Standards, and the water supply survey indicates that there are no water supplies within the applicable radii.

B. SITE MAP (Attach to report): The map must be to scale OR, as a minimum, distances between the tank pit area, piping trenches, dispenser islands, sewer, water, utility lines (or other preferential pathways), road and main buildings must be accurately indicated on the map. These listed features must be depicted on the map in order to accurately interpret the data. The map must also include a north (N) directional arrow. Tank ID's must correspond to EPA Form 7530-1 and sample locations, sample identification numbers and depths must also be shown. Sample numbers must correspond to attached laboratory analytical data. Although not mandatory, photos may be attached to help clarify the UST system layout.

**LIMITED PHASE II
ENVIRONMENTAL SITE ASSESSMENT**

FORMER GASOLINE STATION PROPERTY

**1722 Duluth Highway
Lawrenceville, Gwinnett County, Georgia**

Prepared For:

**The Executor of the Thompson Estate
C/O Mrs. Wanda Cox
20 Business Center Drive
Winder, Georgia 30680**

Prepared By:

**Etowah Environmental Services, Inc.
9 Bedford Court
Cartersville, Georgia 30120**

Etowah Project Number 2007-42A

September 19, 2007

ETOWAH ENVIRONMENTAL SERVICES

9 Bedford Court
Cartersville, Georgia 30120
Phone 770.383.8923
Cell Phone 770.547.7854
Email dpopham@comcast.net

September 19, 2007

Executor of the Thompson Estate
C/O Mrs. Wanda Cox
20 Business Center Drive
Winder, Georgia 30680

Attention: Mr. Shannon Cox

RE: **Report of a Limited Phase II Environmental Site Assessment**
2.082-Acre Former Gasoline Station Property
1722 Duluth Highway
Lawrenceville, Georgia 30043
Etowah Project No. 2007-42A

Dear Mr. Cox:

Introduction

Etowah Environmental Services (Etowah) has completed a Limited Phase II Environmental Site Assessment (ESA) at the above-referenced property located on Duluth Highway in Lawrenceville, Gwinnett County, Georgia. The project involved the collection and analysis of three subsurface soil samples and four groundwater samples in the vicinity of a former gasoline station that had been located on the subject property. This Limited Phase II ESA project was performed in accordance with the scope of work outlined in our proposal dated August 28, 2007.

This report presents our understanding of the project information, a description of the environmental consulting services provided by Etowah and our findings, conclusions and recommendations.

Background

The subject property is currently an undeveloped 2.082-acre parcel of land located on the south side of Duluth Highway (Georgia Highway 120) in Lawrenceville, Georgia (Figure 1). Based upon information provided to Etowah by the Cox family, we understand that

the site was previously developed with a gasoline station which operated from the 1960s through the early 1980s. According to information provided in a previous Phase I ESA report for the property, the gasoline and diesel fuel USTs that had been on the site were removed from the ground approximately 20 years ago.

Information provided by the Cox family indicates that the USTs for the former gasoline station had been located on the northern portion of the subject site has since been acquired by the Georgia Department of Transportation for the widening of Duluth Highway. Therefore, the former UST pit and the area where the dispensers were located are no longer on the subject property.

Scope of the Limited Phase II Site Assessment

The scope of our Limited Phase II ESA included the installation of four borings (B-1 through B-4) in the vicinity of the former location of the gasoline station (Figure 2). A soil and a groundwater sample were collected from three of the borings installed around the former location of the gasoline station. A groundwater sample was collected from a boring installed in the apparent downgradient position from the former station.

The soil samples were submitted to a qualified laboratory where they were analyzed for the gasoline constituents benzene, toluene, ethylbenzene and xylene (BTEX) in accordance with EPA Method 8260B and for polynuclear aromatic hydrocarbons (PAHs) in accordance with EPA Method 8270C. The groundwater samples collected from the borings were analyzed for BTEX in accordance with EPA Method 8260B.

Boring Installation and Sample Collection

Etowah retained Drilling Solutions, Inc. of Canton, Georgia to install the borings using a Geoprobe sampling tool. The field investigation activities were completed on September 10, 2007. Mr. Dennis P. Popham, a registered professional geologist with Etowah, managed the field sampling activities and collected the environmental samples.

As stated above, the Limited Phase II Site Assessment included the installation of four soil borings and the collection of soil and groundwater samples from the borings. A description of the subsurface conditions at the four boring locations is as follows:

Boring B-1 was installed on the west side of the former gasoline station building in a position that is approximately 20 to 30 feet southwest of the former tank pit. The boring was advanced to 20 feet below ground surface. Continuous soil samples were collected in the boring from the ground surface to the completion depth. Approximately three feet of fill soils were found overlying native soils (saprolite to weathered rock) in the boring.

No unusual odors or zones of discoloration were noted in the subsurface soils. The soil sample from B-1 was collected at a depth of 8 to 10 feet. Saturated soils were encountered in boring B-1 at a depth of approximately 15 feet. A temporary monitoring well was constructed in the boring using ten feet of slotted well screen and ten feet of one-inch diameter threaded PVC casing. Once the temporary well was installed, the groundwater sample from B-1 was collected using a disposable bailer.

Boring B-2 was installed in the approximate center of the former gasoline station building. The boring was advanced to 20 feet below ground surface. Continuous soil samples were collected from the ground surface to the completion depth. Approximately three feet of fill soils were found overlying native soils (saprolite to weathered rock) in the boring. No unusual odors or zones of discoloration were noted in the soils down to a depth of about 8 feet. Below 8 feet, the soils exhibited a moderate to strong gasoline odor. The soil sample from B-2 was collected at a depth of 12 to 14 feet. Saturated soils were encountered at a depth of approximately 14.5 feet. A temporary monitoring well was constructed in the boring using ten feet of slotted well screen and ten feet of one-inch diameter threaded PVC casing. Once the temporary well was installed, the groundwater sample from B-2 was collected using a disposable bailer.

Boring B-3 was installed southeast of the former gasoline station building. The boring was advanced to 20 feet below ground surface. Continuous soil samples were collected from the ground surface to the completion depth. About one foot of topsoil overlying native soils (saprolite to weathered rock) was noted in this boring. No unusual odors or zones of discoloration were noted in the soils down to a depth of about 8 feet. Below 8 feet, the soils exhibited a moderate to strong gasoline odor. The soil sample from B-3 was collected at a depth of 8 to 10 feet. Saturated soils were encountered in boring B-3 at a depth of approximately 13.5 feet. A temporary monitoring well was constructed in the boring using ten feet of slotted well screen and ten feet of one-inch diameter threaded PVC casing. Once the temporary well was installed, the groundwater sample from B-3 was collected using a disposable bailer.

Boring B-4 was installed in a downgradient location, approximately 70 feet south of the former UST pit. This boring was advanced to a depth of 20 feet and no soil samples were collected in the boring. A temporary monitoring well was constructed in the boring using ten feet of slotted well screen and ten feet of one-inch diameter threaded PVC casing. Once the temporary well was installed, the groundwater sample from B-4 was collected using a disposable bailer.

At the completion of the sampling activities the temporary wells were removed and the boreholes were refilled with soil and bentonite chips. The boring locations are depicted on the attached Figure 2.

Sample Analysis

Upon collection, the sample were placed into individually labeled containers and stored in a cooler with ice. At the end of the day, the samples were transported, under full chain of custody procedures, directly to Xenco Laboratory in Norcross, Georgia. Each of the samples was analyzed in accordance with the methods listed above.

The results of analysis are summarized as follows:

Soil Sample Results

The BTEX and PAH concentrations in the soil samples from each of the borings are provided on Table 1. The benzene concentrations in each of the three soil samples were below the method detection limits. Toluene, ethylbenzene and xylene were detected in the samples from borings B-2 and B-3. Low concentrations of two PAH compounds that are typically associated with gasoline (naphthalene and 2-methylnaphthalene) were detected in soil sample B-2. The concentrations of BTEX and PAH compounds the soil samples were below the likely cleanup standards that might be applied to this site by the Georgia Environmental Protection Division.

Groundwater Sample Results

The BTEX concentrations reported in the groundwater samples from each of the borings are provided on Table 2. The benzene concentration in groundwater samples B-1W, B-2W and B-3W were all below the laboratory's method detection limit. The benzene concentration in sample B-4W was reported to be 1.1 micrograms per liter (ug/l or parts per billion) of water. The total BTEX concentrations in the samples were as follows:

- B-1W - 15 ug/l
- B-2W - 900 ug/l
- B-3W - 743 ug/l
- B-4W - 4.7 ug/l

Discussion of Findings

The results of this Limited Phase II ESA indicate that soil and groundwater on this property has been impacted by a "release" of gasoline. The source of the gasoline is likely to have been the former onsite gasoline station. The BTEX concentrations in groundwater samples collected during this project are well below the Georgia In Stream

Water Quality Standard that have been established by the Georgia EPD, and which are often applied to leaking underground storage tank (LUST) sites. Likewise, the BTEX and PAH concentrations in the soil samples collected during this project were below the Soil Threshold Levels (Table B) established for LUST sites by the Georgia EPD. The Table B Soil Threshold Levels are applicable to LUST sites where no public drinking water supply sources exists within a 1.0-mile radius and no private drinking water sources exists within a 0.25-mile radius of the contaminant plume. The absence of public and/or private drinking water sources within the applicable radii must be documented by the completion of a water usage survey in order for the Table B thresholds to apply to this site.

Recommendations

The Georgia Underground Storage Tank Act (GUSTA) regulations require that the owner/operator of the UST provide a 24-hour notification to the EPD following the detection of a release from a UST system. The regulations also require that the owner/operator of the UST begin conducting a Corrective Action Plan Part-A (CAP-A) at the site to determine the severity of the release. The regulations require that the CAP-A report be submitted to the EPD within 60-days of the release notification.

Etowah recommends that the executors of the Cox Estate provide a copy of this report to the Georgia EPD as a notification that a petroleum product release has been detected on this property. Because the former USTs at this site do not appear to have ever been registered with the EPD, the report should be accompanied by the appropriate UST registration forms. We also recommend that a Water Usage Survey be completed for the area around the site and that the water usage survey report be provided to the EPD along with the other release notification forms. It is our opinion that the EPD will consider granting a No Further Action Required (NFAR) status for the release based upon the findings of our Limited Phase II ESA, if no drinking water sources are documented within the applicable radii of the site.

We further note that future development of this site might require the excavation of petroleum impacted soils, or the pumping of petroleum-impacted groundwater. If petroleum-impacted soils are excavated during site development activities, the soil will require disposal as a regulated waste. Impacted groundwater pumped during site development will also require proper disposal.

We appreciate the opportunity to work for you on this project. Please contact us if you have any questions or if we can be of further assistance.

Sincerely,

ETOWAH ENVIRONMENTAL SERVICES, INC.



Dennis P. Popham, P.G.
Senior Registered Geologist

Attachments

Tables
Figures
Laboratory Report

**Former Gasoline Station Site
1722 Duluth Highway
Lawrenceville, Georgia
Facility ID # Not Assigned**

TABLE 1: SOIL ANALYTICAL RESULTS

Sample Location	Depth (ft)	Date Sampled	Benzene (mg/kg)	Toluene (mg/kg)	Ethylbenzene (mg/kg)	Xylenes (mg/kg)	TOTAL PAHs (mg/kg)	TPH GRO (mg/kg)	TPH DRO (mg/kg)
B-1	8-10	9/10/07	BDL	BDL	BDL	BDL	BDL	NS	NS
B-2	12-14	9/10/07	BDL	11.0	20.0	140.0	0.970	NS	NS
B-3	8-10	9/10/07	BDL	0.028	61.0	430.0	BDL	NS	NS
Applicable Standards			11.30	500	140	700	N/A	N/A	N/A

BDL - Below the detection limit

Mg/kg - milligrams per kilogram

N/A - Not applicable, no standard is provided in the EPD UST regulations

NS - Not sampled

PAH - Polynuclear aromatic hydrocarbons

Note - The applicable standards cited for this property are likely to be the Table B concentrations for BTEX and TPH for the condition where no drinking water sources are located within the applicable radii from the site. A water usage survey must be performed to confirm that these standards will apply to this property.

**Former Gasoline Station Site
1722 Duluth Highway
Lawrenceville, Georgia
Facility ID # Not Assigned**

TABLE 2: GROUNDWATER ANALYTICAL RESULTS

Sample Number	Date Sampled	Benzene (ug/l)	Toluene (ug/l)	Ethyl-benzene (ug/l)	Xylenes (ug/l)	PAH (ug/l)	Total BTEX (ug/l)
B-1W	9/10/07	BDL	BDL	1.9	13	NS	15
B-2W	9/10/07	BDL	200	110	590	NS	900
B-3W	9/10/07	BDL	7.1	96	640	NS	743
B-4W	9/10/07	1.1	BDL	BDL	3.6	NS	4.7
Applicable Standards		71.0	200,000	29,000	N/A	N/A	N/A

BDL - Below the detection limit

Ug/l- microgram per liter

N/A - Not applicable, no standard is provided in the EPD UST regulations

NS - Not sampled

PAH - Polynuclear aromatic hydrocarbons

Note - The applicable standard cited for this property are likely to be the Georgia In-Stream Water Quality Standard (ISWQS). The more stringent EPA Federal drinking water standards could apply to this property if public or private drinking water sources are located within the applicable radii from the site.



Date: 09/19/07

Scale: Unknown

Job No: 2007-42A

Source: Gwinnett County GIS Database
Aerial Photo, 2005

Etowah Environmental Services

Figure 2 Sample Location Plan
Former Gasoline Station Property
1722 Duluth Highway
Lawrenceville, Gwinnett County, Georgia

APPENDIX H

RECORD OF COMMUNICATIONS AND INTERVIEWS

ENVIRONMENTAL SITE ASSESSMENT PHASE I USER QUESTIONNAIRE

Upon completion, please return this form (along with any attachments) to:

ONE CONSULTING GROUP, INCORPORATED
POST OFFICE BOX 54382, ATLANTA, GEORGIA 30308
FACSIMILE – (404) 815-8002

According to the ASTM E 1527-05 Standard Practice, it is the responsibility of the User of the Phase I Environmental Site Assessment (ESA) to communicate certain information to the environmental professional conducting the Phase I ESA. Please complete this Phase I ESA User Questionnaire so that One Consulting Group, Inc. may ascertain whether you or your firm (as the "User" of the Phase I ESA) possess any specialized knowledge or experience which is material to any "recognized environmental condition" (as defined by ASTM E 1527-05).

COMPLETE AND CORRECT SITE INFORMATION

Property Name: HearthSide Sugarloaf

Address: 1625 Atkinson Road

City, State, Zip: Lawrenceville, GA

County / Occupant: Gwinnett County

Please provide a map or survey documenting Site location and boundaries. Also, please provide any and all title information as soon as it is readily available.

Property Owner

Key Site Manager

Contact Name: Harold Simpson / Jervon Harris

Company Name: _____ / NorSouth Development Company

Address: 3747 Peachtree Road / 2000 RiverEdge Pkwy.

Apt. 1018 / Suite 950

City, State, Zip: Atlanta, GA 30319 / Atlanta, GA 30328

Phone & Fax: _____ / (678) 460-2868 & (770) 850-8230

E-mail: N/A / Jervon@norsouth.com

Site Type:

Commercial Industrial / Manufacturing Multi-Family Residential

Mixed – Use (Residential and Commercial)

Vacant / Undeveloped / Raw Land / Single-Family Residential

Other, please explain: _____

Type of Transaction:

Purchase Finance Sale Non-transaction Inquiry

Other, please explain: _____

Do you have any Knowledge or Experience with the Property that may be Pertinent (i.e., copies of prior ESA or environmental reports, documents, correspondence, etc., concerning the Property and its environmental condition)?

None

LANDOWNER LIABILITY PROTECTIONS

ASTM E 1527-05 states: “In order to qualify for one of the Landowner Liability Protections (LLPs) offered by the Small Business Liability Relief and Brownfields Revitalization Act of 2001 (the “Brownfields Amendments”), the user must provide the following information (if available) to the environmental professional. Failure to provide this information could result in a determination that “all appropriate inquiry” is not complete.” Please complete the following questions:

- (1) **Environmental cleanup liens that are filed or recorded against the site (40 CFR 312.25).** Are you aware of any environmental cleanup liens against the Site that are filed or recorded under federal, tribal, state, or local law? Yes No
- (2) **Activity and land use limitations that are in place on the site or that have been filed or recorded in a registry (40 CFR 312.26).** Are you aware of any activity and use limitations (AULs), such as engineering controls, land use restrictions or institutional controls that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state or local law? Yes No
- (3) **Specialized knowledge or experience of the person seeking to qualify for the LLP (40 CFR 312.29).** As the user of this ESA do you have any specialized knowledge or experience related to the Site or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the Site or an adjoining property so that you would have specialized knowledge of the chemicals and processes used by this type of business? Yes No

- (4) **Relationship of the purchase price to the fair market value of the Site if it were not contaminated (40 CFR 312.29).** Does the purchase price being paid reasonably reflect the fair market value of the Site? Yes No

If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the Site? Yes No

- (5) **Commonly known or reasonably ascertainable information about the Site (40 CFR 312.30).** Are you aware of commonly known or reasonably ascertainable information about the Site that would help the environmental professional to identify conditions indicative of releases or threatened releases? Yes No

For example, as user:

- Do you know the specific past uses of the Site? Yes No
- Do you know of specific chemicals that are present or once were present at the Site? Yes No
- Do you know of spills or other chemical releases that have taken place at the Site? Yes No
- Do you know of any environmental cleanups that have taken place at the Site? Yes No

- (6) **The degree of obviousness of the presence or likely presence of contamination at the Site, and the ability to detect the contamination by appropriate investigation (40 CFR 312.31).** As the user of this ESA, based on your knowledge and experience related to the Site are there any obvious indicators that point to the presence or likely presence of contamination at the Site? Yes No

PROCEEDINGS INVOLVING THE PROPERTY

Are you aware of any pending, threatened, or past litigation relevant to Hazardous Substances or Petroleum Products in, on, or from the Site? Yes No

If yes, explain: _____

Are you aware of any pending, threatened, or past administrative proceeding relevant to Hazardous Substances or Petroleum Products in, on, or from the Site?

Yes No

If yes, explain: _____

Are you aware of any notice from any governmental entity regarding any possible violation of environmental laws or possible liability relating to Hazardous Substances or Petroleum Products?

Yes No

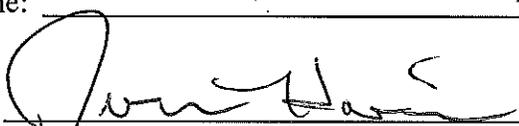
If yes, explain: _____

SIGNATURE

I represent that the above answers are true and correct to the best of my knowledge and that no material facts have been knowingly suppressed or misstated.

Company Name: NorSouth Development Company

Agent Name: Jervon Harris, Vice President of Development

Signature: 

Date: April 10, 2012

**PHASE I ENVIRONMENTAL SITE ASSESSMENT
GENERAL PROPERTY QUESTIONNAIRE**

Upon completion, please return this form (along with any attachments) to:
ONE CONSULTING GROUP, INCORPORATED
POST OFFICE BOX 54382, ATLANTA, GEORGIA 30308
FACSIMILE – (404) 815-8002

Please complete this Site Questionnaire so that One Consulting Group, Inc. may ascertain whether you or your firm possess any specialized knowledge or experience which is material to any “recognized environmental condition” (as defined by ASTM E 1527-05).

COMPLETE AND CORRECT SITE INFORMATION

Property Name: Approx. 6.721 acres of raw land on
Address: Sugarloaf Parkway
City, State, Zip: Gwinnett County, GA 30043
County, Parrish or Regional Government: Gwinnett County

If available, please provide a map or survey documenting Site location and boundaries.

<u>Property Owner</u>	<u>Key Site Manager</u>
Contact Name: <u>HJE SIMPSON, LP C/O RACHEL A. KANAREK /</u>	<u>N/A</u>
Company Name: <u>PARKER HUDSON RAINIER & DOBBS</u>	
Address: <u>285 PEACHTREE CENTER AVE NE / 1500 MARQUIS TWO TOWER /</u>	
City, State, Zip: <u>ATLANTA GA 30303 /</u>	
Phone & Fax: <u>404.420.4332 /</u>	
E-mail: <u>RAK@PHRD.COM /</u>	

Site Type:

- Commercial Industrial / Manufacturing Multi-Family Residential
- Mixed – Use (Residential and Commercial)
- Vacant / Undeveloped / Raw Land / Single-Family Residential
- Other, please explain: _____

GENERAL PROPERTY INFORMATION

Size of Property (acres): 6.721

Date of Construction/First Occupied: N/A

Renovation Date (if applicable): N/A

Number of Buildings/stories: N/A

Current Occupant: N/A

For apartments/assisted living, please provide a list of apartment types indicating # of bedrooms/bathrooms, square footage, and quantity. For office/retail, please provide a rent roll with rentable square footage.

Please list the following utility service providers and their contact information for the Site:

Electricity: N/A

Natural Gas: N/A

Solid Waste: N/A

Water: N/A

Storm Sewer: N/A

Sanitary Sewer: N/A

Landscaping: N/A

Pest Control: N/A

LOCAL JURISDICTION INFORMATION

What is the Government Municipality or County with jurisdiction over the property?

Gwinnett County

What is the local Tax ID#, Lot and Block, or Township/Range ID#?

Land lot 74 of 7th District ; Parcel ID# R7074 006

What fire department services the property and how often are site inspections performed?

N/A

Please list any deficiencies/violations reported by the building, fire, or health department.

N/A

REGULATORY ENVIRONMENTAL INFORMATION

Do you have any Knowledge or Experience with the Site that may be Pertinent (i.e., copies of prior Environmental Site Assessments or environmental reports, documents, correspondence, etc., concerning the Site and its environmental condition)? Specifically:

Environmental cleanup liens that are filed or recorded against the site (40 CFR 312.25). Are you aware of any environmental cleanup liens against the Site that are filed or recorded under federal, tribal, state, or local law? Yes No

Activity and land use limitations that are in place on the site or that have been filed or recorded in a registry (40 CFR 312.26). Are you aware of any activity and use limitations (AULs), such as engineering controls, land use restrictions or institutional controls that are in place at the Site and/or have been filed or recorded in a registry under federal, tribal, state or local law? Yes No

Commonly known or reasonably ascertainable information about the Property (40 CFR 312.30). Are you aware of commonly known or reasonably ascertainable information about the Site that would help the environmental professional to identify conditions indicative of releases or threatened releases? Yes No

If you answered yes to any of the above questions, please explain: _____

ENVIRONMENTAL PROCEEDINGS INVOLVING THE SITE

Are you aware of any pending, threatened, or past litigation relevant to Hazardous Substances or Petroleum Products in, on, or from the Site? Yes No If yes, explain: _____

Are you aware of any pending, threatened, or past administrative proceeding relevant to Hazardous Substances or Petroleum Products in, on, or from the Site? Yes No If yes, explain: _____

Are you aware of any notice from any governmental entity regarding any possible violation of environmental laws or possible liability relating to Hazardous Substances or Petroleum Products? Yes No If yes, explain: _____

SITE ENVIRONMENTAL INFORMATION

Are you aware of any underground or above ground storage tanks, petroleum dispensers, and/or heating oil tanks on, adjacent, and/or adjoining the Site?

Yes No If yes, explain: _____

Are you aware of the current or past presence of a dry cleaning facility at, adjacent to, and/or nearby the Site?

Yes No If yes, explain: _____

Is there any known (past or present) use, storage, or disposal of hazardous materials, chemicals, or substances on, adjacent to, or nearby the Site?

Yes No If yes, explain: _____

Are you aware of any drums of unidentified waste on, adjacent to, or nearby the Site?

Yes No If yes, explain: _____

Are you aware of any strong, noxious or pungent odors on, adjacent to, or nearby the Site?

Yes No If yes, explain: _____

Are you aware of any unidentified substance containers on, adjacent to, or nearby the Site?

Yes No If yes, explain: _____

Are you aware of any poly-chlorinated biphenyls (PCBs) or electrical transformers on, adjacent to, or nearby the Site?

Yes No If yes, explain: _____

Are you aware of any sanitary water discharging to an onsite septic tank system or a water well actively withdrawing water on, adjacent to, or nearby the Site?

Yes No If yes, explain: _____

Are you aware of any sumps, drains, floor drains, or pits on the Site?

Yes No If yes, explain: _____

ADDITIONAL INFORMATION

If available, please provide the following documents or information along with this questionnaire:

- Reduced scale site and building plans
- Certificate of occupancy and/or building permit
- Copy of property tax records
- Copy of any outstanding violations
- History of recent improvements
- Previous due diligence reports
- Roof warranties or additional warranties

SIGNATURE

I represent that the above answers are true and correct to the best of my knowledge and that no material facts have been knowingly suppressed or misstated.

Company Name: HJE Simpson, LP

Agent Name: Harold Simpson

Signature: *Harold E. Simpson*

Date: May 14 2012

3 May 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

GA DNR EPD Hazardous Waste Branch

Attention: Madeleine Kellam

Floyd Towers East, Suite 1162

2 Martin Luther King, Jr. Drive SE

Atlanta, Georgia 30308

E-mail:

madeleine_kellam@dnr.state.ga.us

Phone:

404.656.7802

Facsimile:

404.651.9425

Subject:

Proposed Hearthside at Sugarloaf

1625 Atkinson Road

Lawrenceville, Gwinnett County, Georgia 30043

Tax Parcel R7074 006

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

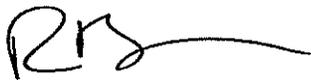
- Brownfield designation;
- Engineering controls;
- Environmental liens;
- Land use restrictions;

If you have any questions please contact me at either 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,

One Consulting Group, Inc.



Robert Brawner
Project Manager

* * * Communication Result Report (May. 3. 2012 3:57PM) * * *

1)
2)

Date/Time: May. 3. 2012 3:56PM

File No.	Mode	Destination	Pg(s)	Result	Page Not Sent
8370	Memory TX	4046519425	P. 1	OK	

Reason for error
 E. 1) Hang up or line fail
 E. 3) No answer
 E. 5) Exceeded max. E-mail size
 E. 2) Busy
 E. 4) No facsimile connection

3 May 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

GA DNR EPD Hazardous Waste Branch
 Attention: Madeleine Kellam E-mail: mazdeleino_kellam@dnr.state.ga.us
 Floyd Towers East, Suite 1162 Phone: 404.656.7802
 2 Martin Luther King, Jr. Drive SE Facsimile: 404.651.9425
 Atlanta, Georgia 30308

Subject: Proposed Heathside at Sugarloaf
 1625 Atkinson Road
 Lawrenceville, Gwinnett County, Georgia 30043
 Tax Parcel R7074 006

To Whom It May Concern:

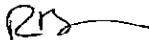
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- Engineering controls;
- Environmental liens;
- Land use restrictions;

If you have any questions please contact me at either 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
 One Consulting Group, Inc.


 Robert Brawner
 Project Manager



P.O. Box 54382 | Atlanta, GA 30308
 phone 404.815.8005 | fax 404.815.8002

12 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Georgia Department of Natural Resources
Environmental Protection Division
Floyd Towers East
2 Martin Luther King, Jr. Drive SE
Atlanta, Georgia 30334

E-mail: Stephanie_helmig@dnr.state.ga.us
Phone: (404) 463-7600
Facsimile: (706) 369-6398 (Program Coordination)

Attention: Stephanie Helmig (Program Coordination)

Subject: **Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

To Whom It May Concern:

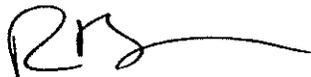
One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

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- Bulk petroleum storage (underground and aboveground storage tanks);
- Fire records including permits, records of historic fires, and code violations
- Onsite septic system permits, inspection records, and violations;
- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Georgia Department of Natural Resources

Environmental Protection Division, Watershed Protection Branch
4220 International Parkway, Suite 101
Atlanta, Georgia 30354
FAX: 404/675-2506

April 11, 2012

Sam Urban
Robert Brawner
One Consulting Group, Inc.

RE: Open Records Request:
Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Georgia 30043
Proposed Braselton Court
Beaver Dam Road (just east of intersection
With GA Hwy 211)
Braselton, Georgia 30548

Dear Mr. Urban:

This is in response to your recent request, made under the Georgia Open Records Act (GORA) regarding information from our files on the above referenced properties.

A review of Watershed Protection Branch files indicates that we have no information concerning the above referenced properties as listed in your request.

For further assistance, please contact Renee Walker at (404) 675-1743 or by email at renee_walker@dnr.state.ga.us.

Sincerely,

Renee Walker
GORA Secretary

RIw

Robert Brawner

From: Kim Feagler [Kim.Feagler@dnr.state.ga.us]
Sent: Thursday, April 12, 2012 2:48 PM
To: Robert Brawner
Subject: Open Records Request - 1625 Atkinson Road

Mr. Brawner,

This is in response to your recent request made under the Georgia Open Records Act (GORA) regarding information from our files on the referenced facility.

A review of the Land Protection Branch files indicate that we have no information concerning the referenced facility as listed in your request. The Land Protection Branch consists of the Hazardous Waste Management Program, Underground Storage Tank Program, Solid Waste Management Program, Surface Mining Management Program, Scrap Tire Management Program, and the Lead-Based Paint & Asbestos Program.

Please let me know if you have any questions or need further assistance.

Thank you

Kim Feagler
Environmental Protection Division
Georgia Department of Natural Resources
4244 International Parkway, Suite 104
Atlanta, GA 30354

Robert Brawner

From: Kim Feagler [Kim.Feagler@dnr.state.ga.us]
Sent: Wednesday, May 09, 2012 2:54 PM
To: Robert Brawner
Subject: Open Records Request

Mr. Brawner,

This is in response to your recent request made under the Georgia Open Records Act (GORA) regarding information from our files on the referenced facilities:

Proposed Hearthside at Sugarloaf, 1625 Atkinson Road, Lawrenceville, Gwinnett County Proposed Braselton Court, Beaver Dam Road, Braselton, Barrow County

A review of the Land Protection Branch files indicate that we have no information concerning the referenced facilities as listed in your request. The Land Protection Branch consists of the Hazardous Waste Management Program, Underground Storage Tank Program, Solid Waste Management Program, Surface Mining Management Program, Scrap Tire Management Program, and the Lead-Based Paint & Asbestos Program.

Please let me know if you have any questions or need further assistance.

Thank you

Kim Feagler
Environmental Protection Division
Georgia Department of Natural Resources
4244 International Parkway, Suite 104
Atlanta, GA 30354

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Gwinnett County Dept. of Water Resources
684 Winder Highway
Lawrenceville, GA 30045

E-mail: Susan.Cowart@gwinnettcountry.com
Phone: 678.376.7144
Facsimile:

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

Ms. Cowart:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Hazardous material use, storage, spillage or disposal;
- Bulk petroleum storage (underground and aboveground storage tanks);
- Fire records including permits, records of historic fires, and code violations
- Onsite septic system permits, inspection records, and violations;
- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



**Robert Brawner
Project Manager**

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Gwinnett County Health Department
2570 Riverside Parkway
P.O. Box 897
Lawrenceville, GA 30046

E-mail:
Phone: 770.339.4260
Facsimile: 770.339.2334

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

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If you have any questions please contact me at either 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

* * * Communication Result Report (Apr. 6. 2012 1:51PM) * * *

1}

Date/Time: Apr. 6. 2012 1:48PM

File No.	Mode	Destination	Pg(s)	Result	Page Not Sent
8183	Memory TX	7703392334	P. 1	OK	

Reason for error
 E. 1) Hang up or line fail
 E. 2) Busy
 E. 3) No answer
 E. 4) No facsimile connection
 E. 5) Exceeded max. E-mail size

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Gwinnett County Health Department
 2570 Riverside Parkway
 P.O. Box 897
 Lawrenceville, GA 30046
 B-mail:
 Phone: 770.339.4260
 Facsimile: 770.339.2334

Subject: Proposed Hearthside at Sugarleaf
 1625 Atkinson Road
 Lawrenceville, Gwinnett County, Georgia 30043
 Tax Parcel R7074 006

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

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- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecgr.com.

In the event you have information to send, please do so via electronic mail (robert@onecgr.com) or facsimile (404.815.8002).

Sincerely,
 One Consulting Group, Inc.


 Robert Brawner
 Project Manager



P.O. Box 54382 | Atlanta, GA 30308
 phone 404.815.8005 | fax 404.815.8002

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Gwinnett County Fire & Emergency
408 Hurricane Shoals NE
Lawrenceville, GA 30046

E-mail: firemarshal@gwinnettcountry.com
Phone: 678.518.4980
Facsimile: 678.518.4901

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

Mr. Myers:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Hazardous material use, storage, spillage or disposal;
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- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Date/Time: Apr. 6. 2012 12:07PM

File No.	Mode	Destination	Pg (s)	Result	Page Not Sent
8172	Memory TX	6785184901	P. 1	OK	

Reason for error

M. 1) Hang up or line fail	E. 2) Busy
M. 3) No answer	E. 4) No facsimile connection
M. 5) Exceeded max. E-mail size	

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Gwinnett County Fire & Emergency
408 Hurricane Shoals NE
Lawrenceville, GA 30046

E-mail: firemarshal@gwinnettcountry.com
Phone: 678.518.4980
Facsimile: 678.518.4901

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

Mr. Myers:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

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If you have any questions please contact me at either 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Bravner
Project Manager

Department of Fire and Emergency Services



Bill Myers, Fire Chief/Director
Casey Snyder, Assistant Chief
Dan Hansen, Assistant Chief
Greg Schaffer, Assistant Chief
Jere Jordan, Division Director

408 Hurricane Shoals Road NE
Lawrenceville, GA 30046-4406
678.518.4800 • fax 678.518.4806
www.gwinnettfire.org

gwinnettcountry

April 11, 2012

SUBJECT: Georgia Open Records Act Request
1625 Atkinson Rd
Lawrenceville, GA 30043

Dear Robert Brawner,

This will respond to your April 6, 2012, for request for records pursuant to the Georgia Open Records Act. As required by law, it has been determined that we have no records of any outstanding fire department violations, hazardous material storage, spills or releases, underground/aboveground storage tanks, or emergency responses.

As required prior to fulfilling your request, you are notified that the estimated cost of the copying, search, retrieval and other administrative fees authorized by O.C.G.A. 50-18-71 is \$0.00. Gwinnett County, its departments, agencies, boards, bureaus, commissions, authorities, and other similar bodies of Gwinnett County are authorized to collect this charge in any manner authorized by law for the collection of taxes, fees, or assessments owed to the County by O.C.G.A. 50-18-71(g)(1).

You may contact the undersigned at (678) 518-4980 to arrange to inspect and copy requested records and to make arrangements to pay the fee indicated above.

Sincerely,

Misti Holbrook

Misti Holbrook
Administrative Support Associate III
Community Risk Reduction

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

City of Lawrenceville Planning and Zoning Dept.
P.O. Box 2200
Lawrenceville, GA 30046

E-mail: planning@lawrencevillega.org
Phone: 678.407.6583
Facsimile: 678.407.6699

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

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Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

* * * Communication Result Report (Apr. 6. 2012 12:10PM) * * *

1}

Date/Time: Apr. 6. 2012 12:08PM

File No. Mode	Destination	Pg(s)	Result	Page Not Sent
8174 Memory TX	6784076699	P. 1	OK	

Reason for error

E. 1) Hang up or line fail
 E. 3) No answer
 E. 5) Exceeded max. E-mail size

E. 2) Busy
 E. 4) No facsimile connection

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

City of Lawrenceville Planning and Zoning Dept.
 P.O. Box 2200
 Lawrenceville, GA 30046

E-mail: planning@lawrencevillega.org
 Phone: 678.407.6583
 Facsimile: 678.407.6599

Subject: Proposed Hearthside at Sugarloaf
 1625 Atkinson Road
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To Whom It May Concern:

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In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
 One Consulting Group, Inc.



Robert Bravner
 Project Manager

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Gwinnett County Dept. of Planning and Zoning
446 West Crogan Street, Suite 250
Lawrenceville, GA 30046

E-mail: pnd@gwinnettcounty.com
Phone: 678.518.6000
Facsimile: 678.518.6275

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

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In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Date/Time: Apr. 6. 2012 12:08PM

File No. Mode	Destination	Pg (s)	Result	Page Not Sent
8175 Memory TX	6785186275	P. 1	OK	

Reason for error

E. 1) Hang up or line fail	E. 2) Busy
E. 3) No answer	E. 4) No facsimile connection
E. 5) Exceeded max. E-mail size	

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Gwinnett County Dept. of Planning and Zoning
 446 West Crogan Street, Suite 250
 Lawrenceville, GA 30046

E-mail: pod@gwinnettcountry.com
 Phone: 678.518.6000
 Facsimile: 678.518.6275

Subject: Proposed Hearthside at Sugarloaf
 1625 Atkinson Road
 Lawrenceville, Gwinnett County, Georgia 30043
 Tax Parcel R7074 006

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Hazardous material use, storage, spillage or disposal;
- Bulk petroleum storage (underground and aboveground storage tanks);
- Fire records including permits, records of historic fires, and code violations;
- Onsite septic system permits, inspection records, and violations;
- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
 One Consulting Group, Inc.



Robert Brawner
 Project Manager

Department of Planning and Development



446 West Crogan Street · Lawrenceville, GA 30046-2440
(tel) 678.518.6000
www.gwinnettcountry.com

gwinnettcountry

GWINNETT COUNTY RESPONSE TO OPEN RECORDS REQUEST

Dear Mr. Brawner:

RE: 1625 Atkinson Rd.

This will respond timely within three business days of receipt of your open records request dated April 6, 2012. After reviewing your request, it has been determined that Gwinnett County does not maintain documents or records that are responsive to your request. We have not issued any Building Permits at this time for this project.

Sincerely

A handwritten signature in cursive script that reads "Peggy Jackson" is written over a horizontal line.

Peggy Jackson
Records Custodian
Building Permits

1. Single Family Dwellings, except Manufactured Homes.
2. Customary accessory buildings and uses.
3. Customary Home Occupations.
4. Existing Cemeteries.
5. Public buildings and land uses.
6. Electric substations or gas regulator stations, if essential for service to this zoning district, as provided in the R-100 zoning district.
7. The raising and keeping of horses for personal pleasure or utility on a lot which contains the dwelling of the owner, provided the lot is at least three (3) acres in area and that no animal quarters are located closer than 100 feet to any property line.
8. The raising and keeping of household pets. A purebred Vietnamese pot-bellied pig is allowed provided that there is no hobby breeding, and only one pig shall be allowed per lot. The raising and keeping of rabbits shall be allowed provided that the number of rabbits does not exceed eight and any animal quarters are located in the rear yard and set back at least 30 feet from all property lines.
9. Public, semi-public, and private golf and country clubs.

Within the R-LL Single Family Residence – Large Lot District, the following uses may be permitted provided the applicant for such a development is granted a Special Use Permit by the Board of Commissioners after receiving recommendations from the Director of Planning and Development and Planning Commission and after a public hearing.

1. Family Personal Care Home (minimum one-acre lot size).

Section 1301. R-100 Single Family Residence District.

This zoning district is intended primarily for one family residences and related uses.

Within the R-100 Single Family Residence District, the following uses are permitted:

1. Single Family Dwellings, except Manufactured Homes.

2. Customary accessory buildings and uses.
3. Customary Home Occupations.
4. Existing Cemeteries.
5. Public buildings and land uses.
6. Electric substations or gas regulator stations, if essential for service to this zoning district, provided:
 - a. The structures are placed not less than 50 feet from any property line.
 - b. The structures are enclosed by a woven wire fence at least eight (8) feet high.
 - c. The lot is suitably landscaped, including a buffer strip at least 25 feet wide along the side and rear property lines but not extending into the required front yard, planted with evergreen trees and shrubs that grow at least eight (8) feet tall and provide an effective visual screen.
 - d. No vehicles or equipment are stored on the premises.
7. The raising and keeping of livestock for personal pleasure or utility on a lot which contains the dwelling of the owner of the livestock, provided that the lot is at least three (3) acres in area and that no animal quarters are located closer than 100 feet to any property line.
8. Lots located on cul-de-sacs or half cul-de-sacs shall have a minimum of eighty-five (85) feet at the building line.
9. The raising and keeping of household pets. A purebred Vietnamese pot-bellied pig is allowed provided that the lot is at least one-half acre in size, no hobby breeding, and only one pig shall be allowed per lot. The raising and keeping of rabbits shall be allowed provided that the number of rabbits does not exceed eight and any animal quarters are located in the rear yard and set back at least 30 feet from all property lines.

10. Churches, temples and synagogues provided:
 - a. They are located on a Principal Arterial, Major Arterial, Minor Arterial, Major

Collector Street, or State Highway on a site of not less than five acres with 250 feet of road frontage.

- b. The buildings are located not less than 50 feet from any street and not less than 30 feet from any side or rear property line.
- c. Parking is not provided in the front yard setback area.
- d. If adjacent to residentially-zoned property, a buffer of at least 50 feet wide shall be provided along the property lines adjacent to said zoning; provided, however, that this buffer may be reduced to no less than 20 feet in width adjacent to the sanctuary building or "Sunday School" educational building and parking related to these buildings.
- e. A church, temple, or synagogue located in a manufactured building may be erected on the property for a period not to exceed three years.

Within the R-100 Single Family Residence District, the following uses may be permitted provided the applicant for such a development is granted a Special Use Permit by the Board of Commissioners after receiving recommendations from the Director of Planning and Development and Planning Commission and after a public hearing:

- 1. Churches, temples and synagogues not meeting the minimum requirements for a permitted church, temple, or synagogue within the district and provided:
 - a. They are located on a Principal Arterial, Major Arterial, Minor Arterial, Major Collector Street, Minor Collector Street, or State Highway on a site of not less than three (3) acres.
 - b. The buildings are located not less than 50 feet from any street or 30 feet from any side property line.
 - c. If adjacent to residentially-zoned property, a buffer of at least 50 feet wide shall be provided along the property lines adjacent to said zoning; provided, however, that this buffer may be reduced to no less than 20 feet in width adjacent to the sanctuary building or "Sunday School" educational building and parking related to these buildings.
- 2. Residential or community shelters as an accessory use to a church meeting the

minimum requirements for a permitted church. All shelters must meet the provisions of Rules for Shelters in Gwinnett County.

3. Private schools offering general education courses.
4. A beauty parlor or barber shop in a one family residence.
5. Single family dwellings with a floor area of 1,000 square feet or greater but less than 1,400 square feet.
6. Group day care homes.
7. Day care facilities located in a church.
8. Private not-for-profit recreation facilities; provided, however, that a Special Use Permit shall not be required for such facilities if they are to be located on an area reserved or dedicated for such use on a final recorded subdivision plat.
9. The development of equestrian-oriented subdivisions on tracts of 15 acres or more, provided that no lot is less than one acre and that all provisions for community and/or individual lot animal quarters shall be established as part of the approval of granting a Special Use Permit. Such provisions as approved and a restriction prohibiting the further subdivision of any lots shall be recorded as Protective Covenants for the subdivision.
10. Metal buildings in excess of 550 square feet in size.
11. Group Homes.
12. Family Personal Care Home (minimum one-acre lot size).

Section 1302. R-75 Single Family Residence District.

This zoning district is intended primarily for moderate-cost, one family residences and related uses on land served by a central sewerage system. The development of lots in this district is permitted with septic tanks, provided lot sizes correspond to the area in square feet in the R-100 district. All septic tank installations are subject to the approval of the Gwinnett County Health Department.

Within the R-75 Single Family Residence District, the following uses are permitted:

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Gwinnett County Police Dept.
684 Winder Highway
Lawrenceville, GA 30045

E-mail: policeopenrecords@gwinnettcounty.com
Phone: 770.513.5250
Facsimile: 770.513.5006

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

Penny Skamalos:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Hazardous material use, storage, spillage or disposal;
- Bulk petroleum storage (underground and aboveground storage tanks);
- Fire records including permits, records of historic fires, and code violations
- Onsite septic system permits, inspection records, and violations;
- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

* * * Communication Result Report (Apr. 6. 2012 12:11PM) * * *

}}

Date/Time: Apr. 6. 2012 12:08PM

File No.	Mode	Destination	Pg (s)	Result	Page Not Sent
8176	Memory TX	7705135006	P. 1	OK	

Reason for error

E. 1) Hang up or line fail	E. 2) Busy
E. 3) No answer	E. 4) No facsimile connection
E. 5) Exceeded max. E-mail size	

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Gwinnett County Police Dept. E-mail: policeopenrecords@gwinnettcountry.com
694 Winder Highway Phone: 770.513.5250
Lawrenceville, GA 30045 Facsimile: 770.513.5006

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 1625 Atkinson Road
 Lawrenceville, Gwinnett County, Georgia 30043
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- Building code certificates of occupancy and/or code violations.

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In the event you have information to send, please do so via electronic mail (robert@onecpginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager



gwinnettcountry Police Department



770 Hi-Hope Road • Lawrenceville, GA 30043-4540
P.O. Box 602 • Lawrenceville, GA 30046-0602
770.513.5000 • www.gwinnettcountry.com

FAX TRANSMISSION DATA

TO: Robert BRAWNER

COMPANY/AGENCY: _____ Fax #: 48158002

FROM: Penny B Skamalos Fax #: 770-513-5006
policeopenrecords@gwinnettcountry.com
 Phone #: 770-513-5250

SUBJECT: OPEN RECORDS

SECTION: GWINNETT COUNTY POLICE DEPARTMENT

DATE: 4-9-12

PAGES TRANSMITTED: 3 (INCLUDING COVER SHEET)

INFORMATION: _____

NOTICE

The pages comprising this facsimile transmission may contain confidential and/or privileged information from the Gwinnett County Police Department. This information is intended solely for use by the individual or entity named as the recipient. If you are not the intended recipient, be aware that any disclosure, copying, distribution, or use of the contents of this transmission is prohibited. If you have received this transmission in error, please notify this Department at 770-513-5250 immediately.

GCPD 211

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Gwinnett County Police Dept.
684 Winder Highway
Lawrenceville, GA 30045

B-mail: policeopenrecords@gwinnettcounty.com
Phone: 770.513.5250
Facsimile: 770.513.5006

Subject: **Proposed Hearthside at Sugarloaf**
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006

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Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

gwinnettcounty Police Department



770 Hi-Hope Road • Lawrenceville, GA 30043-4540
P.O. Box 602 • Lawrenceville, GA 30046-0602
770.513.5000 • www.gwinnettcounty.com

Date: April 9, 2012

Robert Brawner
One Consulting Group

Subject: Gwinnett County Police Records re: 1625 Atkinson Rd, Lawrenceville, Ga.

Your Open Records Act Request received: 4-6-12

This is in response to your Open Records request, received by the Gwinnett County Police Department on April 6, 2012, and regarding the above listed item or person. A research has been completed and no records were found. You may want to contact Gwinnett County Planning & Development to have them search their records.

You may contact me at (770) 513-5250, if you have further questions.

Sincerely,

Officer C. Reynolds # 715
Open Records Manager
Office of the Chief of Police

policeopenrecords@gwinnettcounty.com

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Gwinnett County Tax Commissioner
Gwinnett Justice and Administration Center
75 Langley Drive
Lawrenceville, GA 30046

E-mail:
Phone: 770.822.7294
Facsimile: 770.822.7204

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

To Whom It May Concern:

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In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Date/Time: Apr. 6. 2012 12:09PM

File No.	Mode	Destination	Pg (s)	Result	Page Not Sent
8177	Memory TX	7708227204	P. 1	OK	

Reason for error

E. 1) Hang up or line fail	E. 2) Busy
E. 3) No answer	E. 4) No facsimile connection
E. 5) Exceeded max. E-mail size	

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Gwinnett County Tax Commissioner
 Gwinnett Justice and Administration Center
 75 Langley Drive
 Lawrenceville, GA 30046

E-mail:
 Phone: 770.822.7294
 Facsimile: 770.822.7204

Subject: Proposed Hearthside at Sugarloaf
 1625 Atkinson Road
 Lawrenceville, Gwinnett County, Georgia 30043
 Tax Parcel R7074 006

To Whom It May Concern:

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In the event you have information to send, please do so via electronic mail (robert@onecpg.com) or facsimile (404.815.8002).

Sincerely,
 One Consulting Group, Inc.



Robert Branner
 Project Manager

6 April 2012

FREEDOM OF INFORMATION REQUEST

Georgia Department of Natural Resources
State Parks and Historic Sites
2 MLK Jr. Dr., Suite 1352 East, Atlanta, Georgia 30334

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

Query: **State Parks and Recreational Areas**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



**Robert Brawner
Project Manager**

Attachments

6 April 2012

FREEDOM OF INFORMATION REQUEST

Georgia Department of Natural Resources
Nongame Conservation Section
2070 65 Highway 278 SE, Social Circle, Georgia 30025-4743

**Subject: Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

**Query: Fisheries and Wildlife Management Areas
Rare Species and Species of Concern
Threatened and Endangered Species**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities.

We have reviewed available information on the Georgia Nongame Conservation Section Website as well as performed an initial Site review for endangered species and their critical habitats. At this time, we have not discovered endangered species or critical habitat concerns associated with the Site.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308). Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



**Robert Brawner
Project Manager**

Attachments



GEORGIA
DEPARTMENT OF NATURAL RESOURCES

WILDLIFE RESOURCES DIVISION

MARK WILLIAMS
COMMISSIONER

DAN FORSTER
DIRECTOR

May 21, 2012

Robert Brawner
Project Manager
One Consulting Group
P.O. Box 54382
Atlanta, GA 30308

Subject: Known occurrences of natural communities, plants and animals of highest priority conservation status on or near Proposed Hearthside at Sugarloaf, Gwinnett County, Georgia

Dear Mr. Brawner:

This is in response to your request of April 13, 2012. According to our records, within a three-mile radius of the project site there is the following Natural Heritage Database occurrence:

Panax quinquefolius (American Ginseng) approx. 2.0 mi. N of site

* Entries above preceded by "US" indicates species with federal status (Protected, Candidate or Partial Status). Species that are federally protected in Georgia are also state protected; "GA" indicates Georgia protected species.

Recommendations:

We have no records of high priority species or habitats within the project area. Because this site has already been disturbed, it is not likely to provide habitat for rare species or communities. We are concerned about aquatic habitats that could be impacted by any future construction activities. In order to protect aquatic habitats and water quality, we recommend that all machinery be kept out of creeks during construction. We urge you to use stringent erosion control practices during construction activities. Further, we strongly advocate leaving vegetation intact within 100 feet of creeks, which will reduce inputs of sediments, assist with maintaining riverbank integrity, and provide shade and habitat for aquatic species. We realize that some trees may have to be removed, but recommend that shrubs and ground vegetation be left in place.

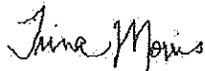
Disclaimer:

Please keep in mind the limitations of our database. The data collected by the Nongame Conservation Section comes from a variety of sources, including museum and herbarium records, literature, and reports from individuals and organizations, as well as field surveys by our staff biologists. In most cases the information is not the result of a recent on-site survey by our

staff. Many areas of Georgia have never been surveyed thoroughly. Therefore, the Nongame Conservation Section can only occasionally provide definitive information on the presence or absence of rare species on a given site. Our files are updated constantly as new information is received. **Thus, information provided by our program represents the existing data in our files at the time of the request and should not be considered a final statement on the species or area under consideration.**

If you know of populations of highest priority species that are not in our database, please fill out the appropriate data collection form and send it to our office. Forms can be obtained through our web site (<http://www.georgiawildlife.com/node/1376>) or by contacting our office. If I can be of further assistance, please let me know.

Sincerely,



Katrina Morris
Environmental Review Coordinator

Data Available on the Nongame Conservation Section Website

- Georgia protected plant and animal profiles are available on our website. These accounts cover basics like descriptions and life history, as well as threats, management recommendations and conservation status. Visit <http://www.georgiawildlife.com/node/2721>.
- Rare species and natural community information can be viewed by Quarter Quad, County and HUC8 Watershed. To access this information, please visit our GA Rare Species and Natural Community Information page at: <http://www.georgiawildlife.com/conservation/species-of-concern?cat=conservation>.
- Downloadable files of rare species and natural community data by quarter quad and county are also available. They can be downloaded from: <http://www.georgiawildlife.com/node/1370>.

February 12, 2012

National Park Service
Rivers, Trails, and Conservation Assistance
535 Chestnut Street, Suite 207
Chattanooga, Tennessee 37402

Attn: **Alison Bullock**

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

Query: **Wild Scenic Rivers**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities, and the Chattooga River's location.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Attachments

6 April 2012

National Park Service
Southeast Regional Office
Planning and Environmental Compliance Programs
Atlanta Federal Center
1924 Building
100 Alabama Street SW
Atlanta, Georgia 30303

Attn: **John Barrett**

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

Query: **Wild Scenic Rivers, National Landmarks**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

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Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Attachments

Robert Brawner

From: Celisha Rosser [Celisha.Rosser@dnr.state.ga.us]
Sent: Monday, May 14, 2012 9:53 AM
To: Robert Brawner
Subject: Proposed Hearthside at Sugarloaf
Attachments: Celisha Rosser.vcf

Mr. Brawner,

The Department has received your Freedom of Information Request and has completed a review of our real estate files. The Department does not own or manage any property adjacent to the proposed building site. Therefore, we have determined that there will be no environmental impact for this site pursuant to the National Environmental Policy Act.

Thank you

Celisha R.

Celisha Rosser
Contract Specialist
Georgia Department of Natural Resources Parks & Historic Sites - Engineering & Construction
Section
2 Martin Luther King Jr. Drive, SE
Suite 1352 E
Atlanta, Georgia 30334
Direct:(404) 656-6528
FAX:(404) 651-5871
Celisha.Rosser@gadnr.org

6 April 2012

SITE REVIEW AND TECHNICAL ASSISTANCE REQUEST

United States Fish and Wildlife Services
Georgia Ecological Services Field Office
105 Westpark Drive, Suite D, Athens, Georgia 30606

**Subject: Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

**Query: Fisheries and Wildlife Management Areas
Rare Species and Species of Concern
Threatened and Endangered Species**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities. We have reviewed available information on the Georgia Nongame Conservation Section Website as well as performed an initial Site review for endangered species and their critical habitats. At this time, we have not discovered endangered species or critical habitat concerns associated with the Site.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



**Robert Brawner
Project Manager**

Attachments

6 April 2012

SITE REVIEW AND TECHNICAL ASSISTANCE REQUEST

United States Fish and Wildlife Services
Georgia Ecological Services Field Office
105 Westpark Drive, Suite D, Athens, Georgia 30606

RECEIVED

APR 17 2012

**Subject: Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

ATHENS, GA
USFWS

**Query: Fisheries and Wildlife Management Areas
Rare Species and Species of Concern
Threatened and Endangered Species**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities. We have reviewed available information on the Georgia Nongame Conservation Section Website as well as performed an initial Site review for endangered species and their critical habitats. At this time, we have not discovered endangered species or critical habitat concerns associated with the Site.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.

Robert Brawner
Project Manager

Attachments



U. S. Fish and Wildlife Service
105 West Park Drive, Suite D,
Athens, GA 30605
706-613-9493 Fax 706-613-6059

FWS Log No.

NG-12-155-GWIN

The service has reviewed the plans for this proposed project. Based on the information you provided, no further action is required under Section 7(a)(2) of the Endangered Species Act. However, if new information or changes in the project involve federally listed species, further consultation with the Service will be required.

Sandra S. Tucker, Field Supervisor

5/10/12
Date

NG-12-155-GWIN

3 May 2012

FREEDOM OF INFORMATION REQUEST

U.S. Department of Transportation - Pipeline and Hazardous Materials Safety Administration (PHMSA)
East Building, 2nd Floor, 1200 New Jersey Ave., SE, Washington, DC 20590

PHMSA Pipeline Safety - Southern Region
233 Peachtree Street NE, Suite 600
Atlanta, Georgia 30303

Telephone: 404.832.1147
Facsimile: 404.832.1169

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

Query: **Petroleum Pipeline Compliance Information
Approximate location: LAT 33°58'15.10" / LON 84°04'16.76"**

To whom it may concern:

Our client is planning the purchase of the above-referenced property (Site). The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site from adjacent and nearby petroleum pipelines.

The Site is currently vacant land. Information is attached that shows the project location and its potential areas of affect.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or 404.815.8005 or chelsea@onecginc.com.

In the event you have information to send, please do so via electronic mail (chelsea@onecginc.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



**Robert Brawner
Project Manager**

Attachments

Robert Brawner

From: Robert Brawner
Sent: Friday, May 18, 2012 8:58 AM
To: 'marilyn.burke@dot.gov'; Chelsea Curl
Subject: RE: FOIA Request regarding property in Lawrenceville, Georgia

Please move forward with request and indicate where we send payment.

The federal housing loan program we are working under requires that we contact DOT and obtain a response regarding pipelines near proposed projects.

RB

Robert Brawner
ONE CONSULTING GROUP
PROVEN ENVIRONMENTAL PERFORMANCE
404.815.8005 x 105

From: marilyn.burke@dot.gov [mailto:marilyn.burke@dot.gov]
Sent: Friday, May 18, 2012 5:42 AM
To: Chelsea Curl
Cc: marilyn.burke@dot.gov
Subject: FOIA Request regarding property in Lawrenceville, Georgia

Good morning Chelsea:

We are in receipt of Mr. Brawner's request for records under the FOIA regarding 1625 Atkinson Road, Lawrenceville, Gwinnett County, Georgia. All FOIA requests are processed through the Washington, DC PHMSA FOIA Office. Please note there are fees associated with FOIA requests. We estimate the fee for processing this request to be \$100 with no guarantee of locating any responsive records. We will need fee authorization prior to processing your request.

Normally, environmental assessments are conducted by pipeline operators or the Environmental Protection Agency. I would also suggest that you contact the EPA region in the Atlanta area to search for records and/or the Federal Energy Regulatory Commission in Washington, DC.

I look forward to receiving your response.

Sincerely,
Marilyn Burke

Marilyn Burke
PHMSA FOIA Program Manager
Office of Chief Counsel
(202) 366-6119 - Voice
(202) 366-7342 - Fax

Office hours: 6:00 a.m. to 3:30 p.m. (Eastern)

Department of Planning and Development

446 West Crogan Street • Lawrenceville, GA 30046-2440
(tel) 678.518.6000
www.gwinnettcountry.com



gwinnettcountry

June 06, 2012

Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Re: **HearthSide Sugarloaf**
GCID2012-0366 - RZC2012-00005
GCID2012-0367 - SUP2012-00031
GCID2012-0368 - SUP2012-00032
District 7 - Land Lot 074 – Parcel 006
Zoning Determination Letter

To Whom It May Concern:

The 6.73 acre property located on the west of Sugarloaf Parkway extending to Atkinson Road, just south of Duluth Highway, commonly known as HearthSide Sugarloaf is currently zoned O-I Office-Institutional, and a senior retirement community development is a permitted use in that zoning district.

The applicant, Norsouth Development, requested the following:

1. GCID2012-0366 - RZC2012-00005. To rezone the 6.73 acre property from R-100 (Single Family Residence District) to O-I (Office-Institutional District), including a reduction in buffers to propose a 50-foot wide replanted buffer along the north and south property lines, and
2. GCID2012-0367 - SUP2012-00031. A Special Use Permit to allow for the construction of the independent living retirement community, and
3. GCID2012-0368 - SUP2012-00032. A second Special Use Permit to allow for an increase in building height to 49 feet.

The Gwinnett County Commissioners approved the aforementioned items during the June 5th, 2012 Business Session, subject to the following:

1. GWINNETT COUNTY BOARD OF COMMISSIONERS - Resolutions granting approval for the three above referenced cases, including itemized conditions of approval (see attached)
2. HEARTHSIDE SUGARLOAF – Conceptual Buffer Disturbance & Planting Plan by Foley Design Associates Architects, Inc. - dated 06-05-2012 (see attached)
3. HEARTHSIDE SUGARLOAF – Landscape Buffer Revegetation Plan by Foley Design Associates Architects, Inc. – dated 06-05-2012 (see attached)

These approvals permit for this property to be developed with a 110-unit, senior independent living retirement community, restricted to residents 62 years of age or older.

If you have any questions about this information, please call me at (678) 518-6000.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bryan", with a long, sweeping horizontal line extending to the right.

Bryan Lackey PE,
Director, Gwinnett County Planning and Development

Department of Water Resources



684 Winder Highway • Lawrenceville, GA 30045-5012
678.376.6700
www.gwinnettcounty.com

gwinnettcounty

PROPOSED DEVELOPMENT UTILITY LETTER

C/O NORSOUTH DEVELOPMENT
HEARTHSIDE SUGARLOAF LP MAY 1, 2012

Attention: BO JOHNSTON

2000 RIVEREDGE PKWY

SUITE 250 ATLANTA, GA. 30328

Fax #: _____ # Pages _____

Development Name: HEARTHSIDE SUGARLOAF

Location: 1625 ATKINSON RD.
LAWRENCEVILLE, GA.

DISTRICT: 7 LANDLOT: 074 PARCEL: 006

WATER AVAILABILITY:

The available utility records show that the subject development is currently in the vicinity of a 12 inch water main located on the SW right-of-way of ATKINSON RD.

Due to the uncontrollable variables, the Department of Water Resources makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. Demands imposed by the proposed development may require reinforcements or extensions of existing water mains. Any cost associated with such required reinforcements or extensions will be the responsibility of the development and will not be provided by this department.

SANITARY SEWER AVAILABILITY:

The available utility records show that the subject development is currently in the vicinity of a 8 inch sanitary sewer main located CROSSING SUGARLOAF PKWY, APPROXIMATELY 50 L.F. S.E. OF THE PROPERTY

**Proposed Development Utility Letter
Sewer Availability continued**

The subject development is located within the BEAVER RUIN Service area. There are currently no connection restrictions within this service area. Treatment capacity within this area is presently available on a first come-first serve basis.

Demands imposed by the proposed development may require reinforcements or extensions of existing sewer mains. Any cost associated with such required reinforcements or extensions will be the responsibility of the development and will not be provided by this department. Developer shall provide easements for future sewer connection to all locations designated by DPU during plan review.

NOTES:

As-built information for this department is dependent upon outside entities to provide record drawings for the utilities. Therefore this department does not guarantee the accuracy of the information provided.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances. Proceeding design, construction, inspection, and final acceptance of the required utilities, service to these utilities would then become available under the applicable utility permit rate schedules.

Respectfully,



Lauren Deaton
GIS Associate II
Gwinnett County
Department of Water Resources
Asset Management and Infrastructure Support
678-376-7139

Department of Water Resources



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678.376.6700
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gwinnettcounty

May 29, 2012

Mr. Bo Johnston
Hearthside Sugarloaf, LP
2000 RiverEdge Parkway
Suite 950
Atlanta, GA 30328

RE: Sewer and Water Capacity for Proposed Hearthside Sugarloaf Independent Senior Living
Parcel ID 7-074-006

Dear Mr. Johnston:

This letter is to confirm that at present time Gwinnett County DWR can serve the referenced development for both water and sanitary sewer.

Sanitary sewer service can be provided by tying into the manhole located on an existing 8" gravity sewer south of the subject property. This existing 8" gravity sewer flows to larger interceptors, eventually flowing to the Beaver Ruin Pump Station. The existing system has adequate capacity at this time to serve the proposed independent senior living apartments located on the above parcel. This confirmation is based on your anticipated peak flows of 45 GPM which is equivalent to 110 units.

Water service can be provided by tapping into an existing 12" water main just south of the subject site that runs along Sugarloaf Parkway. Hydraulic modeling shows that there is adequate fire flow capacity as well.

Capacity is relegated on a first-come-first-serve basis. The County is currently making every effort feasible to insure that there is sufficient sewer capacity to serve its developmental needs. However, sewer capacity and its limitations are an issue in every basin of the County. There is no such thing as a basin within Gwinnett County with unlimited capacity. Therefore, every proposed project is reviewed and considered for its impact on the individual basins, as well as its overall system impact. Capacity is relegated to a specific project only upon issuance of a Developmental Permit, or a Building Permit by the agency having such jurisdiction.

At present time there are no sewer moratoriums within that basin in Gwinnett County. However, regulatory or court-imposed restrictions, unanticipated new development, or delays in intermediate or plant construction could result in a moratorium, which may limit development in a specific or countywide basin.

Please let me know if you have any questions.

Sincerely,

George Kaffezakis
Director, Asset Management and Infrastructure Systems

C: Charli Young, Planning Manager, Gwinnett County Planning & Development
Rudresh Bihalli, Planning Manager, Gwinnett County Water Resources

Department of Water Resources



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www.gwinnettcounty.com

gwinnettcounty

PROPOSED DEVELOPMENT UTILITY LETTER

C/O NORSOUTH DEVELOPMENT
HEARTHSIDE SUGARLOAF LP MAY 1, 2012

Attention: BO JOHNSTON

2000 RIVEREDGE PKWY

SUITE 250 ATLANTA, GA. 30328

Fax #: _____ # Pages _____

Development Name: HEARTHSIDE SUGARLOAF

Location: 1625 ATKINSON RD.
LAWRENCEVILLE, GA.

DISTRICT: 7 LANDLOT: 074 PARCEL: 006

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Sewer Availability continued**

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Respectfully,



Lauren Deaton
GIS Associate II
Gwinnett County
Department of Water Resources
Asset Management and Infrastructure Support
678-376-7139

Department of Water Resources



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Please let me know if you have any questions.

Sincerely,

George Kaffezakis
Director, Asset Management and Infrastructure Systems

C: Charli Young, Planning Manager, Gwinnett County Planning & Development
Rudresh Bihalli, Planning Manager, Gwinnett County Water Resources

APPENDIX I

**AUTHOR CREDENTIALS, DOCUMENTATION OF
QUALIFICATION AS AN “ENVIRONMENTAL
PROFESSIONAL”**

RESUME

ROBERT BRAWNER, CHMM

President

BACKGROUND

Prior to founding One Consulting Group, Inc., Robert Brawner worked extensively in the construction and environmental arena on a wide array of projects. Leveraging his broad knowledge base, ranging from asbestos to hazardous waste management to Underground Storage Tanks, Mr. Brawner is able to holistically manage the myriad of environmental concerns that confront clients on a daily basis. He has supervised over 3,000 Phase I Environmental Site Assessments, has resolved to closure over 400 subsurface investigations involving numerous contaminants of concern and has personally inspected over ten million square feet of commercial property for Indoor Air Quality concerns.

PREVIOUS WORK EXPERIENCE

***PRINCIPAL / PARTNER, EPIC CONSULTING, INC.
MARIETTA, GEORGIA 2003-2006***

Mr. Brawner headed the environmental division and was directly responsible for the development of new employees and financial systems for the division. He was a senior member of management group responsible for growing the firm from fifteen to fifty-five employees while developing geotechnical and commercial lending services divisions. Representative projects included, but were not limited to:

- *Murphy Avenue, Atlanta, Georgia:* Designed and supervised the remedial action for hazardous material site contaminated with cadmium and industrial solvents.
- *Dynamic Metals Loft, Atlanta, Georgia:* Member of principal team that successfully remediated and obtained a certificate of limited liability for the first state Brownfield site.
- *STAR Committee, Georgia:* Acted as liaison to the Georgia Environmental Protection Division as aid in preparing current asbestos and lead-based paint guidelines utilized by the state of Georgia.

CLIENT MANAGER, EPIC CONSULTING, INC, 2000-2002

During his tenure as client manager, Mr. Brawner supervised environmental consulting and general contracting services as well as developed new business opportunities for the firm. He was directly responsible, with the primary owner, for growing the firm from seven to fifteen employees.

PROJECT MANAGER, EPIC CONSULTING, INC., 1997-1999

While a project manager with the firm, Mr. Brawner performed subsurface investigations and remedial activities on UST sites and performed consultant/contracting services for various UST clients.

***FOREMAN, B & A ENVIRONMENTAL SERVICES, INC.,
CONYERS, GEORGIA 1997***

Mr. Brawner supervised an environmental contracting crew of five members performing heavy equipment operation, industrial and mechanical contracting, remediation system installation and hazardous material disposal activities.

PROFESSIONAL CERTIFICATIONS

Certified Hazardous Materials Manager #13495
International Fire Code Institute – UST Install, Soil Matrix Cleanup
DOT 49 CFR Hazardous Waste Handling Cert #77970
OSHA 40-Hour HAZWOPER
Asbestos Inspector #2879 / Abatement Designer #6015
Mold Remediation and Inspection Cert #1684

EDUCATION

Bachelor of Science, Biology, University of Georgia
Bachelor of Arts, Anthropology, University of Georgia

RESUME

ROBERT A. WHITE, MS, CPG, PG
Professional Geologist

BACKGROUND

Mr. White has performed hundreds of Phase I Environmental Site Assessments and Engineering Property Condition Assessments throughout the U.S. for commercial lenders. He has worked in the environmental arena since 1993 when he entered the field as a technician.

Since that time, he has performed and overseen Phase II soil and groundwater assessments under Georgia Hazardous Site Response Act (HSRA) guidelines; Underground Storage Tank investigations under Georgia Underground Storage Tank (GUST) laws; building inspections and property assessments falling under the Comprehensive Environmental Response Compensation and Liability Act (CERCLA) and Resource Conservation and Recovery Act (RCRA) guidelines; Level III Soil Surveys for septic tank placement mandated by the Georgia Department of Human Resources; and asbestos and lead-based paint inspections of occupied buildings and demolition projects in accordance with the Asbestos Hazard Emergency Response Act (AHERA), Occupational Safety and Health Administration (OSHA), and Lead-Based Paint Poisoning Prevention Act (LBPPA) guidelines.

Mr. White continues to use his education, experience, and common sense to provide efficient and cost-effective results that bring Client projects to completion.

PREVIOUS WORK EXPERIENCE

SENIOR PROJECT MANAGER, EPIC CONSULTING, INC.
MARIETTA, GEORGIA 2000-2004

Mr. White was initially responsible for managing all aspects of environmental projects including fieldwork, project management, training employees, and developing new business. During his four years at Epic, Mr. White went on to carry out, manage, review, and consult on all phases of environmental and engineering projects. As Senior Geologist, he reviewed all types of correspondence for submission to clients and regulators, during development and in final form.

REGIONAL MANAGER, AQUATERRA ASSESSMENT SERVICES, 1999-2000

Acting as the Southeast Regional Manager for the Due Diligence firm headquartered in Texas, with a central office in New York's Financial District, Mr. White was hired to perform Phase I Environmental Site Assessments, Engineering Property Condition Assessments, and ADA Compliance Surveys for national commercial lenders. Additionally, Mr. White was responsible for proposal writing, client management, and marketing potential clients formerly served by RERC Environmental, Inc., after closure of their Atlanta office.

PROJECT MANAGER, RERC ENVIRONMENTAL, INC., 1998-1999

Because of his remediation consulting experience, Mr. White was hired to conduct Due Diligence Environmental and Engineering Assessments on commercial properties for national lenders prior to refinance or acquisition. His responsibilities also included Phase II Limited Subsurface Investigations on properties identified with Recognized Environmental Conditions.

PROJECT MANAGER, ENVIRONMENTAL CORPORATION OF AMERICA, 1996-1998

After initially being hired as field technician to perform environmental sampling, construction materials testing, and routine fieldwork, Mr. White was soon given UST and dry-cleaner remediation projects to manage and oversee as well. Recognized for his mechanical aptitude, he was asked to design, install, trouble-shoot, upgrade, and maintain remediation systems. In addition, he successfully developed a daughter company to market and operate a Thermal Oxidizer treating offgas from high-vacuum recovery remediation on sites with subsurface hydrocarbon releases.

PROFESSIONAL CERTIFICATIONS

Registered Professional Geologist: ALABAMA #1078, FLORIDA #PG2242, GEORGIA #PG001601, NORTH CAROLINA #1934, TENNESSEE # TN4832
EPA-certified, Asbestos (AHERA) Inspector
OSHA 40-hour HAZWOPER certification (1997) with annual 8-hour refresher training

EDUCATION

Bachelor of Science, Criminal Justice, Guilford College
Master of Science, Geology, Georgia State University

APPENDIX J
OWNER ENVIRONMENTAL QUESTIONNAIRE

**OWNER ENVIRONMENTAL QUESTIONNAIRE
& DISCLOSURE STATEMENT**

The questionnaire **MUST** be completed and signed by the current property owner, notarized in the spaces indicated and submitted with the application. The Owner must supply and attach evidence of ownership of the property, i.e. a deed. In preparing this document, the property owner must make a good faith effort to correctly answer all questions in this checklist. *Care should be taken to check the answers against whatever records are in the owner's possession.* If any of the following questions are answered in the affirmative, or if answers are unknown and/or qualified, the Environmental Professional must determine whether further inquiry is warranted. A gap in the Owner's knowledge about any item on the questionnaire below does not relieve the Environmental Professional from the requirement that the item be fully addressed in the Phase I Report. The property owner must fully document the reason for any affirmative answer, and provide the Environmental Professional with all appropriate supporting information.

Purchaser: Hearthside Sugarloaf, L.P.
(Phone) unknown
Owner/seller: HJE Simpson, LP
(Phone) 404-420-4332
Subject property: Approx. 6.721 acres - See attached

BOUNDARY SURVEY LEGAL DESCRIPTION

All that tract or parcel of land lying and being in Land Lot 74 of the 7th Land District of Gwinnett County, Georgia and being more particularly described as follows:

To find the True Point of Beginning, begin at the intersection of the Southerly right-of-way of West Field Drive (50 foot right-of-way) and the Easterly right-of-way of Atkinson Road (right-of-way varies); THENCE following along the easterly right-of-way of Atkinson Road for a distance of 920.77 feet to a ½ inch rebar found, said point Being The True Point of Beginning; THENCE leaving said right-of-way North 56 degrees 36 minutes 16 seconds East for a distance of 471.96 feet to a ½ inch rebar found; THENCE North 74 degrees 03 minutes 16 seconds East for a distance of 241.16 feet to a point on the westerly right-of-way of Sugarloaf Parkway (right-of-way varies); THENCE along said right-of-way along a curve to the left having a radius of 11404.16 feet an arc length of 13.19 feet being subtended by a chord bearing of South 25 degrees 10 minutes 17 seconds East for a chord distance of 13.19 feet to a point; THENCE South 25 degrees 08 minutes 26 seconds East for a distance of 283.21 feet to a point; THENCE leaving said right-of-way South 59 degrees 30 minutes 08 seconds West for a distance of 772.76 feet to a ¼ inch rebar found on the easterly right-of-way of Atkinson Road; THENCE along said right-of-way North 36 degrees 13 minutes 49 seconds West for a distance of 368.05 feet to a ½ inch rebar found, said point being the True Point of Beginning.

Said property contains 6.721 acres.

QUESTIONNAIRE - PART A:

1. Is the property, or any adjacent property, currently used for commercial, industrial or manufacturing purposes including, but not limited to dry cleaners and gas stations? Adjacent properties include those that border the site and properties across the street from the site.

Yes No Unknown

Provide the name and describe the type of business operating at the property:

None - RAW LAND

Provide the name and type of business operating adjacently **north** of the subject property:

Residential

Provide the name and type of business operating adjacently **south** of the subject property:

Residential

Provide the name and type of business operating adjacently **east** of the subject property:

Raw land

Provide the name and type of business operating adjacently **west** of the subject property:

Residential

2. Has the property or any adjacent property been used in the past for commercial, industrial or manufacturing purposes including, but not limited to, dry cleaners and gasoline stations?

Yes No Unknown (If yes, please describe including its specific use)

Owner:

Date(s):

Current Use of property:

RAW LAND

Previous use of property to the **north**:

unknown

Previous use of the property to the **south**:

unknown

Previous use of the property to the **east**:

unknown

Previous use of the property to the **west**:

unknown

3. Are there any pesticides, automotive or industrial batteries, paints or other chemicals stored on the property or at the facility?

Yes No Unknown (If yes, please describe)

4. Are there currently any plastic or metal industrial drums (ranging from 5 to 55-gallons) located on the property or at the facility or were there in the past?

Yes No Unknown (If yes, please describe)

5. How and where were items identified in Questions #3 & #4 disposed (if any of the specifics are unknown, provide names and present employers of people who may be able to provide additional information)?

6. Has fill dirt ever been brought onto the site?

Yes No Unknown (If yes, please describe)

7. Have any substances identified as hazardous, unidentified waste materials, tires, automotive or industrial batteries or any other waste materials, including construction debris, been dumped above grade, buried and/or burned on the site?

Yes No Unknown (If yes, please describe including where and what disposal took place)

Sulfur disposed of in accordance with County demands.

8. Is there any obvious stained soil, or other evidence of past waste disposal on the property?

Yes No Unknown (If yes, please describe including location on the property)

9. (a) Are there any above or underground storage tanks currently located on the property?

Yes No Unknown (If yes, please describe including location on the property. If no, skip to question #10)

- (b) Are the existing storage tanks empty, out of service, or closed?

Yes No Unknown (If yes, please describe including the date and name of the contractor used, and provide a copy of any report generated)

- (c) Have any tanks been removed? (If 'yes' provide information on when, give the name of the contractor used, and provide a copy of any report generated).

Yes No Unknown (If yes, please describe including date removed and name of contractor used, and provide a copy of any report generated)

10. Are there any prospective buyer(s) in the past that may have conducted an environmental assessment of the subject property.

Yes No Unknown (If yes, please provide names, addresses, and telephone numbers. Also, provide the name, address and telephone number of **your** Lender on this property. *Attach any past environmental reports you have, or provide information on how to obtain a copy of the report(s) if you do not have them.*

11. Does the property discharge waste water (other than storm water) directly to a ditch or stream on or adjacent to the property?

Yes No Unknown (If yes, please describe)

12. Is the property located near or in an area where conventional fuels (e.g. petroleum products), hazardous gases, (e.g. propane), and/or chemicals (e.g. benzene or hexane) of a flammable nature are stored?

Yes No Unknown (If yes, please describe)

13. Has there been any health complaints related to the indoor or outdoor air at? on the grounds of the property or any building located on the property?

Yes No Unknown (If yes, please describe)

14. Does the owner of the property or operator of the facility? have any knowledge of environmental liens or governmental notification (including information requests) relating to violations or potential violations of environmental laws with respect to the property or any facility located on the property?

Yes No Unknown (If yes, please describe)

15. Has the owner of the property or operator of the facility been informed of the presence of hazardous substances or environmental violations with respect to the property or any facility located on the property?
 Yes No Unknown (If yes, please describe)
16. Are you aware of any environmental assessment of the property that indicated the presence of hazardous substances or petroleum products on, in, at, or under the property site?
 Yes No Unknown (If yes, please describe)
17. Are you aware of any environmental assessment of the subject property that has recommended further assessment or testing of the property?
 Yes No Unknown (If yes, please describe)
18. Are there any past, current, or pending lawsuits or administrative proceedings for alleged damages related to environmental issues or problems involving the property or any owner or tenant of the property?
 Yes No Unknown (If yes, please describe)
19. Have pesticides, herbicides, or other agricultural chemicals ever been stored on, mixed on, or applied to the property?
 Yes No Unknown (If yes, please describe)

QUESTIONNAIRE - PART B:

1. Are there any structures on the property site more than fifty (50) years old, or (is the property) located in a designated historic district?
 __Yes No __Unknown (If yes, please describe & submit photographs of all interior rooms and exterior facades, and include a copy of the proposed rehabilitation work scope and a location map.)

2. Is the property site located in a 100-year floodplain?
 Copy the portion of floodplain map indicating the site location. Attach a copy of the Flood Plain Map and include panel number on the copy.
 __Yes No __Unknown (If yes, please describe below.)

3. Does the site have the potential to affect or be affected by?	Yes	No
a. Coastal Areas Protection and Management	___	<input checked="" type="checkbox"/>
b. Runway Clear Zones & Accident Potential Zones	___	<input checked="" type="checkbox"/>
c. Endangered Species	___	<input checked="" type="checkbox"/>
d. Farmland Protection	___	<input checked="" type="checkbox"/>
e. Compatibility with Local Codes, Plans and Zoning	___	<input checked="" type="checkbox"/>
f. Wetlands Designated Land	___	<input checked="" type="checkbox"/>
g. Thermal & Explosive Hazards	___	<input checked="" type="checkbox"/>
h. Toxic Chemicals & Radioactive Materials	___	<input checked="" type="checkbox"/>
i. Solid Waste Management	___	<input checked="" type="checkbox"/>
j. Local Zoning Plans Compatibility	___	<input checked="" type="checkbox"/>

(If yes to any, please describe.)

4. Is the site within 1,000 feet of a major road/highway/freeway (i.e. a roadway which experiences an average daily traffic count of 10,000 or greater)?

Yes No Unknown

If yes, the following must be completed:

- What is the name of the major road/highway/freeway? Sugarloaf Pkwy
- List the distance of any stop sign (not a traffic signal) that is less than 600 feet from the site unknown
- What is the average speed of travel on this major road/highway/freeway? unknown
- List the average number of automobiles for both directions during a 24-hour day unknown
- List the average number of trucks for both directions during a 24-hour day unknown

Generally, much of this information can be obtained through the City/County Highway or Transportation Department

5. Is the site within 3,000 feet of a railroad?

Yes No Unknown

If yes, the following must be completed:

- What is the name of the railway operating on this line? _____
- List the average number of trains for both directions during a 24-hour day _____
- List the average number of diesel locomotives per train _____
- List the average number of railway cars per train _____
- List the average train speed _____
- Is the track welded or bolted? _____
- Is the site near a grade crossing that requires prolonged use of the train's horn? Yes No (If no, skip to question # 6)
- How far from the grade crossing are the whistle posts located? _____

Generally, much of this information can be obtained by contacting the Supervisor of Customer Relations and/or the Engineering Department for the railway

6. Is the site within 15 miles of a military airport?

Yes No Unknown (If yes, please attach a copy of the airport's current noise contour information.) *This information is available for most military airports and can be generally obtained by contacting the Military Agency in Charge of Airport Operations.* If noise contours are not available, please obtain the following:

- List the average number of nighttime jet operations (10 p.m.-7 a.m.)

- List the average number of daytime jet operations (7 a.m. – 10 p.m.)

- List the flight paths of the major runways

7. Is the site within 5 miles of a private/commercial airport or airfield?

Yes No Unknown (If yes, please attach a copy of the airport's current noise contour information. This information is available for most private/commercial airports and can be obtained by contacting the FAA Control Tower or Airport Operations. If noise contours are not available, please obtain the following information)

- List the average number of nighttime jet operations (10 p.m. - 7 a.m.)

- List the average number of daytime jet operations (7 a.m. – 10 p.m.)

- List the flight paths of the major runways

QUESTIONNAIRE - PART C:

Valuation Reduction: Relationship of the purchase price to the fair market value of the property, if it were not contaminated:

1. Have you identified the type of property transaction (for example-- sale, purchase, ground lease, etc.) to the Environmental Professional?

Yes No (If yes, please describe)

Sale

2. Does the purchase price being paid for this property reasonably reflect the fair market value of the property?

Yes No (If no, have you considered whether the lower purchase prices is because contamination is known or believed to be present at the property?)

CERTIFICATION

This questionnaire above was completed by:

Owner/Developer Name: HJE Simpson, LP

Relationship to Site: owner

Address: C/O Rachel Kanarek, Parker Hudson Corner & Dobbs

1500 Maguire Two Tower, 285 Peachtree Center Ave NW

E-mail Address: Atlanta, GA 30303

Phone Number: RAKOPH2D.com

Date of Completion: May 14, 2012

I certify to the best of my knowledge and belief that the above statements and facts submitted are true, accurate and complete.

Signed, sealed and delivered this 14th day

of May, 2012, in the

Presence of:

[Signature]
Witness

HJE Simpson, LP

By:

[Signature]

Property Owner

[Signature]

Notary Public

Harold Simpson

Name

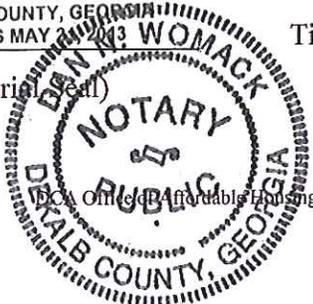
My commission Expires on:

NOTARY PUBLIC, DEKALB COUNTY, GEORGIA
MY COMMISSION EXPIRES MAY 2013

Manager

Title

(Notarial Seal)



BK 39905 PG 0239

FILED & RECORDED
CLERK SUPERIOR COURT
GWINNETT COUNTY, GA.
2004 SEP 20 AM 8:00
TOM LAWLER, CLERK

Return to: David L. Watson., Esq.
Gambrell & Stolz, LLP
Suite 1600
3414 Peachtree Road, NE
Atlanta, Georgia 30326-1164

GWINNETT CO. GEORGIA
REAL ESTATE TRANSFER TAX
\$ None
TOM LAWLER CLERK OF
SUPERIOR COURT

STATE OF GEORGIA
COUNTY OF FULTON

CROSS REFERENCE:
DB 578, Page 280

WARRANTY DEED

THIS INDENTURE, made this 13th day of September in the Year of Our Lord Two Thousand Four (2004) between HAROLD W. SIMPSON and RAE M. SIMPSON, AS TENANTS IN COMMON, residents of Fulton County, State of Georgia, as Parties of the First Part (hereinafter called "Grantors"), and HJE SIMPSON, LP, a Georgia limited partnership, as Party of the Second Part (hereinafter called "Grantee") (the words "Grantors" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH: That the said Grantors, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars in hand paid, at and before the sealing and delivery of these presents, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents do hereby grant, bargain, sell and convey unto the said Grantee the following described property, to-wit:

See Exhibit "A" attached hereto and made a part hereof by this reference.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever, in FEE SIMPLE.

AND THE SAID Grantors will warrant and forever defend the right and title to the above described property, unto the said Grantee against the claims of ALL PERSONS WHOMSOEVER.

The conveyance effected hereby and warranty of title set forth herein are expressly made subject to all zoning ordinances, easements and restrictions of record affecting said described property.

166690

EXHIBIT "A"

All that tract or parcel of land lying and being in Land Lot 74 of the 7th Land District, Gwinnett County, Georgia, containing 8.65 acres as shown on plat of survey for J. E. Shafer by Hannon & Meeks, Surveyors, dated March 29, 1969, recorded in Plat Book Y, Page 30, Gwinnett County Records, and more particularly described as follows:

To locate the point of beginning, begin at a point in the center of Atkinson Road located 3063.4 feet southeast as measured along the center line of said road from the center line of Georgia Highway 120; run thence North 55 degrees 58 minutes East 40 feet to an iron pin on the northeast right-of-way line of Atkinson Road, WHICH IS THE PLACE OR POINT OF BEGINNING; run thence North 55 degrees 58 minutes East 472 feet to an iron pin; run thence North 73 degrees 25 minutes East 723.3 feet to a point in the center of a branch; run thence along the center line of said branch South 28 degrees 55 minutes East 100.7 feet and South 13 degrees 45 minutes East 109.4 feet to a point; run thence South 58 degrees 41 minutes West 1099.9 feet to an iron pin on the northeast right-of-way line of Atkinson Road; run thence North 36 degrees 41 minutes West along said right-of-way line 367.6 feet to an iron pin at the place or point of beginning.

APPENDIX K
PROPERTY LOG AND INFORMATION CHECKLIST

PROPERTY LOG AND INFORMATION CHECKLIST

This form **MUST** be completed by the Qualified Environmental Professional who performed the Phase I and/or Phase II. All entries must be fully documented and explained in the environmental reports. This form, together with all supporting documentation relating to the Phase I, must be submitted to DCA before any application can be accepted for processing.

PROPERTY LOG

Property Address:

1625 Atkinson Road, Lawrenceville, Gwinnett County, Georgia 30043

Developer's Name and Address:

**Dave Dixon
Hearthside Sugarloaf, LP
2000 RiverEdge Parkway, Suite 950, Atlanta, Georgia 30328**

Developer's e-mail Address:

Dave@norsouth.com

Developer's Telephone Number:

770.850.8280

Qualified Environmental Professional's Name:

Robert Brawner

Qualified Environmental Professional's Telephone Number and e-mail address:

**(404) 815-8005 x 105
Robert@onecginc.com**

Environmental Consulting Firm's Name and Address:

One Consulting Group, Inc., Post Office Box 54382, Atlanta, Georgia 30308

Date Phase I Environmental Site Assessment Completed:

June 14, 2012

Summary of Phase I Results:

Environmental Site Assessment does not document recognized environmental conditions on or near the Site, and recommends no further investigation.

INFORMATION CHECKLIST

Check [] any information sources used to perform the Phase I Review.

1. Overall Property Description

- N/A Building Specifications
- X Zoning or Land Use Maps
- X Aerial Photos (e.g., Sanborn)
- N/A List of Commercial Tenants On-Site
- X Title History
- X Site Survey
- X Verification of Public Water and Sewer
- X Interviews with Local Fire, Health, Land Use or Environmental Officials
- N/A Interviews with Builder, and/or Property Manager
- X Review of records of local, state and federal regulatory agencies
- X Review of adjacent properties
- Other (Specify)

2. Asbestos

- Dated Building Construction Or Rehabilitation Specifications
- Engineer's/Consultant's Asbestos Report
- Other (Specify)

The Site is vacant land, with no above ground structures. This section is not applicable.

3. Polychlorinated Biphenyls

- X Utility Transformer Records
- X Site Survey of Transformers
- Site Soil and Groundwater PCB Test Results
- X Other (Specify)

Telephonic conversation with electric utility

4. Radon
- Water Utility Records
 - Gas Utility Records
 - On-Site Radon Test Results
 - Other (Specify)

The Radon Map of Georgia was reviewed online at www.epa.gov/radon to determine the radon risk associated with the subject property.

5. Underground Storage Tanks
- Oil, Motor Fuel and Waste Oil Systems Reports, EPD, LUST & ERNS Records
 - CERCLIS/RCRIS Results of Neighborhood search (within radius of one mile)
 - Site Soil and Groundwater Tests
 - Site Tank Survey
 - Other (Specify)

6. Waste Sites
- CERCLIS/RCRIS Results of neighborhoods search (within radius of one mile)
 - State EPD site lists for neighborhoods (within radius of one mile)
 - Federal Facilities Docket
 - Site Soil and Groundwater Test Results
 - Other (Specify)

7. Lead Based Paint
- Lead Paint Survey
 - Certification/Compliance Records
 - Site Soil Test Results
 - Other (Specify)

There have been no structures on the Site. This section is not applicable.

8. Additional Hazards

- Urea Formaldehyde Foam Insulation Survey
- Interior Air Test Results
- Lead in Drinking Water Test Results
- Mold Inspection Results
- Other (Specify)

A copy of the annual water quality report was reviewed online and is provided in Appendix O of the Environmental Site Assessment Report.



Checklist completed by:

Name (Type or Print): **Robert Brawner, One Consulting Group, Inc.**

Date: **June 14, 2012**

APPENDIX L
PROOF OF INSURANCE

APPENDIX M
LETTERS OF REFERENCE

**ENVIRONMENTAL CONSULTANT
LETTER OF REFERENCE**

April 9, 2009

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that our Company, Cocke, Finkelstein Inc. and affiliated companies have used the services of One Consulting Group, Inc. to perform Environmental Site Assessments, Soil and Groundwater Testing, and Building Material Surveys. One Consulting Group has been an invaluable consultant and advisor to our firm for many years. It has been a reasonable and rational advisor warning us of potential environmental situations while educating us that most environmental problems are more of a situation to resolve rather than a cause for alarm. We do not look at a real estate investment without consulting One Consulting Group.

Feel free to call or email me with any questions you may have regarding One Consulting Group. You may reach me at byron@cockefinkelstein.com or at 404 512 9305.

Sincerely,

Cocke, Finkelstein Inc.
Company Name

W. Byron Cocke, Principal
Name and Title

April 9, 2009
Date


Signature


COCKE FINKELSTEIN INC.

Office 404 880 4141
Fax 404 880 4144
331 Elizabeth St. Suite C
Atlanta, GA 30307

**ENVIRONMENTAL CONSULTANT
LETTER OF REFERENCE**

April 9, 2009

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that our Company, Carvalho & Associates, P.C., has used the services of One Consulting Group, Inc. to perform Environmental Site Assessments, Soil and Groundwater Testing, and Building Material Surveys.

One Consulting Group, Inc. has consistently completed the requested work in a timely and cost effective manner, and provided comprehensive technical support. The reports we received were prepared in accordance with the applicable standards of care, and in a highly professional manner.

I would recommend One Consulting Group, Inc. to clients and colleagues without reservation. If you require additional information or further assistance, please do not hesitate to contact the undersigned at (678) 354-0066.

Very respectfully,

CARVALHO & ASSOCIATES, P.C.



Michael P. Carvalho, Esq.
Managing Partner



Branch Banking & Trust Co.

Commercial Real Estate Lending
525 E. Crossville Road
Roswell, GA 30075

**ENVIRONMENTAL CONSULTANT
LETTER OF REFERENCE**

May 8, 2009

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that our Company, Branch Banking & Trust Company, has used the services of One Consulting Group, Inc. to perform Environmental Site Assessments, Soil and Groundwater Testing, and Building Material Surveys.

The quality of their work, efficient service and compliance with environmental standards has been satisfactory to Branch Banking & Trust Company.

Please call me at (678) 277-4106 if I can be of any further assistance.

Sincerely,

BRANCH BANKING & TRUST CO.

A handwritten signature in black ink, appearing to read "Neal L. Pickens", with a long horizontal flourish extending to the right.

Neal L. Pickens
Vice President
Commercial Real Estate Lending



**ENVIRONMENTAL CONSULTANT
LETTER OF REFERENCE**

April 13, 2009

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that our Company, Stout Walling Atwood, LLC has used the services of One Consulting Group, Inc. to perform Environmental Site Assessments, Soil and Groundwater Testing, and Building Material Surveys.

I have worked with Robert Brawner, the principal of the One Consulting Group, Inc. for a number of years. Robert is one of the few environmental consultants that not only identifies the problem but can suggest ways of resolving the problem.

I recommend One Consulting Group, Inc. without reservation.

Stout Walling Atwood, LLC

By: 
Carter L. Stout, Member

**ENVIRONMENTAL CONSULTANT
LETTER OF REFERENCE**

April 9, 2009

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that our Company, Darby Bank & Trust has used the services of One Consulting Group, Inc. to perform Environmental Site Assessments, Soil and Groundwater Testing, and Building Material Surveys.

I have used One Consulting Group on a number of projects. They are very precise, informative and easy to work with. They are my one go to source.

Sincerely

Company Name

Darby Bank & Trust Co

Name and Title

Carter Mobley Vice-President Commercial Lender

Date

04/09/09

Signature

A handwritten signature in cursive script, appearing to read "Carter Mobley", with a long horizontal flourish extending to the right.

APPENDIX N
ENVIRONMENTAL CERTIFICATION

ENVIRONMENTAL CERTIFICATION

Project Name: **Hearthside at Sugarloaf, One Group Project #A2029**

Project Location: **1625 Atkinson Road, Lawrenceville, Gwinnett County, Georgia 30043**

The undersigned being first duly sworn on oath do certify to the Georgia Department of Community Affairs (DCA)/Georgia Housing and Finance Authority (GHFA) that the statements contained in this certification are true and correct. The undersigned also acknowledge that deviations from the requirements contained in the certification and checklist could result in scoring deductions (Page, Section and/or Appendix numbers must be included for each item).

- | | |
|---|--------------------------------|
| 1. The Phase I Report for the above referenced project has been prepared according to the applicable DCA required format. | cover, section 2.1-
page 3 |
| <hr/> | |
| 2. The Phase I Report and/or update was performed under the supervision of an "Environmental Professional" as defined in 40 C.F.R. § 312.10(b) (hereinafter referred to as an Environmental Professional). Résumés describing the qualifications of all personnel involved with the Phase I environmental site assessment must be included. | cover, Appendix I |
| <hr/> | |
| 3. The Environmental Professional is not affiliated with the Owner/developer or a buyer or seller of the project. | Section 2.7, Page 5 |
| <hr/> | |
| 4. The Phase I Report and/or update was prepared less than 180 days prior to Application submission and within 30 days of the site reconnaissance. In addition, the date of the Report appears of the cover page of the Report. | cover, section 5.1-
page 13 |
| <hr/> | |
| 5. The Georgia Housing and Finance Authority and DCA have the right to rely upon the Phase I and/or Phase II Report prepared for the property in the same way as the Owner, client and any other authorized users of the Report(s). | section 2.6-page 5 |
| <hr/> | |
| 6. The Phase I Report was prepared in accordance with the applicable ASTM and DCA standards. | cover, section 2.1-
page 3 |
| <hr/> | |
| 7. The Environmental Professional employed by the consulting firm has supervised the performance of the Phase I, reviewed, signed and stamped both the Phase I and Phase II Reports (if applicable) and any amendments, addenda and updates thereto. | cover, Appendix I |
| <hr/> | |

8. The Environmental Professional has included a comprehensive historical review of the subject property back to 1940 or the property's first developed use, whichever is earlier.

section 2.2-page 3,
section 5.5- pages 17-
18

9. The Phase I includes the professional opinion of the Environmental Professional as to any potential environmental risks and as to any recognized environmental conditions identified during the comprehensive historical review.

section 1.2-page 2,
section 7.0-page 21,
section 8.0-page 22

10. The Environmental Professional has:

* Commercial General Liability insurance, total combined single limits of \$1,000,000.00 per occurrence and \$2,000,000.00 in the aggregate; *and*

Appendix L

* Professional Errors and Omissions Insurance with limits of \$2,000,000.00 each claim and \$2,000,000.00 in the aggregate with coverage extended to include third party liability for death, bodily injury, diminution of value of property and property damage.

Appendix L

* Pollution Liability Insurance with limits of \$2,000,000.00 each claim and \$2,000,000.00 in the aggregate.

Appendix L

11. The Georgia Housing and Finance Authority and DCA have been named as 1) additional insureds and 2) certificate holders on the Accord 25 form (the required insurance certificate) for the commercial liability insurance policy.

Appendix L

12. A 30 day cancellation period is included on the insurance certificate.

Appendix L

13. The Owner Environmental Questionnaire & Disclosure Statement has been completed by the current Owner of the property and included in the Phase I Report.

Appendix J

14. The completed Phase I Documentation: DCA Property Log and Information Checklist has been completed by the Environmental Professional and included in the Phase I Report.

Appendix K

15. If required, the HOME and HUD Environmental Questionnaire is completed and included in the Phase I (includes projects applying for HOME funds and projects with other HUD funding sources listed, including PBRA).

Appendix R

16. If, in accordance with Section II.B.5.b. of the DCA standards, a noise assessment is required, the Report includes a noise assessment which was completed in accordance with the HUD Noise Assessment Guidelines (“NAG”) and 24 C.F.R § 51.100 *et seq.* (applies to all projects, whether or not HUD funds are include in the financial structure).

Section 5.4.22-page
16, Appendix F

17. In cases of elevated noise levels, the Report includes a noise attenuation plan completed in accordance with the HUD Noise Assessment Guidelines (“NAG”) and 24 C.F.R § 51.100 *et seq.* (applies to all projects, whether or not HUD funds are include in the financial structure).

Section 5.4.22-page
16, Appendix F

18. The Environmental Consultant Signature page has been signed by the Environmental Professional, the Principal of the Consultant, and the Professional Engineer or Professional Geologist and has been stamped by the Professional Engineer or Professional Geologist. The Environmental Consultant Signature page is included in the Phase I and/or Phase II Report.

cover, Appendix I



Applicant Signature *MANAGER, NS PARTNERS, LLC
AS: GENERAL PARTNER*

14-Jun-12

Date



14-Jun-12

Environmental Professional Signature & Stamp

Date

APPENDIX O

**CONSUMER CONFIDENCE REPORT ON WATER
QUALITY**

A Water Quality Report Presented to the Citizens of Gwinnett County

Este informe contiene información muy importante. Tradúscala o hable con alguien que lo pueda entender.

gwinnett gwinnettcounty waterwords

April 2012



Lake Lanier provides excellent water

Gwinnett County receives its surface water supply from Lake Sidney Lanier located just north of Buford. Our water intakes, located in coves three miles from Buford Dam, provide a uniform raw water supply that is low in suspended materials, bacteria, dissolved organics, and metals.

Lake Lanier, formed by Buford Dam holding the Chattahoochee and Chestatee Rivers, is a major recreation area in north Georgia. In fact, it is one of the most-visited U.S. Army Corps of Engineers projects in the country and offers opportunities for boating, fishing, and other water pastimes. People throughout the region enjoy Lanier and its plentiful recreation opportunities. Lake Lanier is key in providing water to Georgia, since more than 60 percent of Georgia's population receives drinking water from the Chattahoochee system. The Lake Lanier watershed comprises more than 1,000 square miles in 10 Georgia counties.

The watershed contains heavily forested areas and smaller cities. Additionally, agriculture is the primary activity in the watershed.



Gwinnett focuses on water conservation

Gwinnett County's Water Conservation Plan includes programs and initiatives designed to educate our customers and the community about water efficient behaviors and to safeguard our future water supply. Our efforts include public outreach activities, rebates, and incentives for replacing older fixtures and efficient water management practices throughout the County. In 2011, average single-family household water use in Gwinnett County dropped to 176 gallons per day, down from 179 gallons in 2010. DWR plans to continue working with our customers to reduce this number even further in 2012.

Public outreach

The Department of Water Resources (DWR) developed **Homeowner H2O** to educate Gwinnett County residents about water conservation. The presentations focus on leak detection and repair, installing water-efficient fixtures, and increasing water-saving behaviors inside and outside the home. Department representatives are available to speak to homeowners associations, civic clubs, and other community groups. *Homeowner H2O* conservation workshops are also offered to the public several times a year to help all our customers learn how to reduce their water bills.

In May 2011, DWR launched a school outreach program called **Water on Wheels** to target primary education. These classroom-based programs are available to travel to schools throughout Gwinnett County. Students participate in engaging hands-on lessons that teach the importance of water conservation and foster attitudes that inspire lifelong water efficient behaviors. All *Water on Wheels* lessons support Academic Knowledge and Skills standards for science. Programs are also available to Gwinnett County scouts, summer camps, libraries, and recreation centers. To date, more than 3,600 students have received hands-on water conservation education through the *Water on Wheels* program.

To schedule an educational program for your group, contact Heather Moody at dwrconserve@gwinnettcounty.com or 678.376.6722. All public outreach programs are offered **free of charge** to Gwinnett County residents, schools, and businesses.

...continued page 3

2011 Detected Contaminants

PRIMARY INORGANIC SUBSTANCES							
Substance	Units	MCL	MCLG	Highest Level Detected	# of sample sites found above the Action Level	Violation (yes/no)	Source of Substance
Copper	ppm	AL=1.3	1.3	0.164	0	No	Corrosion of household plumbing systems, erosion of natural deposits; leaching from wood preservatives
Lead	ppb	AL=15	0	2.0	0	No	Corrosion of household plumbing systems, erosion of natural deposits

UNREGULATED VOLATILE ORGANIC SUBSTANCES							
Substance	Units	MCL	MCLG	Water System Results	Violation (yes/no)	Source of Substance	
Bromodichloromethane	ppb	None Established	None Established	2.5	No	By-product of drinking water chlorination	
Chloroform	ppb	None Established	None Established	5.5	No	By-product of drinking water chlorination	

PRIMARY INORGANIC SUBSTANCES							
Substance	Units	MCL	MCLG	Water System Results	Violation (yes/no)	Range of Detections	Source of Substance
Fluoride	ppm	4.0	4.0	0.78	No	0.70 – 0.80	Erosion of natural deposits; water additive that promotes strong teeth; discharge from fertilizer and aluminum factories
Nitrate/Nitrite	ppm	10.0	10.0	0.51	No	<0.2 – 0.51	Runoff from fertilizer use; leaching from septic tanks, sewage; erosion of natural deposits

DISINFECTION BY-PRODUCTS							
Substance	Units	MCL	MCLG	Average	Violation (yes/no)	Range of Detections	Source of Substance
Total Trihalomethanes	ppb	80	0	22.3	No	9.2 – 25.5	By-product of drinking water chlorination
Total Haloacetic Acids	ppb	60	0	18.3	No	11.0 – 13.3	By-product of drinking water chlorination
Bromate	ppm	0.01	0	<0.005	No	<0.005 – 0.0051	By-product of drinking water chlorination

TURBIDITY							
Substance	Units	MCL	MCLG	Highest Level Detected	Lowest % of Samples Meeting Limits	Violation (yes/no)	Source of Substance
Turbidity	NTU	TT	N/A	0.290	100	No	Soil Runoff

MICROBIOLOGICAL				
Substance	MCL	MCLG	Highest Monthly % of Positive Samples	Major Sources in Drinking Water
Total Coliform bacteria	No more than 5% of monthly samples can test positive for Coliforms	0.0	0.8	Naturally present in the environment

Water conservation ...continued from page 1

Rebates and incentives

Gwinnett County will continue participation in the Metro Water District's **Toilet Rebate Program** for single-family homes in 2012. The program provides rebates to qualified homeowners for replacing old, inefficient toilets. In March 2012, DWR rebated our 10,000th toilet through this program! Details about the single family toilet rebate program are available by calling 404.463.8645 or at www.northgeorgiawater.org/html/392.htm.

As of January 2012, Water Resources extended its successful high-efficiency toilet rebate program to multifamily residences. Apartment, condominium, and townhome communities that are Gwinnett County water customers may now qualify for a \$100 rebate for every old toilet replaced with a WaterSense certified toilet using 1.28 gallons per flush or less. For details about the new multifamily toilet rebate program, e-mail dwrconserve@gwinnettcountry.com or call 678.376.6722.

Toilet Recycling is now available at the Water Resources Central Facility. Residents in Gwinnett County who replace their old toilets through the Metro Water District's toilet rebate program can drop them off to be recycled for free. The porcelain is recycled by breaking it up, mixing it into stone aggregate, and using the mixed material as road base and for pipe beds. Since the program began in February 2011, the County has collected an average of four tons of porcelain every month. As of March 2012, the program has kept more than 100,000 pounds of waste out of the landfills! In addition, building owners are required to recycle their old toilets in order to qualify for the new Multifamily Toilet Rebate Program.

Is your house as water-efficient as it can be? **Do it Yourself Household Water Audit** brochures are available to assist water customers in reducing their water bills. This simple step-by-step guide will help residents understand how much water they use, identify leaks, and use less water around the home.

Free low-flow home retrofit kits and toilet leak detection kits are also available at the billing counter at DWR's Central Facility on Winder Highway.

Efficient water management

Through best management practices such as an aggressive leak-detection program, a pricing structure that encourages water conservation, and a range of progressive County ordinances, the Department of Water Resources strives to maximize water efficiency and serve as a water conservation leader in the region. Gwinnett has also made a concerted effort to reduce water usage in County-owned facilities. All departments have taken positive steps to conserve water, such as discontinuing irrigation and car washing and installing water-efficient fixtures.

Since the program began in 2003, Gwinnett County has been a pioneer of reclaimed water use for the state of Georgia. At the state-of-the-art **F. Wayne Hill Water Resources Center**, wastewater undergoes a stringent treatment process that cleans it to an almost pristine state before discharge to the Chattahoochee River or Lake Lanier. Reclaimed water also is available to commercial customers for landscape irrigation and other nonpotable uses. In 2011, 180 million gallons of reclaimed water was distributed to customers and over nine billions gallons of highly quality effluent was returned to Lake Lanier.

To learn more about water conservation in Gwinnett County, please visit www.gwinnetth2o.com or send an e-mail to dwrconserve@gwinnettcountry.com.

Public Input Opportunities

The Gwinnett County Water and Sewerage Authority, which owns the Water Resources water and wastewater system, acts as an advisory agency to the Gwinnett County Board of Commissioners. The Authority meets monthly at the DWR Central Facility. For a schedule of meetings, visit the County's website at www.gwinnettcountry.com.

Action Level (AL)

The concentration of a contaminant, which, if exceeded, triggers a treatment or other requirement that a water system must follow.

Nephelometric Turbidity Unit (NTU)

A measure of suspended material in water. Turbidity is measured by shining a beam of light through water and measuring the angle at which the light is scattered by the suspended material. An instrument called a *Turbidimeter* is used for this purpose.

Treatment Technique (TT)

A required process intended to reduce the level of a contaminant in drinking water.



Glossary

PPM and PPB

Simply put, "ppm" means "parts per million" and "ppb" means "parts per billion." PPM corresponds to one penny in \$10,000 or one minute in two years. PPB corresponds to one penny in \$10,000,000 or one minute in 2,000 years.

Maximum Contaminant Level Goal (MCLG)

The level of a known contaminant in drinking water below which there is no known or expected risk to health. MCLGs allow for a margin of safety.

Maximum Contaminant Level (MCL)

The highest level of a contaminant that is allowed in drinking water. MCLs are set as close to the MCLGs as feasible using the best available treatment technology.

Notes About Contaminants

The sources of drinking water (both tap water and bottled water) include rivers, lakes, streams, ponds, reservoirs, springs, and wells. As water travels over the surface of land or through the ground, it dissolves naturally occurring minerals and, in some cases, can pick up substances resulting from the presence of animal or human activity. Contaminants that may be present in source water include:

- **Microbial contaminants**, such as viruses and bacteria, which may come from septic systems, agriculture, livestock operations, wildlife, and sewage treatment plants
- **Pesticides and herbicides** that may come from a variety of sources such as agriculture, urban stormwater runoff, and residential uses
- **Organic chemical contaminants**, including synthetic and volatile organic chemicals, that are by-products of industrial processes and petroleum production, and can also come from gas stations, urban stormwater runoff, and septic systems
- **Inorganic contaminants**, such as salts and metals, which can be naturally occurring or result from urban storm runoff, industrial or domestic wastewater discharges, oil or gas production, mining, or farming
- **Radioactive contaminants**, like radon, can be naturally occurring or be the result of oil and gas production and mining activities

In order to ensure that tap water is safe to drink, the EPA prescribes regulations that limit the amount of certain contaminants in water provided by public water systems. FDA regulations establish limits for contaminants in bottled water, which provide the same protection for public health.

A note about lead

If present, elevated levels of lead can cause serious health problems, especially for pregnant women and young children. Lead in drinking water is primarily from materials and components associated with service lines and home plumbing. The Gwinnett Department of Water Resources is responsible for providing high quality drinking water, but it cannot control the variety of materials used in plumbing components. When your water has been sitting for several hours, you can minimize the potential for lead exposure by flushing your tap for 30 seconds to two minutes before using water for drinking or cooking. If you are concerned about lead in your water, you may wish to have your water tested. Information on lead in drinking water, testing methods, and steps you can take to minimize exposure is available from the **Safe Drinking Water Hotline**, 800.426.4791, or at www.epa.gov/safewater/lead.

Looking for the Gwinnett County Connection?

The *Gwinnett County Connection* will be in your water bills in May. You can still receive a copy of the April Connection and other weekly e-mail newsletters through our e-mail distribution. Sign up to receive the newsletters at www.gwinnettcountry.com.

Contaminants and health risks

Drinking water, including bottled water, may reasonably be expected to contain at least small amounts of some contaminants. The presence of contaminants does not necessarily indicate that water poses a health risk.

More information about contaminants and potential health effects can be obtained by calling the EPA's **Safe Drinking Water Hotline**, 800.426.4791.

Important health information

Some people may be more vulnerable to contaminants in drinking water than the general population.

Immunocompromised persons such as persons with cancer undergoing chemotherapy, persons who have undergone organ transplants, people with HIV/AIDS or other immune system disorders, and some elderly and infants can be particularly at risk from infections. These people should seek advice about drinking water from their healthcare providers.

EPA/CDC guidelines on appropriate means to lessen the risk of infection by *Cryptosporidium* and other microbial contaminants are available from the **Safe Drinking Water Hotline**, 800.426.4791.

For more information

For additional information or questions about this report, contact the Gwinnett County Department of Water Resources Environmental Laboratory at 770.614.2080. Director of Water Production Alan Berg may be reached at 770.904.3200.

Tours of the water plants are available for school groups and individuals by calling 770.904.3200.



What is Cryptosporidium?

Cryptosporidium (Crypto) is a one-celled parasitic protozoan often found in water sources that receive runoff from animal waste. Crypto can infect humans and have severe impacts on certain people, including organ transplant recipients, immunocompromised persons, young children, and persons undergoing cancer treatment. Water Resources has a monthly sampling and analysis program for Crypto and *Giardia*, another protozoan often found in water. Samples of both lake water and finished drinking water are analyzed each month. Crypto and *Giardia* both form cysts when the environment is unfavorable for their survival. During 2011, all *Giardia* and Crypto sample results were <0.980 cysts/100 liters and <0.980 oocysts/100 liters, respectively. This test program is ongoing.

APPENDIX P
ENDANGERED SPECIES DOCUMENTATION

6 April 2012

SITE REVIEW AND TECHNICAL ASSISTANCE REQUEST

United States Fish and Wildlife Services
Georgia Ecological Services Field Office
105 Westpark Drive, Suite D, Athens, Georgia 30606

RECEIVED

APR 12 2012

ATHENS, GA
USFWS

**Subject: Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

**Query: Fisheries and Wildlife Management Areas
Rare Species and Species of Concern
Threatened and Endangered Species**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities. We have reviewed available information on the Georgia Nongame Conservation Section Website as well as performed an initial Site review for endangered species and their critical habitats. At this time, we have not discovered endangered species or critical habitat concerns associated with the Site.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



**Robert Brawner
Project Manager**

Attachments



U. S. Fish and Wildlife Service
105 West Park Drive, Suite D,
Athens, GA 30605
706-613-9493 Fax 706-613-6059

FWS Log No.

NG-12-155-GWIN

The service has reviewed the plans for this proposed project. Based on the information you provided, no further action is required under Section 7(a)(2) of the Endangered Species Act. However, if new information or changes in the project involve federally listed species, further consultation with the Service will be required.


Sandra S. Tucker, Field Supervisor

5/10/12
Date

NG-12-155-GWIN



MARK WILLIAMS
COMMISSIONER

DAN FORSTER
DIRECTOR

May 21, 2012

Robert Brawner
Project Manager
One Consulting Group
P.O. Box 54382
Atlanta, GA 30308

Subject: Known occurrences of natural communities, plants and animals of highest priority conservation status on or near Proposed Braselton Court, Barrow County, Georgia

Dear Mr. Brawner:

This is in response to your request of April 6, 2012. According to our records, within a three-mile radius of the project site there are the following Natural Heritage Database occurrences:

- US *Amphianthus pusillus* (Pool Sprite) approx. 3.0 mi. N of site
- GA *Cyprinella xaenura* (Altamaha Shiner) approx. 1.0 mi. NW of site in Mulberry Creek & Tributaries
- GA *Cyprinella xaenura* (Altamaha Shiner) approx. 2.5 mi. SE of site in Mulberry Creek & Tributaries
- Hemidactylum scutatatum* (Four-toed Salamander) approx. 2.5 mi. N of site
- US *Isoetes melanospora* (Black-spored Quillwort) approx. 3.0 mi. N of site
- US *Isoetes tegetiformans* (Mat-forming Quillwort) approx. 3.0 mi. N of site

* Entries above preceded by "US" indicates species with federal status (Protected, Candidate or Partial Status). Species that are federally protected in Georgia are also state protected; "GA" indicates Georgia protected species.

Recommendations:

We have no records of high priority species or habitats within the project area. Because this site has already been disturbed, it is not likely to provide habitat for rare species or communities. We are concerned about aquatic habitats that could be impacted by any future construction activities. In order to protect aquatic habitats and water quality, we recommend that all machinery be kept out of creeks during construction. We urge you to use stringent erosion control practices during construction activities. Further, we strongly advocate leaving vegetation intact within 100 feet of creeks, which will reduce inputs of sediments, assist with maintaining riverbank integrity, and provide shade and habitat for aquatic species. We realize that some trees may have to be removed, but recommend that shrubs and ground vegetation be left in place.

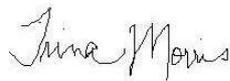
Please keep in mind that we have records of three federally listed species, *Amphianthus pusillus* (Pool Sprite), *Isoetes melanospora* (Black-spored Quillwort) and *Isoetes tegetiformans* (Mat-forming Quillwort) within three miles of the proposed project. These species depend on rock outcrop habitats and should not be negatively impacted if no outcrops occur within the project area. The Endangered Species Act states that taking or harming of a listed species is prohibited. We recommend all requestors with projects located near federally protected species consult with the United States Fish and Wildlife Service. For southeast Georgia, please contact Strant Colwell (912-265-9336, ext.30 or Strant_Colwell@fws.gov). In southwest Georgia, please contact John Doresky (706-544-6999 or John_Doresky@fws.gov). In north Georgia, please contact Robin Goodloe (706-613-9493, ext.221 or Robin_Goodloe@fws.gov).

Disclaimer:

Please keep in mind the limitations of our database. The data collected by the Nongame Conservation Section comes from a variety of sources, including museum and herbarium records, literature, and reports from individuals and organizations, as well as field surveys by our staff biologists. In most cases the information is not the result of a recent on-site survey by our staff. Many areas of Georgia have never been surveyed thoroughly. Therefore, the Nongame Conservation Section can only occasionally provide definitive information on the presence or absence of rare species on a given site. Our files are updated constantly as new information is received. **Thus, information provided by our program represents the existing data in our files at the time of the request and should not be considered a final statement on the species or area under consideration.**

If you know of populations of highest priority species that are not in our database, please fill out the appropriate data collection form and send it to our office. Forms can be obtained through our web site (<http://www.georgiawildlife.com/node/1376>) or by contacting our office. If I can be of further assistance, please let me know.

Sincerely,



Katrina Morris
Environmental Review Coordinator

Data Available on the Nongame Conservation Section Website

- Georgia protected plant and animal profiles are available on our website. These accounts cover basics like descriptions and life history, as well as threats, management recommendations and conservation status. Visit <http://www.georgiawildlife.com/node/2721>.

- Rare species and natural community information can be viewed by Quarter Quad, County and HUC8 Watershed. To access this information, please visit our GA Rare Species and Natural Community Information page at: <http://www.georgiawildlife.com/conservation/species-of-concern?cat=conservation>.
- Downloadable files of rare species and natural community data by quarter quad and county are also available. They can be downloaded from: <http://www.georgiawildlife.com/node/1370>.

APPENDIX Q
SHPO REVIEW DOCUMENTATION



HISTORIC PRESERVATION DIVISION

MARK WILLIAMS
COMMISSIONER

DR. DAVID CRASS
DIVISION DIRECTOR

MEMORANDUM

TO: Robert Brawner
Project Manager
One Consulting Group, Inc.
Post Office Box 54382
Atlanta, Georgia 30308

FROM: *ecb*
Elizabeth Shirk
Environmental Review Coordinator
Historic Preservation Division

RE: Finding of "No Historic Properties Affected"

PROJECT: **Construct Hearthside @ Sugarloaf, 1625 Atkinson Rd,
Lawrenceville
Federal Agency: HUD
HP-120514-001**

COUNTY: Gwinnett

DATE: June 7, 2012

The Historic Preservation Division (HPD) has reviewed the information received concerning the above-referenced project. Our comments are offered to assist federal agencies and their project applicants in complying with the provisions of Section 106 of the National Historic Preservation Act, as amended.

Based on the information submitted, HPD has determined that no historic properties or archaeological resources that are listed in or eligible for listing in the National Register of Historic Places will be affected by this undertaking. Please note that historic and/or archaeological resources may be located within the project's area of potential effect (APE), however, at this time it has been determined that they will not be impacted by the above-referenced project. Furthermore, any changes to this project as proposed will require further review by our office for compliance with Section 106.

If we may be of further assistance, please do not hesitate to contact Erin Parr, Environmental Review Specialist, at (404) 651-6546. Please refer to the project number assigned above in any future correspondence regarding this project.

ES:kac

cc: Allison Duncan, Atlanta Regional Commission
Cassandra Knight, Georgia Department of Community Affairs

**ENVIRONMENTAL CONSULTANT
PROFESSIONAL OPIONION REGARDING HISTORIC
PRESERVATION**

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

It is my professional opinion that the proposed project will not have an effect upon properties included in or eligible for inclusion in the National Register of Historic Places (hereinafter "National Register") pursuant to Section 800.13 of the historic preservation regulations, 36 CFR Part 800. 36 CFR Part 800 also implements Section 106 of the National Historic Preservation Act, 16 U.S.C. 470f (hereinafter Section 106").



June 12, 2012

Date

Environmental Professional

Georgia Historic Preservation Division

Environmental Review Form

At a minimum, the Historic Preservation Division (HPD), Georgia State Historic Preservation Office (SHPO), may require the following information in order to review projects in accordance with applicable federal or state laws (Section 106 of the National Historic Preservation Act or the Georgia Environmental Policy Act, etc). Please note that responsibility for preparing documentation, including the identification of historic resources and the assessment of potential effects resulting from an undertaking, rests with the federal or state agency or its designated applicant. If insufficient information is provided, we may request additional materials. The role of the SHPO is to review, comment, and consult with federal/state agencies, applicants, and consultants. *Please note that the US Corps of Engineers (USACE) does not delegate compliance to applicants and all information prepared for permits through this agency should be coordinated directly with USACE. Also, if you are submitting a cell tower project do not use this form. Please submit all cellular projects on either the Form 620 or 621.*

I. General Information

A. **Project Name:** Hearthside at Sugarloaf
Project Address: 1625 Atkinson Road
City: Lawrenceville
County: Gwinnett
State, Zip Code: Georgia, 30043
U. S. Congressional District - see http://www.census.gov/qeo/www/cd108th/GA/plc_c8_13.pdf : **7, 10, 13**

B. **Federal Agency:** United States Department of Housing and Urban Development,
Home Investment Partnership Program

State Agency: Georgia Department of Community Affairs

C. Agency's Involvement:

Funding Unknown
 License/Permit Other, please explain:
 Direct/Is performing the action _____

D. Project Type:

Road/Highway Construction or **New Construction**
 Improvements Relicensing
 Demolition Utilities/Infrastructure
 Rehabilitation Unknown
 Addition to Existing Building/Structure Other: _____

E. Level of Review:

Section 106 of the National Historic Preservation Act (Federal)
 Section 110 of the National Historic Preservation Act
 Georgia Environmental Policy Act (State)
 State Agency Historic Property Stewardship Program (State Stewardship)
 Technical Assistance
 Unknown

F. **Project Description and Plans** (Please include details as to what will be constructed, what will be altered and how and what will be demolished, as applicable. Attach additional pages if necessary):

Currently, the proposed Site is vacant, undeveloped woodland. The proposed improvements will include grading and construction of a multi-story apartment complex.

G. Contact Information:

Applicant Consultant

Robert Brawner, Project Manager
One Consulting Group, Inc.
Post Office Box 54382, Atlanta, Georgia 30308
Telephone: (404) 815-8005
Facsimile: (404) 815-8002
Electronic Mail: robert@onecginc.com

Agency Contact Info (either State or Federal, according to review type): **State**

Cassandra Knight
Georgia Department of Community Affairs
60 Executive Park South NE
Atlanta, Georgia 30329
Telephone: (404) 679-4940
Facsimile: (404) 679-0667
Electronic Mail: cknight@dca.state.ga.us

H. Attach a **map** indicating the precise location of the project, preferably a clear color copy of a USGS topographic quadrangle map (7.5 minute). For projects in urban areas, please also include a city map that shows more detail. For additional help and information you may want to refer to the following websites: <http://terraservert.microsoft.com/>, <http://topomaps.usgs.gov>¹.

I. Has this identical project or a related project been previously submitted for review? **NO**

II. Information Defining the Area of Potential Effect (APE)

A. The APE varies with project types, and can be direct or indirect (**physical or visual**). The APE is defined as “the geographic area or areas within which an undertaking may cause changes in the character or use of historic properties, if any such properties exist.” Factors considered when determining the APE include topography, vegetation, existing development, orientation of an existing resource to the project, physical sitting of a resource, and existing and planned future development. For example:

1. Rehabilitation, renovation, and/or demolition of an historic building or structure, or new construction: the APE might include the building itself and the adjacent setting.
2. Streetscapes: the APE might include the views from the street.
3. Pedestrian/bicycle facilities: the APE might extend the length of the corridor and for some distance on both sides of the corridor.
4. Underground utilities: the APE would usually be limited to the area of ground disturbance.

Based on this information, **describe the Area of Potential Effect** for your project: **It will be the proposed footprint and top of roof elevation for the proposed development.**

B. **Attach a map or site plan and project plans (as applicable)**, which indicate the boundaries of the APE and provide information about project scope of work (this may be the same map used above to show project location), please see the examples on our website.

C. **Provide high-resolution color photographs**, which illustrate the project area and the entire APE as defined above. Photography should document not only the project area, but also any adjacent properties that are within the APE. If the APE includes buildings or structures, please include clear views of each. All photography should be keyed to a site map and project plans (as applicable), please see our examples. Photographs should be individually numbered, and corresponding numbers should be placed on the map or site plan, showing location and direction of view. Should your project entail the alteration of existing historic structures, please provide photographs of existing conditions of sites, buildings and interior areas to be impacted.

¹ Please note, this is not a complete list of websites with topographic map information. These websites are not controlled by HPD and HPD bears no responsibility for their content.

III. Site Information

A. To your knowledge, has a cultural resources assessment or a historic resources survey been conducted in the project area? **NO**

B. Attach any available information concerning known or suspected archaeological resources in the area of potential effect. (Note: Research at the Georgia Archaeological Site File in Athens may be undertaken only by a qualified archaeologist or site file staff. For questions, please call 706-542-8737.) **Please note that as part of the review process, HPD may request an archaeological survey.**

C. In the past has this property been used for:

- 1. Farming **Potentially**
- 2. Pasture **Potentially**
- 3. Mining **NO**
- 4. Timbering **NO**
- 5. Road construction **NO**
- 6. Housing **NO**
- 7. Landfill **NO**
- 8. Commercial **NO**
- 9. Industrial **NO**
- 10. Other (explain): **Not applicable**

D. Describe what is on the property today (i.e. buildings, parking lot, house, barn, outbuildings, woods, grass, garden, etc.): **Vacant, forested land.**

E. Does the project include any land disturbing activities? (haul roads, cut or fill areas, excavations, landscaping activities, ditching, utility burial, grading, water tower construction etc.) **YES** If yes, please describe the nature of the work and the approximate three dimensional extent of work: **Construction of a 110 unit apartment complex with multiple multi-story buildings with a slab on-grade foundation and foundation walls. Site improvements will include surface parking, site retaining walls, underground utilities, site lighting and storm water detention. Trees, landscaping, and ground cover will be planted also.**

F. If not provided in response to previous sections, please include a project specific map and/or preliminary site plan that fully describe the project boundaries and areas of land disturbing work. Note in detail all changes and additions proposed to be made to the existing site.

See attached.

IV. Building and Structure Information

A. Is the project located within or adjacent to a National Register of Historic Places (NRHP) listed or eligible historic district? **The Site has not been identified as a Historic Site, and is not within a one mile radius of any potential historic districts or Sites.**

B. Within the project APE, are there any other buildings or structures that are 50 years old or older? **Yes, there is a single-family residence to the north of the proposed Site. However, no historical significance has been discovered associated with this structure. As per the query, only its age causes it to be noteworthy.**

C. Are any of the buildings or structures identified above listed or eligible for listing in the NRHP? **No.**

D. Does the project involve the rehabilitation, renovation, relocation, demolition or addition to any building or structure that is 50 years old or older? **No.**

(Note: Background research for previously identified properties within an APE may be undertaken at HPD, including the National Register of Historic Places files, county architectural surveys, and identified sites files. To make a research appointment, please call 404-651-5911. Some information may also be available on the web.)

V. Additional Information for Effects Determination

An effect occurs when an action alters the characteristics of a property that may qualify it for the National Register or alters the features of a property's location, setting or use that contribute to its significance. How is the project going to affect any of the properties identified in the previous section?

A. Will the project take away or change anything within the apparent or existing boundary of any of these historic properties? **No.**

B. Will the project change the view from or the view of any of these properties? **No.**

C. Will the project introduce any audible or atmospheric elements to the setting of any of these historic properties? **The proposed Site entry will be constructed adjacent to the single-family residential parcel. The proposed development is not expected to significantly change the atmosphere and/or create a significant audible impact.**

D. Will the project result in the transfer, lease or sale of any of these historic properties? **No.**

Please note: *HPD's ability to complete a timely project review largely depends on the quality of the material submitted. For complex projects, some applicants may find it advantageous to hire a historic preservation professional with expertise in history, architectural history and/or archaeology.*

We are unable to accept project submittals via facsimile or e-mail. *There is a 30-day review and comment period. For questions regarding this form or the review process, please contact HPD's Environmental Review Specialist at 404-651-6546.*

When completed, please send this form along with the supporting material to:

**Dr. David Crass, Acting Division Director,
Historic Preservation Division
Attention: Environmental Review
254 Washington Street, SW
Ground Level
Atlanta, Georgia 30334**

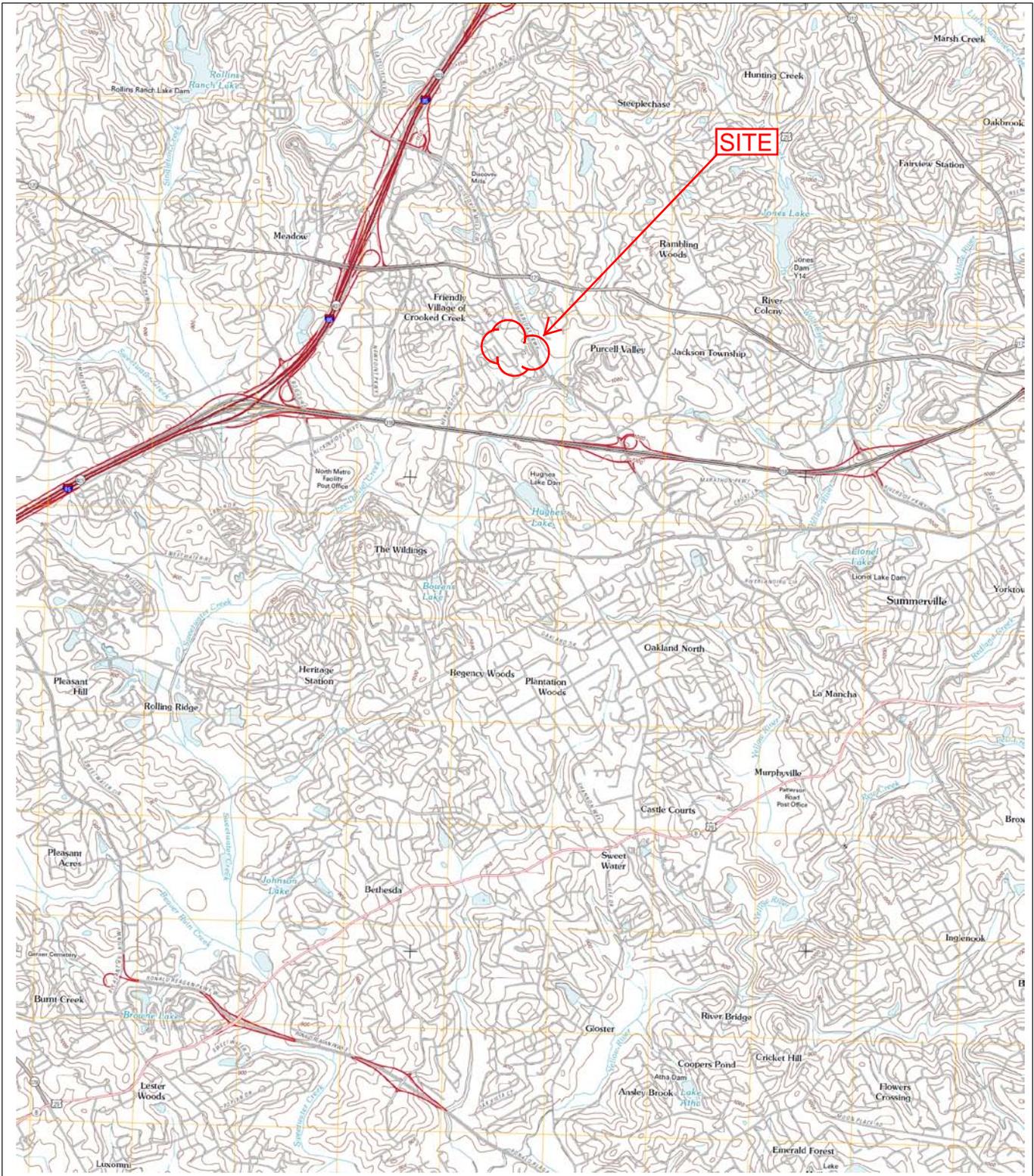
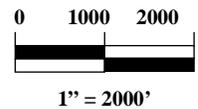


Figure 1 – Topographic Map

Map Date: 2011

**Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia**



One Group Project#A2029

Source: USGS Luxomni GA Quad, 7.5-Minute, Topo

APPARENT RW VARIES SUGARLOAF PARKWAY

DB: 18338/P.G. 100

LEGEND

1/4" = 1' (1/4" = 1')	1/4" = 1' (1/4" = 1')
1/8" = 1' (1/8" = 1')	1/8" = 1' (1/8" = 1')
1/16" = 1' (1/16" = 1')	1/16" = 1' (1/16" = 1')
1/32" = 1' (1/32" = 1')	1/32" = 1' (1/32" = 1')
1/64" = 1' (1/64" = 1')	1/64" = 1' (1/64" = 1')
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1/512" = 1' (1/512" = 1')	1/512" = 1' (1/512" = 1')
1/1024" = 1' (1/1024" = 1')	1/1024" = 1' (1/1024" = 1')
1/2048" = 1' (1/2048" = 1')	1/2048" = 1' (1/2048" = 1')
1/4096" = 1' (1/4096" = 1')	1/4096" = 1' (1/4096" = 1')
1/8192" = 1' (1/8192" = 1')	1/8192" = 1' (1/8192" = 1')
1/16384" = 1' (1/16384" = 1')	1/16384" = 1' (1/16384" = 1')
1/32768" = 1' (1/32768" = 1')	1/32768" = 1' (1/32768" = 1')
1/65536" = 1' (1/65536" = 1')	1/65536" = 1' (1/65536" = 1')
1/131072" = 1' (1/131072" = 1')	1/131072" = 1' (1/131072" = 1')
1/262144" = 1' (1/262144" = 1')	1/262144" = 1' (1/262144" = 1')
1/524288" = 1' (1/524288" = 1')	1/524288" = 1' (1/524288" = 1')
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PROJECT SUMMARY
 PROJECT AREA = 6.73 ACRES
 INDEPENDENT SENIOR LIVING APARTMENTS
 110 AGE RESTRICTED APARTMENTS
 3/4 STORY SPLIT BUILDING
 VISITOR PARKING AREA
 12 VEHICULAR SPACES
 RESIDENT PARKING AREA
 110 SECURED PARKING APACES

SITE DISCRPTION
 EXISTING ZONING - R100 SINGLE FAMILY
 PROPOSED ZONING - O1 OFFICE/ INSTITUTIONAL
 3/4 SPLIT BUILDING - 144,000 SF.
 O-1 PARKING REQUIREMENTS - 1/500 SF
 144,000 / 500 = 288 PARKING SPACES
 PROPOSED PARKING - 122 SPACES
 REQUIRED BUFFER ALONG R100 SIDE YARD - 50' UNDISTURBED BUFFER
 PROPOSED BUFFER ALONG R100 SIDE YARD - 50' REVEGETATED BUFFER
 REQUIRED BUFFER ALONG RMS SIDE YARD - 50' UNDISTURBED BUFFER
 PROPOSED BUFFER ALONG RMS SIDE YARD - 40' REVEGETATED BUFFER
 MAXIMUM BUILDING HT - 35' TO AVERAGE ROOF HEIGHT.
 PROPOSED BUILDING HT - 40' TO AVERAGE ROOF HEIGHT - SEE CHART.

MEDIAN ROOF HT. CALCULATION
 1708 LF OF TOTAL BUILDING PERIMETER
 1033 LF. ROOF HEIGHT AT 38' HT. (60%)
 410 LF. ROOF HEIGHT AT 48' HT. (24%)
 265 LF. ROOF HEIGHT AT 28' HT. (16%)
 66,764 FF / 1708 LF = 39.1 MEDIAN AVERAGE ROOF HT.



1625 Atkinson Rd NW, Lawrenceville, GA 30043

HEARTHSIDE SUGARLOAF

3-2-2012
 SCALE: 1" = 40'-0"
CONCEPTUAL SITE PLAN

1625 ATKINSON ROAD, GWINNETT COUNTY
 NORSOUTH DEVELOPMENT CO. OF GEORGIA

FOLEY DESIGN ASSOCIATES ARCHITECTS INC.
 1513 Cleveland Avenue Building 100 Suite 102 East Point, Georgia 30344 (404) 761-1299



Photo #1 – May 2, 2012

View of Site frontage along Atkinson Road,
power line easement evident

North to south view



Photo #2 – May 2, 2012

View of Site frontage along Atkinson Road

West to east view



Photo #3 – May 2, 2012

View of Site frontage along Atkinson Road

West to east view



Photo #4 – May 2, 2012
Southern property boundary
East to west view



Photo #5 – May 2, 2012
Southern property boundary
West to east view



Photo #6 – May 2, 2012
View of Site frontage along Sugarloaf Parkway
East to west view



Photo #7 – May 2, 2012

View of Site frontage along Sugarloaf Parkway

South to north view



Photo #8 – May 2, 2012

Site view along northern boundary

East to west view



Photo #9 – May 2, 2012

Site interior, vacant woodland

East to west view



Photo #10 – May 2, 2012

Site interior, vacant woodland

West to east view



Photo #11 – May 2, 2012

Site interior, vacant woodland

North to south view



Photo #12 – May 2, 2012

Site interior, vacant woodland

South to north view



Photo #13 – May 2, 2012

Single-family residences to the west across Atkinson Road

East to west view



Photo #14 – May 2, 2012

Single-family townhomes adjacent to the south

North to south view



Photo #15 – May 2, 2012

Sugarload Parkway adjacent to the east

West to east view



Photo #16 – May 2, 2012

Adjacent detention area to the northeast, and petroleum pipeline evident

North to south view



Photo #17 – May 2, 2012

Undeveloped, adjacent woodland along northern property boundary

South to north view



Photo #18 – May 2, 2012

Adjacent single-family residence to the north along Atkinson Road

West to east view



**MUNICIPAL-GWINNETT COUNTY
 PLANNING COMMISSION**

**PUBLIC HEARING MINUTES
 GWINNETT JUSTICE AND ADMINISTRATION CENTER**

TUESDAY, MAY 1, 2012 AT 7:00 P.M.

PLANNING COMMISSION MEMBERS

Present

Lynn Thorndyke, District 1	Yes
John Winters, District 1	Yes
Matt Houser, District 2	Yes
Omar U. Zaman, District 2	Yes
Chuck Warbington, District 3 - Chairman	Yes
Teresa Cantrell, District 3 - Vice-Chairman	Yes
Clint Dixon, District 4	Yes
Tommy Hunter, District 4	Yes
Don Shillington, At Large	Yes
Dennis Billew, City of Lawrenceville	Yes

A. CALL TO ORDER, INVOCATION, PLEDGE TO FLAG

B. APPROVAL OF MINUTES (APRIL 3, 2012 MEETING)

PC Action: Approval

Motion: Thorndyke Second: Winters

Vote: 9-0

C. OLD BUSINESS

I. CASE NUMBER

:RZR2012-00003 (PUBLIC HEARING HELD 4-3-12)

APPLICANT

:ARCHDIOCESE OF THE SYRIAN ORTHODOX
 CHURCH

CONTACT

:STACEY GALOS

PHONE NUMBER

:678.427.7967

ZONING CHANGE

:R-TH TO R-100

LOCATION

:2200 BLOCK OF BUFORD HIGHWAY

MAP NUMBER

:R7205 003B

ACREAGE

:4.4 ACRES

PROPOSED DEVELOPMENT

:CHURCH (REDUCTION IN BUFFERS)

SQUARE FEET

:14,600 SQUARE FEET

COMMISSION DISTRICT

:(1) LASSETER

DEPARTMENT RECOMMENDATION

:APPROVAL WITH CONDITIONS

PC Action: Table to June 5, 2012

Motion: Thorndyke Second: Winters

Vote: 9-0

2. CASE NUMBER :**SUP2012-00023 (PUBLIC HEARING HELD 4-3-12)**
APPLICANT :ARCHDIOCESE OF THE SYRIAN ORTHODOX
CHURCH
CONTACT :STACEY GALOS
PHONE NUMBER :678.427.7967
ZONING :R-100 (PROPOSED)
LOCATION :2200 BLOCK OF BUFORD HIGHWAY
MAP NUMBER :R7205 003B
ACREAGE :4.4 ACRES
PROPOSED DEVELOPMENT :CHURCH
SQUARE FEET :14,600 SQUARE FEET
COMMISSION DISTRICT :(1) LASSETER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
PC Action: Table to June 5, 2012 Motion: Thorndyke Second: Winters
Vote: 9-0
3. CASE NUMBER :**RZC2012-00004**
APPLICANT :JOMCO, INC.
CONTACT :MATT MCCORD
PHONE NUMBER :770.561.0500
ZONING CHANGE :C-1 TO C-2
LOCATION :4500 BLOCK OF MINK LIVSEY ROAD
:3500 BLOCK OF LEE ROAD
MAP NUMBERS :R4321 002, R4321 003 & R4321 004
ACREAGE :1.72 ACRES
PROPOSED DEVELOPMENT :COMMERCIAL/RETAIL USES
SQUARE FEET :9,100 SQUARE FEET
COMMISSION DISTRICT :(3) BEAUDREAU
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
PC Action: Table to June 5, 2012 Motion: Cantrell Second: Warbington
Vote: 9-0
4. CASE NUMBER :**CIC2012-00003**
APPLICANT :JOSEPH BARILLARI
CONTACT :MITCH PEEVY
PHONE NUMBER :770.614.6511
ZONING :M-2
LOCATION :2700 BLOCK OF SIMPSON CIRCLE
MAP NUMBER :R6258 252
ACREAGE :2.30 ACRES
PROPOSAL :CIC TO ALLOW SALVAGE OPERATIONS ON SATURDAY
COMMISSION DISTRICT :(2) HOWARD
DEPARTMENT RECOMMENDATION : **DENIAL**
PC Action: Table to June 5, 2012 Motion: Houser Second: Zaman
Vote: 9-0

5. CASE NUMBER :**SUP2012-00025 (PUBLIC HEARING HELD 4-3-12)**
APPLICANT :BRITT AND CAMP, LLC
CONTACT :LEE TUCKER
PHONE NUMBER :770.232.0000
ZONING :MUR
LOCATION :3100 BLOCK OF STONE MOUNTAIN HIGHWAY
MAP NUMBER :R6051 367
ACREAGE :1.18 ACRES
PROPOSED DEVELOPMENT :EXPRESS CAR WASH
COMMISSION DISTRICT :(3) BEAUDREAU
DEPARTMENT RECOMMENDATION :**DENIAL**
PC Action: Approval with Conditions Motion: Warbington Second: Cantrell
Vote: 8-1 (Shillington opposed)

D. NEW BUSINESS

1. CASE NUMBER :**RZC2012-00005**
APPLICANT :NORSOUTH DEVELOPMENT COMPANY
CONTACT :MITCH PEEVY
PHONE NUMBER :770.614.6511
ZONING CHANGE :R-100 TO O-1
LOCATION :1600 BLOCK OF ATKINSON ROAD
:5600 BLOCK OF SUGARLOAF PARKWAY
MAP NUMBER :R7074 006
ACREAGE :6.73 ACRES
PROPOSED DEVELOPMENT :RETIREMENT COMMUNITY (REDUCTION IN BUFFERS)
UNITS :110 UNITS
SQUARE FEET :144,000 SQUARE FEET
COMMISSION DISTRICT :(1) LASSETER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
PC Action: Approval with Conditions Motion: Winters Second: Thorndyke
Vote: 9-0

2. CASE NUMBER :**SUP2012-00031**
APPLICANT :NORSOUTH DEVELOPMENT COMPANY
CONTACT :MITCH PEEVY
PHONE NUMBER :770.614.6511
ZONING :O-1 (PROPOSED)
LOCATION :1600 BLOCK OF ATKINSON ROAD
:5600 BLOCK OF SUGARLOAF PARKWAY
MAP NUMBER :R7074 006
ACREAGE :6.73 ACRES
PROPOSED DEVELOPMENT :RETIREMENT COMMUNITY
UNITS :110 UNITS
SQUARE FEET / UNITS :144,000 SQUARE FEET
COMMISSION DISTRICT :(1) LASSETER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
PC Action: Approval with Conditions Motion: Winters Second: Thorndyke
Vote: 9-0

3. CASE NUMBER :**SUP2012-00032**
APPLICANT :NORSOUTH DEVELOPMENT COMPANY
CONTACT :MITCH PEEVY
PHONE NUMBER :770.614.6511
ZONING :O-I (PROPOSED)
LOCATION :1600 BLOCK OF ATKINSON ROAD
:5600 BLOCK OF SUGARLOAF PARKWAY
MAP NUMBER :R7074 006
ACREAGE :6.73 ACRES
PROPOSED DEVELOPMENT :BUILDING HEIGHT INCREASE TO 49 FEET
COMMISSION DISTRICT :(1) LASSETER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
PC Action: Approval with Conditions Motion: Winters Second: Thorndyke
Vote: 9-0
4. CASE NUMBER :**RZM2012-00003**
APPLICANT :THE NUROCK COMPANIES
CONTACT :TOM GLADIS
PHONE NUMBER :678.297.3384
ZONING :R-ZT TO RM-13
LOCATIONS :1300 BLOCK OF LAWRENCEVILLE HIGHWAY
:200 BLOCK OF CASSADY LANE
MAP NUMBERS :R5082 016 & R5083 009
ACREAGE :9.52 ACRES
PROPOSED DEVELOPMENT :SENIOR APARTMENTS (REDUCTION IN BUFFERS)
UNITS :96 UNITS
COMMISSION DISTRICT :(4) HEARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS AS O-I**
WITH A SPECIAL USE PERMIT
PC Action: Approval with Conditions as O-I Motion: Hunter Second: Dixon
with a Special Use Permit
Vote: 8-2 – Dennis Billew voted for City of Lawrenceville (Warbington and Billew opposed)
5. CASE NUMBER :**CIC2012-00004**
APPLICANT :MARK BENNETT
PHONE NUMBER :404.925.5872 or 770.995.8697
ZONING :R-ZT
LOCATION :1600 BLOCK OF KINGSLEY COURT
MAP NUMBER :R7072 277
ACREAGE :0.37 ACRE
PROPOSED DEVELOPMENT :CHANGE IN CONDITIONS TO REDUCE REQUIRED
BUFFER
COMMISSION DISTRICT :(1) LASSETER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
PC Action: Denied Motion: Thorndyke Second: Winters
Vote: 7-2 (Hunter and Dixon opposed)

6. CASE NUMBER :**CIC2012-00005**
APPLICANT :PROGRESSIVE RECYCLING, LLC
CONTACT :ERIC JOHANSEN
PHONE NUMBER :678.571.4843
ZONING :M-2
LOCATION :2700 BLOCK OF SIMPSON CIRCLE
:2700 BLOCK OF KEYSTONE COURT
MAP NUMBER :R6258 051
ACREAGE :1.01 ACRES
PROPOSED DEVELOPMENT :CHANGE IN CONDITIONS TO REVISE EIGHT
CONDITIONS OF ZONING
COMMISSION DISTRICT :(2) HOWARD
DEPARTMENT RECOMMENDATION :**DENIAL**
PC Action: Table to June 5, 2012 Motion: Houser Second: Zaman
Vote: 9-0
7. CASE NUMBER :**SUP2012-00016**
APPLICANT :AUTOSURE, LLC
CONTACT :SCOTT PRICE
PHONE NUMBER :678.327.6759
ZONING :C-2
LOCATION :5000 BLOCK OF STONE MOUNTAIN HIGHWAY
:2000 BLOCK OF PUCKETTS DRIVE
MAP NUMBER :R6062 002
ACREAGE :1.33 ACRES
PROPOSED DEVELOPMENT :AUTOMOBILE SALES
SQUARE FEET :3,755 SQUARE FEET
COMMISSION DISTRICT :(3) BEAUDREAU
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONIDITIONS**
PC Action: Approval with Conditions Motion: Cantrell Second: Shillington
Vote: 9-0
8. CASE NUMBER :**SUP2012-00024**
APPLICANT :LUCIO MARES
CONTACT :ASUCENA MARES
PHONE NUMBER :770.882.3761
ZONING :C-2
LOCATION :6000 BLOCK OF SOUTH NORCROSS TUCKER ROAD
MAP NUMBER :R6191 113
ACREAGE :1.84 ACRES
PROPOSED DEVELOPMENT :POOL OR BILLIARDS HALL
SQUARE FEET :1,296 SQUARE FEET
COMMISSION DISTRICT :(2) HOWARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
PC Action: Approval with Conditions Motion: Houser Second: Zaman
Vote: 9-0

9. CASE NUMBER :**SUP2012-00026**
APPLICANT :KURT PLETCHER
PHONE NUMBER :678.314.1157
ZONING :R-75
LOCATION :1000 BLOCK OF CHATHAM ROAD
MAP NUMBER :R7257 020
ACREAGE :1.10 ACRES
PROPOSED DEVELOPMENT :HOME OCCUPATION (HAIR SALON)
COMMISSION DISTRICT :(4) HEARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
PC Action: Approval with Conditions Motion: Dixon Second: Hunter
Vote: 9-0
10. CASE NUMBER :**SUP2012-00027 (WITHDRAWN)**
11. CASE NUMBER :**SUP2012-00028**
APPLICANT :LEVSKI, LLC
CONTACT :LEE TUCKER, ESQ.
PHONE NUMBER :770.232.0000
ZONING :C-2
LOCATION :5000 BLOCK OF JIMMY CARTER BOULEVARD
MAP NUMBERS :R6190 062B & R6190 178
ACREAGE :1.04 ACRES
PROPOSED DEVELOPMENT :PAWN SHOP
SQUARE FEET :3,415 SQUARE FEET
COMMISSION DISTRICT :(2) HOWARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
PC Action: Approval with Conditions Motion: Houser Second: Zaman
Vote: 9-0
12. CASE NUMBER :**SUP2012-00029**
APPLICANT :JOSE ALMENDARES
CONTACT :DANIEL YI
PHONE NUMBER :770.552.2497
ZONING :C-2
LOCATION :2200 BLOCK OF RIVERSIDE PARKWAY
MAP NUMBERS :R7033 270
ACREAGE :0.80 ACRE
PROPOSED DEVELOPMENT :TIRE STORE
SQUARE FEET :1,800 SQUARE FEET
COMMISSION DISTRICT :(1) LASSETER
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
PC Action: Approval with Conditions Motion: Winters Second: Thorndyke
Vote: 9-0

13. CASE NUMBER :**SUP2012-00030**
APPLICANT :TRAC LIMITED PARTNERSHIP
CONTACT :JOHN E. UNDERWOOD, ESQ.
PHONE NUMBER :770.925.0111 EXT. 303
ZONING :C-2
LOCATION :7000 BLOCK OF JIMMY CARTER BOULEVARD
MAP NUMBERS :R6274 075
ACREAGE :1.07 ACRES
PROPOSED DEVELOPMENT :TRUCK RENTAL
SQUARE FEET :4,828 SQUARE FEET
COMMISSION DISTRICT :(2) HOWARD
DEPARTMENT RECOMMENDATION :**DENIAL**
PC Action: Approval with Conditions Motion: Houser Second: Zaman
Vote: 9-0

14. CASE NUMBER :**SUP2012-00033**
APPLICANT :AARON JOHNSON
CONTACT :MITCH PEEVY
PHONE NUMBER :770.614.6511
ZONING :C-2
LOCATION :2400 BLOCK OF LAWRENCEVILLE HIGHWAY
:200-300 BLOCKS OF PADEN DRIVE
MAP NUMBERS :R5018 005
ACREAGE :2.67 ACRES
PROPOSED DEVELOPMENT :TITLE LOAN FACILITY
SQUARE FEET :1,800 SQUARE FEET
COMMISSION DISTRICT :(4) HEARD
DEPARTMENT RECOMMENDATION :**APPROVAL WITH CONDITIONS**
PC Action: Approval with Conditions Motion: Dixon Second: Hunter
Vote: 9-0

E. REVIEW OF ALTERNATE ARCHITECTURE (PEACHTREE CORNERS OVERLAY)

TPA REALTY SERVICES REQUESTS APPROVAL OF ALTERNATE ARCHITECTURAL TREATMENTS FOR THE INSTALLATION OF THREE METAL AWNINGS AT 5923 PEACHTREE INDUSTRIAL BOULEVARD. COMMISSION DISTRICT 2 (HOWARD)

PC Action: Approval Motion: Houser Second: Zaman
Vote: 9-0

F. AUDIENCE COMMENTS

G. COMMITTEE REPORTS

H. COMMENTS BY STAFF AND PLANNING COMMISSION

I. ADJOURNMENT

Board of Commissioners

75 Langley Drive • Lawrenceville, GA 30046-6935
770.822.7000 • www.gwinnettcounty.com

Charlotte J. Nash, Chairman
Shirley Fanning Lasseter, District 1
Lynette Howard, District 2
Mike Beaudreau, District 3
John Heard, District 4



**Public Hearing Minutes
Tuesday, May 22, 2012 - 7:00 PM**

Present: Charlotte J. Nash, Lynette Howard, Mike Beaudreau, John Heard
Absent: Shirley Lasseter

I. Call To Order, Invocation, Pledge to Flag

II. Opening Remarks by Chairman

III. Approval of Agenda

{Action: Approved Motion: Beaudreau Second: Howard Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}

IV. Approval of Minutes:

Work Session: May 15, 2012

Executive Session: May 15, 2012

Briefing 10:30 am: May 15, 2012

Business Session: May 15, 2012

Briefing 2:30 pm: May 15, 2012

{Action: Approved Motion: Heard Second: Beaudreau Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}

V. Announcements

- **Resolution of Recognition:** Commending the 2011 Miss Dacula Representatives
{Action: Approved Motion: Heard Second: Howard Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}
- **Special Presentation:** Commending Mrs. Margaret Tanner's 100th Birthday

VI. Public Hearing – Old Business

I. Planning & Development/Bryan Lackey

2012-0288 CIC2012-00003, Applicant: Joseph Barillari, Owner: Simpson Circle, LLC, Change in Conditions of Zoning on property zoned M-2 to Allow Salvage Operations on Saturday, District 6 Land Lot 258 Parcel 252, 2700 Block of Simpson Circle, 2.30 Acres. District 2/Howard (Tabled on 05/22/2012) (Tabled to 06/26/2012)(Public hearing was not held)[Planning Department Recommendation: Deny][Planning Commission Recommendation: Tabled - Date: 6/5/2012] {Action: Tabled Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}

2012-0287 SUP2012-00025, Applicant: Britt and Camp, LLC, Owner: Britt and Camp, LLC, for a Special Use Permit in an MUR Overlay District for an Express Car Wash, District 6 Land Lot 051 Parcel 367, 3100 Block of Stone Mountain Highway, 2100 Block of Highpoint Road, 1.18 acres. District 3/Beaudreau[Planning Department Recommendation: Deny][Planning Commission Recommendation: Approve with Conditions] {Action: Approved with Change Motion: Beaudreau Second: Heard Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}

2012-0283 RZC2012-00004, Applicant: JOMCO, Inc., Owner: Legacy State Bank, C-1 to C-2, Commercial/Retail Uses, District 4 Land Lot 321 Parcels 002 - 004, 4500 Block of Mink Livsey Road, 3500 Block of Lee Road, 1.69 Acres. District 3/Beaudreau (Tabled on 05/22/2012) (Tabled to 06/26/2012)(Public hearing was not held)[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Tabled - Date: 6/5/2012] {Action: Tabled Motion: Beaudreau Second: Howard Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}

2012-0281 RZR2012-00003, Applicant: Archdiocese of the Syrian Orthodox Church, Owner: Archdiocese of the Syrian Orthodox Church, R-TH to R-100, Church (Reduction in Buffers), District 7 Land Lot 205 Parcel 003B, 2200 Block of Buford Highway, 4.4 Acres. District 1/Lasseter (Tabled on 05/22/2012) (Tabled to 06/26/2012)(Public hearing was not held)[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Tabled - Date: 6/5/2012] {Action: Tabled Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}

Public Hearing Minutes
Tuesday, May 22, 2012 - 7:00 PM
Page 3

VI. Public Hearing – Old Business

I. Planning & Development/Bryan Lackey

2012-0282 SUP2012-00023, Applicant: Archdiocese of the Syrian Orthodox Church, Owner: Archdiocese of the Syrian Orthodox Church, for a Special Use Permit in an R-100 (Proposed) Zoning District for a Church, District 7 Land Lot 205 Parcel 003B, 2200 Block of Buford Highway, 4.4 Acres. District I/Laseter (Tabled on 05/22/2012) (Tabled to 06/26/2012)(Public hearing was not held)[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Tabled - Date: 6/5/2012] {Action: Tabled Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Laseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}

VII. Public Hearing – New Business

I. Transportation/Kim Conroy

2012-0402 Approval of incorporation into the Gwinnett County Speed Hump Program Waterstone, M-0706-06, total costs \$7,630.00. This project is funded by the 2009 SPLOST Program. Subject to approval by the Law Department. District 4/Heard (Staff Recommendation: Approval) {Action: Approved Motion: Heard Second: Beaudreau Vote: (4-0); Nash-Yes; Laseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}

2. Change in Conditions

2012-0363 CIC2012-00004, Applicant: Mark Bennett, Owner: Christopher Wilson, Change In Conditions of Zoning on property Zoned R-ZT to Reduce Required Buffer, District 7 Land Lot 072 Parcel 277, 1600 Block of Kingsley Court, 0.37 Acre. District I/Laseter[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Deny] {Action: Denied without Prejudice Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Laseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}

VII. Public Hearing – New Business

2. Change in Conditions

2012-0371 CIC2012-00005, Applicant: Progressive Recycling, LLC, Owner: Progressive Recycling, LLC, Change In Conditions of Zoning on property Zoned M-2 to Revise or Eliminate Eight Conditions of Zoning, District 6 Land Lot 258 Parcel 051, 2700 Block of Simpson Circle, 2700 Block of Keystone Court, 1.01 Acres. District 2/Howard (**Tabled on 05/22/2012**) (**Tabled to 06/26/2012**)(**Public hearing was not held**)[Planning Department Recommendation: Deny][Planning Commission Recommendation: Tabled - Date: 6/5/2012] {**Action: Tabled Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes**}

3. Special Use Permit

2012-0359 SUP2012-00024, Applicant: Lucio Mares, Owner: Anita K. Glover, for a Special Use Permit in a C-2 Zoning District for a Pool or Billiards Hall, District 6 Land Lot 191 Parcel 113, 6000 Block of South Norcross Tucker Road, 1.84 Acres. District 2/Howard[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Approve with Conditions] {**Action: Approved with Stipulations Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes**}

2012-0360 SUP2012-00016, Applicant: Autosure, LLC, Owner: Kipling Land Corporation, for a Special Use Permit in a C-2 Zoning District for Automobile Sales, District 6 Land Lot 062 Parcel 002, 5000 Block of Stone Mountain Highway, 2000 Block of Pucketts Drive, 1.33 Acres. District 3/Beaudreau[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Approve with Conditions] {**Action: Approved with Stipulations Motion: Beaudreau Second: Howard Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes**}

2012-0361 SUP2012-00026, Applicant: Kurt Pletcher, Owner: Kurt Pletcher, for a Special Use Permit in an R-75 Zoning District for Home Occupation (Hair Salon), District 7 Land Lot 257 Parcel 020, 1000 Block of Chatham Road, 1.10 acres. District 4/Heard[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Approve with Conditions] {**Action: Approved with Stipulations Motion: Heard Second: Beaudreau Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes**}

VII. Public Hearing – New Business

3. Special Use Permit

2012-0362 SUP2012-00028, Applicant: Levski, LLC, Owner: Andrea Roslyn Rowland, for a Special Use Permit in a C-2 Zoning District for a Pawn Shop, District 6 Land Lot 190 Parcels 062B & 178, 5000 Block of Jimmy Carter Boulevard, 1.04 Acres. District 2/Howard[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Approve with Conditions] {Action: **Approved with Change Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes**}

2012-0364 SUP2012-00029, Applicant: Jose Almdares, Owner: Kong Jeun and Young Jeun, for a Special Use Permit in a C-2 Zoning District for a Tire Store, District 7 Land Lot 033 Parcel 270, 2200 Block of Riverside Parkway, 0.80 acre. District 1/Lasseter (**Tabled on 05/22/2012**) (**Tabled to 06/26/2012**)(**Public hearing was not held**)[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Approve with Conditions] {Action: **Tabled Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes**}

2012-0365 SUP2012-00030, Applicant: TRAC Limited Partnership, Owner: CFR Enterprises, LLC, for a Special Use Permit in a C-2 Zoning District for Truck Rental, District 6 Land Lot 274 Parcel 075, 7000 Block of Jimmy Carter Boulevard, 1.07 Acres. District 2/Howard[Planning Department Recommendation: Deny][Planning Commission Recommendation: Approve with Conditions] {Action: **Approved with Stipulations Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes**}

2012-0366 RZC2012-00005, Applicant: Norsouth Development Company, Owner: HJE Simpson, LP, R-100 to O-I, Retirement Community (Reduction in Buffers), District 7 Land Lot 074 Parcel 006, 1600 Block of Atkinson Road, 5600 Block of Sugarloaf Parkway, 6.73 Acres. District 1/Lasseter (**Tabled on 05/22/2012**) (**Tabled to 06/05/2012**)(**Public hearing was held**)[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Approve with Conditions] {Action: **Tabled Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Lasseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes**}

VII. Public Hearing – New Business

3. Special Use Permit

2012-0367 SUP2012-00031, Applicant: Norsouth Development Company, Owner: HJE Simpson, LP, for a Special Use Permit in an O-I (Proposed) Zoning District for a Retirement Community, District 7 Land Lot 074 Parcel 006, 1600 Block of Atkinson Road, 5600 Block of Sugarloaf Parkway, 6.73 Acres. District I/Laseter (**Tabled on 05/22/2012**) (**Tabled to 06/05/2012**)(**Public hearing was held**)[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Approve with Conditions] **{Action: Tabled Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Laseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}**

2012-0368 SUP2012-00032, Applicant: Norsouth Development Company, Owner: HJE Simpson, LP, for a Special Use Permit in an O-I (Proposed) Zoning District for a Building Height Increase to 49 Feet, District 7 Land Lot 074 Parcel 006, 1600 Block of Atkinson Road, 5600 Block of Sugarloaf Parkway, 6.73 Acres. District I/Laseter (**Tabled on 05/22/2012**) (**Tabled to 06/05/2012**)(**Public hearing was held**)[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Approve with Conditions] **{Action: Tabled Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Laseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}**

2012-0369 SUP2012-00033, Applicant: Aaron Johnson, Owner: Corridor Development, Inc., for a Special Use Permit in a C-2 Zoning District for a Title Loan Facility, District 5 Land Lot 018 Parcel 005, 2400 Block of Lawrenceville Highway, 200-300 Blocks of Paden Drive, 2.67 Acres. District 4/Heard[Planning Department Recommendation: Approve with Conditions][Planning Commission Recommendation: Approve with Conditions] **{Action: Approved with Stipulations Motion: Heard Second: Beaudreau Vote: (4-0); Nash-Yes; Laseter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}**

VII. Public Hearing – New Business

4. Rezonings

2012-0370 RZM2012-00003, Applicant: The Nurock Companies, Owner: Charles and Myra Cassady, R-ZT to RM-13, Senior Apartments (Reduction in Buffers), District 6 Land Lot 082 Parcel 016, District 6 Land Lot 083 Parcel 009, 1300 Block of Lawrenceville Highway, 200 Block of Cassady Lane, 9.52 Acres. District 4/Heard[Planning Department Recommendation: Approve with Conditions As O-I with a Special Use Permit For a Retirement Community][Planning Commission Recommendation: Approve with Conditions as O-I with a Special Use Permit] {Action: Approved with Change Motion: Heard Second: Howard Vote: 3-1 Nash-Yes; Lassetter-Absent; Howard-Yes; Beaudreau-No; Heard-Yes}

VIII. New Business

1. County Administration

2012-0471 Approval of the April 30, 2012, financial status report and ratification of all budget amendments. (Staff Recommendation: Approval) {Action: Approved Motion: Beaudreau Second: Howard Vote: (4-0); Nash-Yes; Lassetter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}

2. Transportation/Kim Conroy

2012-0410 Approval of the proposed Projects and Categories for Unincorporated Gwinnett's allocation of the Locally Identified funding portion of the Transportation Investment Act Referendum on July 31, 2012. (Staff Recommendation: Approval) {Action: Approved Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Lassetter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}

IX. Comments from Audience

X. Adjournment

{Action: Adjourn Motion: Howard Second: Beaudreau Vote: (4-0); Nash-Yes; Lassetter-Absent; Howard-Yes; Beaudreau-Yes; Heard-Yes}

APPENDIX R
ADDITIONAL HOME REQUIREMENTS

Environmental Assessment and Compliance Findings for the Related Laws

U.S. Department of Housing and Urban Development

1. Project Number	
HUD Program	
2. Date Received	

RMS: HI-00487R

Findings and Recommendations are to be prepared after the environmental analysis is completed. Complete items 1 through 15 as appropriate for all projects. For projects requiring an environmental assessment, also complete Parts A and B. For projects categorically excluded under 24 CFR 50.20, complete Part A. Attach notes and source documentation that support the findings.

3. Project Name and Location (Street, City, County, State) Hearthside At Sugarloaf 1625 Atkinson Road Lawrenceville, Gwinnett County, Georgia	4. Applicant Name and Address (Street, City, State, Zip Code), and Phone Hearthside Sugarloaf, LP 2000 RiverEdge Parkway, Suite 950 Atlanta, Georgia 30328 (404) 850-8580
---	---

5. <input type="checkbox"/> Multifamily <input checked="" type="checkbox"/> Elderly <input type="checkbox"/> Other If Other, explain.	6. Number of Dwelling Units: <u>110</u> Buildings: <u>1</u> Stories: <u>3</u> Acres: <u>7</u>	7. Displacement <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, explain.
--	--	---

8. New Construction Rehabilitation Other
(if Other, explain)

9. Has an environmental report (Federal, State, or local) been used in completing this form? No Yes
If Yes, identify: One Group ESA dated 6/2012

10. Planning Findings. Is the project in compliance or conformance with the following plans?

Local Zoning	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Not Applicable
Coastal Zone	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Not Applicable
Air Quality (SIP)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Not Applicable

Explain any "No" answer: _____

11. Environmental Finding (check one)

Categorical exclusion is made in accordance with § 50.20 or

Environmental Assessment and a **Finding of No Significant Impact (FONSI)** is made in accordance with § 50.33 or

Environmental Assessment and a **Finding of Significant Impact** is made, and an Environmental Impact Statement is required in accordance with §§ 50.33(d) and 50.41.

Are there any unresolved conflicts concerning the use of the site?

No Yes (explain): _____

Project is recommended for approval (List any conditions and requirements) Project is recommended for rejection (State reasons)

2. Preparer (signature) 	Date <u>6/14/12</u>	13. Supervisor (signature)	Date
--	------------------------	----------------------------	------

14. Comments by Environmental Clearance Officer (ECO) (required for projects over 200 lots/units)

ECO (signature) X	Date
----------------------	------

15. Comments (if any) by HUD Approving Official

HUD Approving Official (signature) X	Date
---	------

Part A. Compliance Findings for §50.4 Related Laws and Authorities

§ 50.4 Laws and Authorities	Project is in Compliance		Source Documentation and Requirements for Approval
	Yes	No	
16. Coastal Barrier Resources	✓		Georgia Department of Community Affairs CRM list
17. Floodplain Management (24 CFR Part 55)	✓		Site visit;FEMA FHBM & FIRM;USGS topographic map;survey
18. Historic Preservation (36 CFR Part 800)	✓		Site visit;National Register of Historic Places;SHPO Review
19. Noise Abatement (24 CFR Part 51 Subpart B)	✓		Site visit;noise assessment report;USDOT;FAA
20. Hazardous Operations (24 CFR Part 51 Subpart C)	✓		Site visit;HUD Guidebook (Hazardous Com./Ind. Facilities)
21. Airport Hazards (24 CFR Part 51 Subpart D)	✓		Site visit;aerial maps;USGS topographic map;survey
22. Protection of Wetlands (E. O. 11990)	✓		Site visit;National Wetlands Inventory (NWI);survey
23. Toxic Chemicals & Radioactive Materials (§ 50.3(i))	✓		Site visit;Environmental databases; Fire Authority Inquiry
24. Other § 50.4 authorities (e.g., endangered species, sole source aquifers, farmlands protection, flood, insurance, environmental justice)	✓		Site visit;reviewer experience;FFIEC;USFWS;NRCS;GADNR

Part B. Environmental/Program Factors

Factors	Anticipated Impact/Deficiencies			Source Documentation and Requirements for Approval
	None	Minor	Major	
25 Unique Natural Features and Areas	✓			Site visit;aerial photographs;USGS topographic map
26. Site Suitability, Access, and Compatibility with Surrounding Development	✓			Site visit;reviewer experience
27. Soil Stability, Erosion, and Drainage	✓			Site visit;FEMA;NWI;geotech PE & reviewer experience
28. Nuisances and Hazards (natural and built)	✓			Site visit;aerial photographs;reviewer experience
29. Water Supply / Sanitary Sewers	✓			Site visit;interview;local water inquiry
30. Solid Waste Disposal	✓			Site visit;interviews
31. Schools, Parks, Recreation, and Social Services	✓			Site visit;aerial photographs;reviewer experience
32. Emergency Health Care, Fire and Police Services	✓			Site visit;local fire inquiry;local emergency inquiry
33. Commercial / Retail and Transportation	✓			Site visit;aerial photographs;reviewer experience
34. Other	✓			

Sample Field Notes Checklist

Project Number	HUD Program
----------------	-------------

Project Name:
Hearthside at Sugarloaf

Location (street, city, county/State, & zip code)
1625 Atkinson Road, Lawrenceville, Georgia 30043

Number of Dwelling Units 110	Project site is in a location described as
<input checked="" type="checkbox"/> New construction <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Central city <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Infill urban development <input type="checkbox"/> In developing rural area <input type="checkbox"/> In undeveloped area

Note to Reader: An Environmental Assessment (EA) is a concise public document that a Federal agency must prepare in order to comply with the National Environmental Policy Act (NEPA) and the related Federal environmental laws and authorities. The EA must support decision making process and provide a clear rationale, justification, and documentation for ratings assigned.

Instructions

It is recommended that this checklist be used by HUD staff who prepare the Environmental Assessment (EA; form HUD-4128). It will constitute full documentation for many factors on the EA, and partial documentation for others. It will avoid narrative reports and expedite the environmental review process. This checklist, which is a slightly revised version of Appendix C of Handbook 1390.2, should be used pending revision of Handbook 1390.2.

The number for each checksheet topic is the number that appears on form HUD-4128. Also, each checklist title/heading is followed by a reference to where the topic appears in the current Handbook 1390.2.

Before the site visit, review the Phase I and all background information submitted with the application (if applicable). During the site visit, the preparers of form HUD-4128 are to: (i) answer all relevant questions on this checklist; (ii) use the spaces provided for comments to include supplemental information as well as to record any recommended mitigation measures or requirements for project approval; (iii) key your answers to the relevant questions (using additional sheets of paper to provide more detailed information); and (iv) use the spaces provided for source documentation to cite the information source used (e.g., title of

a technical report, map, or special study; site inspection/field observation; name and location of the qualified data source(s) that provided the information, for example, the local planning agency, the local housing and/or community development agency, the State environmental protection agency, the State Historic Preservation Officer, or other qualified data source.)

Preparers are to obtain and use, as appropriate, any environmental report (Federal, State, or local) that may have already been prepared for the property or area in which the property is located.

Several different types of maps will be useful in completing the review, such as the project plan or plot map, a location map showing major features and facilities in the vicinity, the USGS topographic map and FEMA flood map for the site area, and zoning/land use maps. *Many of the conditions can and should be recorded directly on the project plan.* Distances to major features and facilities (e.g., schools and fire stations) and a description of the surrounding area are examples. The plan can then be referenced as "source documentation" on form HUD-4128.

9. Environmental Report

List the Federal, State, or local agencies contacted to obtain their existing environmental reports and other data for the HUD environmental review for the proposed project.

USEPA, USGS, FEMA, US Fish and Wildlife Service, Georgia Environmental Protection Division, Gwinnett County Government

List the major reports obtained. (attach the report(s) or otherwise list the title, author, publication date)

Flood Insurance Rate Map;NWI Map;UST Facility list;CERCLA facility list;RCRA facility list; Wild and Scenic River list;See Appendix F of ESA for additional listings

10. Planning Findings

Is the project in compliance or conformance with the local zoning?

Yes No Not Applicable If No or Not Applicable, explain.

Gwinnett County Zoning confirmation letter is attached in ESA Appendix G

Is the project located within a coastal management zone (CZM)?

Yes No Not Applicable

If your answer is Yes, the State Coastal Zone Management (CZM) Agency must make a finding that the project is consistent with the approved State CZM program.

Is the State's finding attached to this checksheet?

Yes No

Is the project in compliance with the air quality State Implementation Plan (SIP)?

Yes No Not Applicable

Comments:

Compliance of project has been determined by Georgia Department of Community Affairs

Source documentation:

Site visit; local tax authority inquiry; local building/code/planning authority inquiry; Georgia Department of Community Affairs CZM and SIP Designations

Are there any unresolved conflicts concerning the use of the site?

Yes No If your answer is Yes, briefly explain:

16. Coastal Barrier Resources

Is the project located within a coastal barrier designated on a current FEMA flood map or Department of Interior coastal barrier resources map?

Yes No If your answer is Yes, the law prohibits Federal funding of projects in designated coastal barriers.

17. Flood Management (24 CFR Part 55) (see CF 3 and 4 of Handbook 1390.2)

Is the project located within a floodplain designated on a current FEMA flood map?

Yes No Identify FEMA flood map used to make this finding:

Community Name and Number: Gwinnett County Georgia, Panel 71

Map Panel Number and Date of Map Panel: 13135C0071F, dated September 29, 2006

If your answer is Yes, use § 55.12 and the floodplain management decisionmaking process (§ 55.20) to comply with 24 CFR Part 55.

Comments:

Floodplains were not identified on or adjacent to the proposed site development

Source documentation: (attach § 55.20 analysis)

Site visit; FEMA; National Wetlands Inventory; survey

18. Historic Preservation (see CF 2 of Handbook 1390.2)

Has the SHPO been notified of the project and requested to provide comments?

Yes No

Is the property listed on or eligible for listing on the National Register of Historic Places?

Yes No

Is the property located within or directly adjacent to an historic district?

Yes No

Does the property's area of potential effects include an historic district or property?

Yes No

If your answer is Yes to any of the above questions, consult with the State Historic Preservation Officer (SHPO) and comply with 36 CFR part 800.

Has the SHPO been or is being advised of HUD's finding?

Yes No

Comments:

None

Source documentation:

National Register of Historic Places; SHPO submittal and review; SHPO response

19. Noise Abatement (see CF 1 of Handbook 1390.2)

Is the project located near a major noise source, i.e., civil airports (within 5 miles), military airfields (15 miles), major highways or busy roads (within 1000 feet), or railroads (within 3000 feet)?

Yes No If your answer is Yes, comply with 24 CFR 51, Subpart B which requires a noise assessment for proposed new construction. Use adopted DNL contours if the noise source is an airport.

Comments:

Site is designated as "Normally Acceptable"

Source documentation: (attach NAG worksheets)

Site visit; aerial maps; Noise Assessment provided in Appendix J

20. Hazardous Industrial Operations (see CF 5 of Handbook 1390.2)

Are industrial facilities handling explosive or fire-prone materials such as liquid propane, gasoline or other storage tanks adjacent to or visible from the project site?

Yes No If your answer is Yes, use HUD Hazards Guide and comply with 24 CFR Part 51, Subpart C.

Comments: **A petroleum pipeline crosses the Site's northeast corner; however, vapor, soil and groundwater screening did not discover impact from this utility**

Source documentation: (attach ASD worksheets)

Site visit; fire inquiry; GAEPD UST list; GAEPD Hazardous Material facility list; Pipeline Release inquiry; inquiries with pipeline right of way managers

21. Airport Hazards (see CF 5 of Handbook 1390.2)

Is the project within 3,000 feet from the end of a runway at a civil airport?

Yes No

Is the project within 2-1/2 miles from the end of a runway at a military airfield?

Yes No If your answer is Yes to either of the above questions, comply with 24 CFR Part 51, Subpart D.

Comments: **None.**

Source documentation:

Site visit; aerial maps; available FAA information review

22. Protection of Wetlands (E.O. 11990) (see CF 3 and 4 of Handbook 1390.2)

Are there drainage ways, streams, rivers, or coastlines on or near the site?

Yes No

Are there ponds, marshes, bogs, swamps or other wetlands on or near the site?

Yes No

For projects proposing new construction and/or filling, the following applies:

Is the project located within a wetland designated on a National Wetlands Inventory map of the Department of the Interior (DOI)?

Yes No If your answer is Yes, E.O. 11990, Protection of Wetlands, discourages Federal funding of new construction or filling in wetlands and compliance is required with the wetlands decisionmaking process (§ 55.20 of 24 CFR Part 55. Use proposed Part 55 published in the Federal Register on January 1, 1990 for wetland procedures).

Comments: **Wetlands were not identified on the Site. Eight step process was completed at the first step**

Source documentation: (attach § 55.20 analysis for new construction and/or filling)

Site visit; aerial maps; FEMA FIRM; National Wetlands Inventory; USGS Topographic Map; survey

23. Toxic Chemicals and Radioactive Materials (see CF 5 of Handbook 1390.2)

Has a Phase I (ASTM) Report been submitted and reviewed?

Yes No If your answer is No, is a Phase I (ASTM) report needed?

Yes No

Are there issues that require a special/specific Phase II report before completing the environmental assessment?

Yes No

Is the project site near an industry disposing of chemicals or hazardous wastes?

Yes No

Is the site listed on an EPA Superfund National Priorities or CERCLA, or equivalent State list?

Yes No

Is the site located within 3,000 feet of a toxic or solid waste landfill site?

Yes No

Does the site have an underground storage tank?

Yes No

If your answer is Yes to any of the above questions, use current techniques by qualified professionals to undertake investigations determined necessary and comply with § 50.3(i).

Are there any unresolved concerns that could lead to HUD being determined to be a Potential Responsible Party (PRP)?

Yes No

Comments:

A petroleum pipeline crosses the Site's northeast corner; however, vapor, soil and groundwater screening did not discover impact from this utility

Source documentation: (attach Phase I (ASTM) Report)

24. Other

a. Endangered Species (see EF 3.4 of Handbook 1390.2)

Has the Department of Interior list of Endangered Species and Critical Habitats been reviewed?

Yes No

Is the project likely to affect any listed or proposed endangered or threatened species or critical habitats?

Yes No If your answer is Yes, compliance is required with Section 7 of the Endangered Species Act, which mandates consultation with the Fish and Wildlife Service in order to preserve the species.

Comments:

None

Source documentation

Site visit; reviewer experience; Endangered Species and Critical Habitats List; USFWS endangered species inquiry

b. Sole Source aquifers

Will the proposed project affect a sole source or other aquifer?

Yes No

Comments

The Site will receive its drinking water supply from the Gwinnett County Water System

Source documentation

Initial Impact Screening; USGS; GAEPD; Local water authority compliance inquiry

c. Farmlands Protection (see EF 3.3 of Handbook 1390.2)

If the site or area is presently being farmed, does the project conform with the Farmland Protection Policy Act and HUD policy memo?

Yes No

If your answer is Yes, compliance is required with 7 CFR Part 658, Department of Agriculture regulations implementing the Act.

Comments:

Not applicable.

Source documentation:

d. Flood Insurance

Is the building located or to be located within a Special Flood Hazard Area identified on a current Flood Insurance Rate Map (FIRM)?

Yes No

If your answer is Yes, flood insurance protection is required for buildings located or to be located within a Special Flood Hazard Area as a condition of approval of the project. In addition, compliance with § 55.12 and the floodplain management decisionmaking process (§ 55.20) is required (refer to item #17 above). Document the map used to determine Special Flood Hazard Area in above item #17 pertaining to community name and number, map panel number and date of map panel.

e. Environmental Justice

Is the project located in a predominantly minority and low-income neighborhood?

Yes No

Does the project site or neighborhood suffer from disproportionately adverse environmental effects on minority and low-income populations relative to the community-at-large?

Yes No

If your answer is Yes, compliance is required with E.O. 12898, Federal Actions to Address Environmental Justice.

Comments:

None.

Source documentation: Site visit; Federal Financial Institution Examination Council GEOCODER

25. Unique Natural Features and Areas (see EF 3.2 of Handbook 1390.2)

Is the site near natural features (i.e., bluffs or cliffs) or near public or private scenic areas?

Yes No

Are other natural resources visible on site or in vicinity? Will any such resources be adversely affected or will they adversely affect the project?

Yes No

Comments:

26. Site Suitability, Access, and Compatibility with Surrounding Development (see EF 1.1 and 1.3 of Handbook 1390.2)

Has the site has been used as a dump, sanitary landfill or mine waste disposal area? Yes No
 Is there paved access to the site? Yes No
 Are there other unusual conditions on site? Yes No

Is there indication of:

distressed vegetation	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	oil/chemical spills	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
waste material/containers	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	abandoned machinery, cars, refrigerators, etc.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
soil staining, pools of liquid	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	transformers, fill/vent pipes, pipelines, drainage structures	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
loose/empty drums, barrels	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No			

Is the project compatible with surrounding area in terms of:

Land use	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Building type (low/high-rise)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Height, bulk, mass	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Building density	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

Will the project be unduly influenced by:

Building deterioration	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Transition of land uses	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Postponed maintenance	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Incompatible land uses	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Obsolete public facilities	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Inadequate off-street parking	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

Are there air pollution generators nearby which would adversely affect the site:

Heavy industry	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Large parking facilities (1000 or more cars)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Incinerators	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Heavy travelled highway (6 or more lanes)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Power generating plants	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Oil refineries	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Cement plants	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Other(specify)	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

Comments:
None

Source documentation:
Site visit;reviewer experience;aerial photographs;local government inquiry;environmental database review

27. Soil Stability, Erosion, and Drainage (see EF 1.2 of Handbook 1390.2)

Slopes: Not Applicable Steep Moderate Slight

Is there evidence of slope erosion or unstable slope conditions on or near the site? Yes No

Is there evidence of ground subsidence, high water table, or other unusual conditions on the site? Yes No

Is there any visible evidence of soil problems (foundations cracking or settling, basement flooding, etc.) in the neighborhood of the site? Yes No

Have soil studies or borings been made for the project site or the area? Yes No Unknown

Do the soil studies or borings indicate marginal or unsatisfactory soil conditions? Yes No

Is there indication of cross-lot runoff, swales, drainage flows on the property? Yes No

Are there visual indications of filled ground? Yes No

If your answer is Yes, was a 79(g) report/analysis submitted? Yes No

Are there active rills and gullies on site? Yes No

If the site is not to be served by a municipal waste water disposal system, has a report of the soil conditions suitable for on-site septic systems been submitted? Yes No N.A.

Is a soils report (other than structural) needed? Yes No

Are structural borings or a dynamic soil analysis/geological study needed? Yes No

Comments:
None

Source documentation:
Site visit;NRCS;FIRM;aerials;USGS topo map

28. Nuisances and Hazards (see EF 1.3 and 1.4 of Handbook 1390.2)

Will the project be affected by natural hazards:

	Yes	No		Yes	No
Faults, fracture	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fire hazard materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cliffs, bluffs, crevices	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wind/sand storm concerns	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Slope-failures from rains	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Poisonous plants, insects, animals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Unprotected water bodies	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous terrain features	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Will the project be affected by built hazards and nuisances:

	Yes	No		Yes	No
Hazardous street	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Inadequate screened drainage catchments	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Dangerous intersection	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazards in vacant lots	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Through traffic	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Chemical tank-car terminals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Inadequate separation of pedestrian/vehicle traffic	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other hazardous chemical storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Children's play areas located next to freeway or other high traffic way	<input type="checkbox"/>	<input checked="" type="checkbox"/>	High-pressure gas or liquid petroleum transmission lines on site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Inadequate street lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Overhead transmission lines	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Quarries or other excavations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous cargo transportation routes	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Dumps/sanitary landfills or mining	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Oil or gas wells	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Railroad crossing	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Industrial operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Will the project be affected by nuisances:

	Yes	No	Yes	No
Gas, smoke, fumes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Unightly land uses	<input type="checkbox"/>
Odors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Front-lawn parking	<input type="checkbox"/>
Vibration	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Abandoned vehicle	<input type="checkbox"/>
Glare from parking area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vermin infestation	<input type="checkbox"/>
Vacant/boarded-up buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Industrial nuisances	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other (specify)	<input type="checkbox"/>

Comments:

No issues found during the ESA

Source documentation:

Site visit; NRCS soil report (attached in stream and wetland investigation); FEMA FIRM; aerial photographs; USGS topographic map; environmental database review

29. Water, Supply, Sanitary Sewers, and Solid Waste Disposal (see EF 2.1, 2.2, and 2.4 of Handbook 1390.2)

Is the site served by an adequate and acceptable:

water supply

Yes No Municipal Private

sanitary sewers and waste water disposal systems

Yes No Municipal Private

trash collection and solid waste disposal

Yes No Municipal Private

If the water supply is non-municipal, has an acceptable "system" been approved by appropriate authorities and agencies?

Yes No

If the sanitary sewers and waste water disposal systems are non-municipal, has an acceptable "system" been approved by appropriate authorities and agencies?

Yes No

Comments:

This assessment found the Site has adequate access to the above public utilities

Source documentation:

Gwinnett County Water and Sewerage confirmation letters (Appendix G)

31. Schools, Parks, Recreation, and Social Services (see U/EF 4, 5, and 6 of Handbook 1390.2)

Will the local school system have the capability to service the potential school age children from the project?

Yes No

Are parks and play spaces available on site or nearby?

Yes No

Will social services be available on site or nearby for residents of the proposed project?

Yes No

Comments:

None

Source documentation:

Site visit; local education authority inquiry; aerial photographs

32. Emergency Health Care, Fire and Police Services (see U/EF 7, 8, and 9 of Handbook 1390.2)

Are emergency health care providers located within reasonable proximity to the proposed project?

Yes No Approximate response time: **15 Mins**

Are police services located within reasonable proximity to the proposed project?

Yes No Approximate response time: **5 mins**

Is fire fighting protection municipal volunteer adequate and equipped to service the project?

Yes No Approximate/estimated response time: **15 mins.**

Comments:

None

Source documentation:

Site visit; local fire, police, and emergency inquiry

33. Commercial/Retail and Transportation (see U/EF 10 and 11 of Handbook 1390.2)

Are commercial/retail shopping services nearby?

Yes No

Is the project accessible to employment, shopping and services by

public transportation or private vehicle?

Is adequate public transportation available from the project to these facilities?

Yes No

Are the approaches to the project convenient, safe and attractive?

Yes No

11. Conditions and Requirements for Approval

Are mitigation measures required?

Yes No

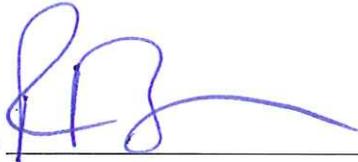
If your answer is Yes, list and describe:

Not applicable.

Brief Description of the Project:

The site is scheduled for development as a multi-family housing.

Field Inspection on (date) 05/30/2012

By (signature)  _____

HOME and HUD ENVIRONMENTAL QUESTIONNAIRE

Instructions: The following questionnaire must be completed and included as part of the Phase I Report at Application Submission for HOME/HUD funded Projects, including but not limited to PBRA and NSP. All appropriate documentation, including the Owner Environmental Questionnaire and Disclosure Statement, should be used in completing the questionnaire.

Part A of this form should be completed by the Applicant, while Part B of this form should be completed by the Environmental Professional and Part C should be completed jointly by the Applicant and the Environmental Professional.

Please note that, if this project is funded, the completion of this Questionnaire facilitates DCA's ability to quickly complete the Request for the Release of Funds Process, which must be submitted to the US Department of Housing and Urban Development for approval before DCA can release the HOME funds (See 2009 Qualified Allocation Plan, Threshold Criteria, Section 6, Subsection C (3)). The Comments and Source Documentation categories should be used to detail review findings and list the sources of such findings. Source documentation should clearly list the name of the reference document and the corresponding page number where the information can be located. N/A is not an acceptable response for Part C questions. **Tabbing of reference materials is strongly encouraged to expedite the review. Incomplete questionnaires may result in significant delays in the Request for the Release of Funds.**

PART A—TO BE COMPLETED BY THE APPLICANT

Project Name: **Hearthside at Sugarloaf**

Project Location Address: **1625 Atkinson Road**

City, County, State: **Lawrenceville, Gwinnett County, Georgia**

Contact person and telephone number: **Brendan Barr, (770) 850-8280**

Type of project: **Multi-family new construction (Seniors Housing)**

Estimated Project Costs (from Application): **\$16,480,000**

Has the project completed a federal environmental review and received a clearance (i.e. 4128)? Pending If so, who performed the review? Robert Brawner, Principal, One Consulting Group, Inc.

*Make sure to attach it to this document

Project site is in a location described as:

Central city	<u> </u>	Rehabilitation	<u> </u>
Suburban	<u> X </u>	In developing rural area	<u> </u>
Infill urban development	<u> </u>	In undeveloped area	<u> </u>
New construction	<u> X </u>		

Project Description

HearthSide Sugarloaf Senior Living Community will be developed on 6.72 acre wooded tract. The property is located at 1625 Atkinson Road in unincorporated Gwinnett County. The site has frontage on Atkinson Road and Sugarloaf Parkway. The project will include new construction of 110 units of senior apartments. Community spaces will include an on-site management office and resident services coordinator, a computer lab and fitness center and a covered pavilion.

Funding will include federal and state Low Income Housing Tax Credits and a permanent mortgage.

Planning/Zoning(complete only if new construction)

Yes No
(X) () Is the project in compliance or conformance with the local zoning?

Comments: **Site is currently zoned Office Institutional with Special Permit to allow Senior Apartments**

Source Documentation: **Gwinnett County Zoning Confirmation Letter (attached)**

Water, Supply, Sanitary Sewers, and Solid Waste Disposal (complete only if new construction)

Yes No
(X) () Is the site served by an adequate and acceptable water supply
(X) () **Municipal** Private sanitary sewers and waste water disposal systems
(X) () **Municipal** Private sanitary sewers and waste water disposal systems
(X) () **Municipal Private** trash collection and solid waste disposal
() () **Municipal Private** If the water supply is non-municipal, has an acceptable "system" been approved by appropriate authorities and agencies? **Not applicable**
() () If the sanitary sewers and waste water disposal systems are non-municipal, has an acceptable "system" been approved by appropriate authorities and agencies? **Not applicable**

Comments: **None**

Source Documentation: **Site visit; Site Survey provided in Appendix A of the Environmental Site Assessment; Gwinnett County Water and Sewerage Department; Gwinnett County 2012 Annual Water Quality Report; Utility Availability Letters Provided by Gwinnett County Water and Sewer Departments**

Schools, Parks, Recreation, and Social Services (complete only if new construction)

Yes No
() () Will the local school system have the capability to service the potential school age children from the project?
Not applicable
(X) () Are parks and play spaces available on site or nearby?
(X) () Will social services be available on site or nearby for residents of the proposed project?

Comments: **None**

Source Documentation:

Emergency Health Care, Fire and Police Services (complete only if new construction)

Yes No
(X) () Are emergency health care providers located within reasonable proximity to the proposed project?
(X) () Are police services located within reasonable proximity to the proposed project?
(X) () Is fire fighting protection municipal volunteer adequate and equipped to service the project?

Comments: **Expected response times are less than 15 minutes**

Source Documentation:

Commercial/Retail and Transportation (complete only if new construction)

Yes No
(X) () Are commercial/retail shopping services nearby?
(X) () Is the project accessible to employment, shopping and services by **public transportation** or **private vehicle**?
() () Is the project accessible to employment, shopping and services by **public transportation** or **private vehicle**?
(X) () Is adequate public transportation available from the project to these facilities?
(X) () Are the approaches to the project convenient, safe and attractive?

Comments: **Site sits adjacent to commercial and retail services, within walking distance**

Source Documentation: **Site visit**

Nuisances and Hazards (complete only if new construction)

Will the project be affected by natural hazards:

Yes	No		Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Faults, fracture	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Slope-failures from rains
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wind/sand storm concerns	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Poisonous plants, insects, animals
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fire hazard materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Unprotected water bodies
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cliffs, bluffs, crevices	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous terrain features

Will the project be affected by built hazards and nuisances:

Yes	No		Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous street	<input type="checkbox"/>	<input checked="" type="checkbox"/>	High-pressure gas or liquid petroleum transmission lines on site
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Inadequate screened drainage catchments	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Inadequate street lighting
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dangerous intersection	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Overhead transmission lines
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazards in vacant lots	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Quarries or other excavations
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Through traffic	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous cargo transportation routes
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Chemical tank-car terminals	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dumps/sanitary landfills or mining
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Inadequate separation of pedestrian / vehicle traffic	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Oil or gas wells
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other hazardous chemical storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Railroad crossing
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Children's play areas located next to freeway or other high traffic way	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Industrial operations
					Other (specify): _____

Will the project be affected by any of the following nuisances:

Yes	No		Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Gas, smoke, fumes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Glare from parking area
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Unsanitary land uses	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vermin infestation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Odors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vacant/boarded-up buildings
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Front-lawn parking	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Industrial nuisances
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vibration	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other (specify): _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Abandoned vehicle			

Comments: **None.**

Source Documentation: **Site visit, Lawrenceville, Georgia USGS Map, Site survey**

Newspaper Contact Information

Name of local newspaper: **The Atlanta Journal and Constitution** (www.ajc.com/contact)

Address: **72 Marietta Street NW**

City: **Atlanta** State: **Georgia** Zip: **30303**

Telephone number: **(404) 526-5573** Fax number: **(404) 526-5904**

Contact name for Classifieds/Public Notice: **Bert Roughton, Jr.**

Contact email address for Classifieds/Public Notice: legalclass@ajc.com

PART B—TO BE COMPLETED BY THE ENVIRONMENTAL PROFESSIONAL

Environmental Laws and Authorities Resource Guide

Along with the 2012 Environmental Manual, the list that follows is to assist the Environmental Professional in the completion of this Questionnaire.

- HUD and HOME Environmental Questionnaire Guidance
- HUD website (www.hud.gov)
- HUD Handbook 1390.2 (available at www.hudclips.org)
- Floodplain Management (24 CFR Part 55)
- Historic Preservation (36 CFR Part 800)
- Noise Abatement (24 CFR Part 51 Subpart B)
- Hazardous Operations (24 CFR Part 51 Subpart C)
- Airport Hazards (24 CFR Part 51 Subpart D)
- Protection of Wetlands and Floodplains (E.O. 11990 and E. O. 11988)
- Toxic Chemicals & Radioactive Materials (§50.3(i))
- (e.g., endangered species, farmlands protection, flood, insurance, environmental justice)

Unique Natural Features and Areas

- | Yes | No | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the site near natural features (i.e., bluffs or cliffs) or near public or private scenic areas? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are other natural resources visible on site or in vicinity? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will any such resources be adversely affected or will they adversely affect the project? |

Comments: **No unique natural features and areas were discovered in association with the Site during this assessment.**

Source Documentation: **Lawrenceville, Georgia USGS Topographic map**

Site Suitability, Access, and Compatibility with Surrounding Development

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Has the site has been used as a dump, sanitary landfill or mine waste disposal area? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Is there paved access to the site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are there other unusual conditions on site? |

Is there indication of:

- | Yes | No | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | distressed vegetation |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | oil/chemical spills |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | waste material/containers: |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | abandoned machinery, cars, refrigerators |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | soil staining, pools of liquid |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | transformers, fill/vent pipes, pipelines |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | drainage structures |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | loose/empty drums, barrels |

Will the project be unduly influenced by:

- | Yes | No | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Building deterioration |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Transition of land uses |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Postponed maintenance |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Incompatible land uses |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Obsolete public facilities |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Inadequate off-street parking |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are there air pollution generators nearby which would adversely affect the site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Heavy industry Incinerators |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Power generating plants |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Cement plants? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Large parking facilities (1000 or more cars)? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Heavy traveled highway (6 or more lanes)? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Oil refineries |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Other(specify)? _____ |

Comments: **The Site is accessible via paved municipal streets, Atkinson Road and Sugarloaf Parkway**

Source Documentation: **Site visit; Noise Assessment provided in ESA-Appendix J**

Soil Stability, Erosion, and Drainage

- Slopes: Not Applicable ____ Steep ____ Moderate ____ Slight X
- | Yes | No | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is there evidence of slope erosion or unstable slope conditions on or near the site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is there evidence of ground subsidence, high water table, or other unusual conditions on the site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is there any visible evidence of soil problems (foundations cracking or settling, basement flooding, etc.) in the neighborhood of the site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Have soil studies or borings been made for the project site or the area? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Do the soil studies or borings indicate marginal or unsatisfactory soil conditions? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is there indication of cross-lot runoff, swales, drainage flows on the property? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are there visual indications of filled ground? If your answer is Yes, please attach a 79(g) report/analysis. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are there active rills and gullies on site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is a soils report (other than structural) needed? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are structural borings or a dynamic soil analysis/geological study needed? |

Comments: **No concerns were discovered during this assessment**

Source Documentation: **Site visit, Lawrenceville, Georgia USGS Topographic map**

Wetland Protection

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Are there drainage ways, streams, rivers, or coastlines on or near the site? Please provide site map. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the property located in a wetland? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is an incidental portion of the property within a wetland? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will disturbance of the wetland exceed 1/10th of one acre? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are there ponds, marshes, bogs, swamps or other wetlands on or near the site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project located within a wetland designated on a National Wetlands Inventory map of the Department of the Interior (DOI)? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will proposed construction/landscaping activities disturb the wetland? |

Comments: **Wetlands were not identified on the Site. As per the 2012 Environmental Manual, the wetland decision making process was performed and concluded at its initial step.**

Source Documentation: **Site visit; National Wetlands Inventory Map; Wetland and Stream Investigation Report prepared by United Consulting, Inc.; and Figure 5 - Site Map, ESA - Appendix A**

Coastal Barrier Resources

- | Yes | No | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project located within a coastal barrier designated on a current FEMA flood map or Department of Interior coastal barrier resources map? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project located within a coastal management zone (CZM)? |

Georgia's six coastal counties and five "inland tier" counties include: Chatham, Effingham, Bryan, Liberty, McIntosh, Long, Glynn, Wayne, Brantley, Camden and Charlton counties.

Comments: **Site is not located within a coastal barrier or a coastal management zone**

Source Documentation: **Lawrenceville, Georgia USGS Topographic map**

Historic Preservation

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the subject property/project structure more than 50 years old? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Does the Application currently include Historic Tax Credits? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will Historic Tax Credits be applied for? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the property listed on or eligible for listing on the National Register of Historic Places? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the property located within or directly adjacent to an historic district? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Does the property's area of potential effects include an historic district or property? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | If the proposed properties are affected, have you contracted with a Preservation Professional? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Has the SHPO been notified of the project and requested to provide comments? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Has the SHPO been or is being advised of HUD's finding? |

If your answer is "Yes" to any of the above questions, consult with the State Historic Preservation Officer (SHPO) and comply with 36 CFR Part 800. Review DCA's Environmental Manual for further instructions and provide the following at Application Submission by attaching to this Questionnaire:

1. Documentation from the local SHPO office to determine eligibility. (This may include evidence of the 106 process completion, or any other information pertinent to the property development.);
2. If it is determined that the proposed project will affect historic properties, you must employ a qualified professional or contract with a qualified professional(s) such as a Preservation Professional. Please provide the qualified professional's documentation.
3. Documentation from the local SHPO office and Preservation Professional that the proposed project development and work scope meets the requirements of the National Register of Historic Places; and
4. A statement from the architect or Preservation Professional of record regarding direct or indirect impacts associated with the property development on the neighborhood and existing buildings, giving the proposed mitigation and or alternatives.
5. Documentation from the local SHPO office and Preservation Professional that the Georgia Historic Preservation Division Environmental Review Form has been submitted.
6. As part of the supporting documentation to DCA, please include the following: Detail site location map of the area in which the development is to occur, one photo of each structure and/or site (house, building, etc.) to be impacted and information on the age of any structures located on the site.

Comments: **None**

Source Documentation: **SHPO Documentation (attached and Appendix Q of ESA); National Register of Historic Places (<http://www.nr.nps.gov/>)**

Floodplain Management

- | Yes | No | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is an incidental portion of the property within a floodplain? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project located within a floodplain designated on a current FEMA flood map? |
| | | Identify FEMA flood map used to make this finding: _____ |
| | | Community Name and Number: Gwinnett County, Georgia, Panel 71 |
| | | Map Panel Number: 13135C0071F |
| | | Date of Map Panel: September 29, 2006 |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will the proposed construction/landscaping activities occupy or modify the floodplain? |

If your answer is "Yes" to any of above questions, please attach documentation below to Questionnaire:

1. Floodplain maps for the proposed site;
2. Statement from the engineer or architect of record that proposed construction and/or landscaping activities will not occupy or modify the floodplain;
3. A conditional LOMA or LOMR if it has been provided by FEMA; and
4. Documentation from Environmental Professional regarding direct and indirect impacts associated with constructing the project on or near a floodplain and proposed mitigation strategies and/or alternative designs.

In addition, if you answered "Yes" to the last question, please attach the following:

5. Required notices from the Flood Plain Management Requirements (8 step process, see 42 C.F.R. § 55.20) (not required to be submitted at pre-application, but must be submitted by September 30, 2009).

Comments: **The Site is not in the 100 year or 500 year floodplain. As per the 2012 Environmental Manual, the floodplain decision making process was performed and concluded at its initial step.**

Source Documentation: **Federal Emergency Management Agency (www.fema.gov)**

Flood Insurance

Yes No

() (X) Is the building located or to be located within a Special Flood Hazard Area identified on a current Flood Insurance Rate Map (FIRM)?

If your answer is "Yes", flood insurance protection is required for buildings located or to be located within a Special Flood Hazard Area as a condition of approval of the project. In addition, compliance with § 55.12 and the floodplain management decision-making process (§ 55.20) is required (refer to floodplain management section above). Document the map used to determine Special Flood Hazard Area in above item #17 pertaining to community name and number, map panel number and date of map panel.

Comments: **None**

Source Documentation: **Federal Emergency Management Agency (www.fema.gov)**

Endangered Species

Yes No

(X) () Has the Department of Interior list of Endangered Species and Critical Habitats been reviewed?

() (X) Is the project likely to affect any listed or proposed endangered or threatened species or critical habitats?

If your answer is "Yes" to the second question, compliance is required with Section 7 of the Endangered Species Act, which mandates consultation with the Fish and Wildlife Service in order to preserve the species.

Comments: **No endangered species concerns were discovered during this assessment**

Source Documentation: **Site visit; United States Fish and Wildlife Service (www.fws.gov); and Georgia Natural Heritage Inventory Program**

Wild and Scenic Rivers/Unique Natural Features and Areas

Yes No

(X) () **Is the project new construction? If so please answer the following questions.**

() (X) Is the site near natural features (i.e., bluffs or cliffs) or public or private scenic areas?

() (X) Are other natural resources visible on site or in vicinity? Will any such resources be adversely affected or will they adversely affect the project?

() (X) Is the project site located within one mile of the Chattooga Wild and Scenic River?

If so, please provide a map clearly delineating both the project site and the Wild and Scenic River.

Comments: **The Chattooga River is the only listed river in Georgia on the National Wild and Scenic River System. This river is not in Gwinnett County and is greater than 100 miles from the Site.**

Source Documentation: **United States Fish and Wildlife Service (www.rivers.org); Google Earth (www.google.earth.com)**

Clean Air Act

Yes No

(X) () Is the project located in the Johns Creek Metropolitan area or one of the below listed counties?

(X) () Is the project in compliance with the air quality State Implementation Plan (SIP)?

If the answer is "Yes", please verify whether the project in compliance with the air quality State Implementation Plan (SIP). (Metro Johns Creek (including Barrow, Bartow, Carrol, Fulton, Clayton, Cobb, Coweta, Fulton, Douglas, Fayette, Forsyth, Fulton, Gwinnett, Hall, Heard, Henry, Newton, Paulding, Putnam, Rockdale, Spalding, Walton), Macon (Bibb, Monroe), Others Catoosa, Walker, Floyd)

Comments: **Site is in a non-attainment county; however, it is in compliance with the State SIP**

Source Documentation: (www.georgiaair.org/airpermit/html/planningsupport/naa.htm)

Farmlands Protection (complete only if new construction)

Yes No

() (X) Is the site or the area where the site is located presently being farmed?

Comments **None**

Source Documentation: **Gwinnett County Tax Assessors Office; Site visit**

Environmental Justice

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Does project require any mitigation plans or measures to be taken? If so please list below. Mitigation measures could include excessive noise, any abatement, toxic conditions etc. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Is the project new construction? If so please answer the following questions. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project located in a predominantly minority and low-income neighborhood?
If so, please provide narrative in supporting documentation. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is there an adverse environmental impact caused by the proposed action, or is the proposed action subject to adverse environmental impact? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Does the project site or neighborhood suffer from disproportionately adverse environmental effects on minority and low-income populations relative to the community at-large? |

If your answer is "Yes" to any of the above questions, compliance is required with E.O. 12898, Federal Actions to Address Environmental Justice. Attach documentation to show that the environmental review considered mitigation or avoidance of adverse impacts from the project to the extent practicable.

(See <http://www.hud.gov/offices/cpd/energyenviron/environment/subjects/justice/index.cfm>)

Comments: **No environmental justice concerns associated with the Site were discovered during this assessment**

Source Documentation: **Site Visit, Gwinnett County Planning and Zoning Department**

Noise Abatement

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Is the project within 1000 feet of a major road/highway/freeway (i.e. a roadway with an average daily traffic count of 10,000 or greater)? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project within 3000 feet of a railroad? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project within 15 miles of a military airfield? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project within 5 miles of a civil airport? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is noise a problem on the site and/or is expected to be in the future?
Noise is 65 dnl. |

If any of the above are checked "Yes", please attach the following:

1. A noise assessment conforming to the HUD Noise Assessment Guidelines (NAG) and 24 C.F.R § 51.100 *et seq.* prepared by the Environmental Professional or other qualified engineering professional (for airports, use the adopted DNL contours). Please refer to the Department of Housing and Urban Development's Noise Guidebook, located at: <http://www.hud.gov/offices/cpd/energyenviron/environment/resources/guidebooks/noise/index.cfm>.
2. A noise attenuation plan produced by an engineering professional to describe the proposed mitigation to meet HUD sound guidelines.

Comments: **The Site has exposure to two adjacent roadways to its north and south. However, these adjacent roadways will not impact Site noise above 65 decibels**

Source Documentation: **Noise Assessment prepared for the Site**

Explosive and Flammable/Hazardous Industrial Operations

- | Yes | No | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are industrial facilities handling explosive or fire-prone materials such as liquid propane, gasoline or other storage tanks adjacent to or visible from the project site?
(attach ASD worksheets) |

If your answer is "Yes", use the HUD Hazards Guide and comply with 24 CFR Part 51, Subpart C (www.hudclips.org).

Comments: **No explosive and flammable/hazardous industrial operation concerns associated with the Site were discovered during this assessment. A petroleum pipeline crosses the Site's northeast corner; however, vapor, soil and groundwater screening did not discover impact from this utility.**

Source Documentation: **Site visit, local fire authority inquiry, Georgia Environmental Protection Division list of Underground Storage Tank Facilities and Hazardous Material/Waste facilities; Phase 2 Environmental Site Assessment**

Hazards and Toxic Chemicals

- | Yes | No | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are industrial facilities handling explosive or fire-prone materials such as liquid propane, gasoline, or other storage tanks visible from or near the project site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project located near a dump or landfill site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project near an industry disposing of chemicals or hazardous wastes? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are there issues that require a special/specific Phase II report before completing the environmental assessment? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is site listed on an EPA Superfund National Priorities, CERCLA, or equivalent State list? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the site located within 3,000 feet of a toxic or solid waste landfill site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Does the site have an underground storage tank? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are there any unresolved concerns that could lead to HUD being determined to be a Potential Responsible Party (PRP)? |

If your answer is "Yes" to any of the above questions, use current techniques by qualified professionals to undertake investigations determined necessary and comply with § 50.3(i). Attach Phase I (ASTM) Report) Documentation from the Environmental Professional, including any applicable mitigation measures, that the project will be located at an acceptable distance from the hazardous site.

Comments: **No explosive and flammable/hazardous industrial operation concerns associated with the Site were discovered during this assessment. A petroleum pipeline crosses the Site's northeast corner; however, vapor, soil and groundwater screening did not discover impact from this utility.**

Source Documentation: **Site visit; local fire and health department authority inquiry; Georgia Environmental Protection Division list of Underground Storage Tank and Hazardous Material/Waste facilities; Georgia Environmental Protection Division; and Solid Waste Facilities, USEPA National Priority List; Phase 2 Environmental Site Assessment**

Airport Hazards

- | Yes | No | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project within 3,000 feet from the end of a runway at a civil airport? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project within 2-1/2 miles from the end of a runway at a military airfield? |
- If your answer is "Yes" to either of the above questions, comply with 24 CFR Part 51, Subpart D.*

Comments: **No airport hazards associated with the Site were discovered during this assessment**

Source Documentation: **Site visit, Google Earth (www.google.earth.com)**

Vapor Intrusion

- | Yes | No | |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Has a Tier I vapor intrusion assessment (VIA) revealed a vapor intrusion condition exists that may present an unacceptable health risk to occupants? |

If your answer is yes, then additional assessment must be performed according to ASTM E 2600-08 standards. For more guidance, please refer to ASTM E 2600.

Comments: **A petroleum pipeline crosses the Site's northeast corner; however, vapor, soil and groundwater screening did not discover impact from this utility. The vapor intrusion assessment was concluded in Tier 2**

Source Documentation: **Vapor Encroachment Screen prepared for Site included in Appendix E; Phase 2 Environmental Site Assessment**

PART C—TO BE COMPLETED BY APPLICANT & ENVIRONMENTAL PROFESSIONAL

COMPLETE ONLY IF PROJECT IS NEW CONSTRUCTION

Please answer the below questions. Attach additional sheets as necessary.

Alternatives and Project Modifications Considered: *Identify other reasonable courses of action that were considered and not selected, such as other sites, design modifications, or other uses of the subject site. Describe the benefits and adverse impacts to the human environment of each alternative and the reasons for rejecting it.*

The proposed HearthSide Sugarloaf Senior Living Community is located on a property that's currently zoned O-I. The owner has consulted directly with the current property owner, adjacent property owners and officials from Gwinnett County to create a development plan that will take into account the existing environmental site conditions as well as the impact to the adjacent property owners.

One alternative might have been to identify, purchase and redevelop an alternate site ("greyfield"). Given the residential character of the subject Site and the likelihood that a greyfield is more likely to occur in a area of ommercial development, the subject site is considered superior to this alternative.

A second alternative site would have been an undeveloped-raw land site ("greenfield"). Due to the size of the parcel the development is able to minimize disturbed area and incorporate a signigicant amount of tree save area. Developing an undeveloped "greenfield" site would have numerous adverse impacts including less efficient site design and unlikely potential for tree save areas. The development plan will reduce both the flow of water from the site and improve the water quality of water leaving the site. Development of an alternate site would have had an adverse impact on the human environment, whereas the subject site and proposed development actually improves the human environment from the existing condition.

Compared to the alternatives, the selected alternative will have the least impact and provide the most benefit to the human environment.

No Action Alternative: *Discuss the benefits and adverse impacts to the human environment of not implementing the preferred alternative.*

There was is no benefit to the "no action alternative".

Mitigation Measures Recommended: *Are there feasible ways in which the proposal or its external factors should be modified in order to minimize adverse environmental impacts and restore or enhance environmental quality?*

The development includes mitigation measures. The development is served by a storm water management system. The applicant has also met with SouthFace (a local advocate of "responsible solutions for environment living") to identify technology and practices that could be implemented in order to make the project more energy efficient and minimize the environmental impact of the project. As result of that meeting, the applicant shall seek energy efficient ("green") certification for the proposed development in accordance with the EarthCraft Communities and EarthCraft Multi-Family certification programs.

Additional Studies Performed: *Please identify any additional studies or work performed.*

Initial Noise Assessment prepared by Arpeggio Accoustic Consulting, LLC,; **Wetland and Stream Investigation Report** prepared by United Consulting.

List of Sources, Agencies and Persons Consulted:

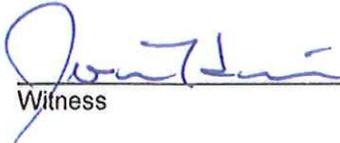
Christina Davis, Columbia Residential
HUD and HOME Environmental Questionnaire Guidance
HUD website (www.hud.gov)
HUD Handbook 1390.2 (available at www.hudclips.org)
Floodplain Management (24 CFR Part 55)
Historic Preservation (36 CFR Part 800)
Noise Abatement (24 CFR Part 51 Subpart B)
Hazardous Operations (24 CFR Part 51 Subpart C)
Airport Hazards (24 CFR Part 51 Subpart D)
Protection of Wetlands and Floodplains (E.O. 11990 and E. O. 11988)
Toxic Chemicals & Radioactive Materials (§50.3(i))
National Register of Historic Places (www.nps.gov)
Federal Emergency Management Agency (www.FEMA.gov)
United States Geologic Survey (www.usgs.gov)
United States Environmental Protection Agency (www.epa.gov)
Georgia Department of Natural Resources (<http://www.gadnr.org/>)
Georgia Environmental Protection Divisions (<http://www.gaepd.com/>)
United States Department of Fish and Wildlife (www.fws.gov)
Google Earth (www.google.earth.com)
Gwinnett County Tax Assessors Office
Gwinnett County Department of Watershed Management
Gwinnett County Department of Planning and Development
Please refer to Section 9.0 of the ESA for additional references

CERTIFICATION

COMPLETE ONLY IF PROJECT IS NEW CONSTRUCTION (see below for Rehabilitation Projects)

APPLICANT: I certify to the best of my knowledge and belief that the above statements and facts submitted are true, accurate and complete.

Signed, seated and delivered this 12th day of JUNE, 2012, in the Presence of:

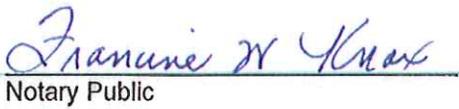


Witness

By:



Applicant



Notary Public

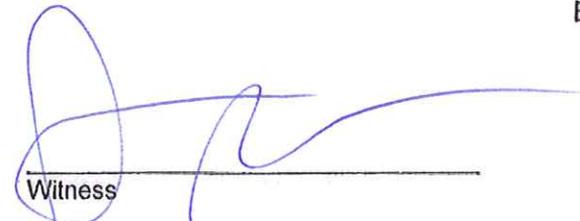
DAVID H. DIXON
MANAGER, HS PARTNERS, LLC
Name
AS: GENERAL PARTNER

My commission Expires on: 2-28-14

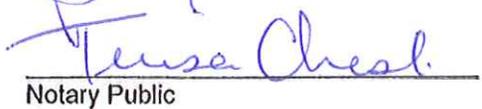


ENVIRONMENTAL PROFESSIONAL: I certify to the best of my knowledge and belief that the above statements and facts submitted are true, accurate and complete.

Signed, seated and delivered this 12th day of June, 2012, in the Presence of:



Witness



Notary Public

By:



Environmental Professional

Robert Brawner, Principal,
Name

TERESA CHESHIRE
NOTARY PUBLIC, DEKALB COUNTY, GEORGIA
MY COMM. EXPIRES 8/23/2013

My commission Expires on: 8/23/13

(Notary Seal)

Department of Planning and Development

446 West Crogan Street • Lawrenceville, GA 30046-2440
(tel) 678.518.6000
www.gwinnettcountry.com



gwinnettcountry

June 06, 2012

Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Re: **HearthSide Sugarloaf**
GCID2012-0366 - RZC2012-00005
GCID2012-0367 - SUP2012-00031
GCID2012-0368 - SUP2012-00032
District 7 - Land Lot 074 – Parcel 006
Zoning Determination Letter

To Whom It May Concern:

The 6.73 acre property located on the west of Sugarloaf Parkway extending to Atkinson Road, just south of Duluth Highway, commonly known as HearthSide Sugarloaf is currently zoned O-I Office-Institutional, and a senior retirement community development is a permitted use in that zoning district.

The applicant, Norsouth Development, requested the following:

1. GCID2012-0366 - RZC2012-00005. To rezone the 6.73 acre property from R-100 (Single Family Residence District) to O-I (Office-Institutional District), including a reduction in buffers to propose a 50-foot wide replanted buffer along the north and south property lines, and
2. GCID2012-0367 - SUP2012-00031. A Special Use Permit to allow for the construction of the independent living retirement community, and
3. GCID2012-0368 - SUP2012-00032. A second Special Use Permit to allow for an increase in building height to 49 feet.

The Gwinnett County Commissioners approved the aforementioned items during the June 5th, 2012 Business Session, subject to the following:

1. GWINNETT COUNTY BOARD OF COMMISSIONERS - Resolutions granting approval for the three above referenced cases, including itemized conditions of approval (see attached)
2. HEARTHSIDE SUGARLOAF – Conceptual Buffer Disturbance & Planting Plan by Foley Design Associates Architects, Inc. - dated 06-05-2012 (see attached)
3. HEARTHSIDE SUGARLOAF – Landscape Buffer Revegetation Plan by Foley Design Associates Architects, Inc. – dated 06-05-2012 (see attached)

These approvals permit for this property to be developed with a 110-unit, senior independent living retirement community, restricted to residents 62 years of age or older.

If you have any questions about this information, please call me at (678) 518-6000.

Sincerely,

A handwritten signature in blue ink, appearing to read "Bryan", with a long horizontal flourish extending to the right.

Bryan Lackey PE,
Director, Gwinnett County Planning and Development

Department of Water Resources



684 Winder Highway • Lawrenceville, GA 30045-5012
678.376.6700
www.gwinnettcounty.com

gwinnettcounty

PROPOSED DEVELOPMENT UTILITY LETTER

C/O NORSOUTH DEVELOPMENT
HEARTHSIDE SUGARLOAF LP MAY 1, 2012

Attention: BO JOHNSTON

2000 RIVEREDGE PKWY

SUITE 250 ATLANTA, GA. 30328

Fax #: _____ # Pages _____

Development Name: HEARTHSIDE SUGARLOAF

Location: 1625 ATKINSON RD.
LAWRENCEVILLE, GA.

DISTRICT: 7 LANDLOT: 074 PARCEL: 006

WATER AVAILABILITY:

The available utility records show that the subject development is currently in the vicinity of a 12 inch water main located on the SW right-of-way of ATKINSON RD.

Due to the uncontrollable variables, the Department of Water Resources makes no guarantees as to the minimum pressures or volumes available at a specific point within its system. Demands imposed by the proposed development may require reinforcements or extensions of existing water mains. Any cost associated with such required reinforcements or extensions will be the responsibility of the development and will not be provided by this department.

SANITARY SEWER AVAILABILITY:

The available utility records show that the subject development is currently in the vicinity of a 8 inch sanitary sewer main located CROSSING SUGARLOAF PKWY, APPROXIMATELY 50 L.F. S.E. OF THE PROPERTY

**Proposed Development Utility Letter
Sewer Availability continued**

The subject development is located within the BEAVER RUIN Service area. There are currently no connection restrictions within this service area. Treatment capacity within this area is presently available on a first come-first serve basis.

Demands imposed by the proposed development may require reinforcements or extensions of existing sewer mains. Any cost associated with such required reinforcements or extensions will be the responsibility of the development and will not be provided by this department. Developer shall provide easements for future sewer connection to all locations designated by DPU during plan review.

NOTES:

As-built information for this department is dependent upon outside entities to provide record drawings for the utilities. Therefore this department does not guarantee the accuracy of the information provided.

Extensions of the water and/or sanitary sewer systems within the subject development must conform to this department's policies and Gwinnett County's ordinances. Proceeding design, construction, inspection, and final acceptance of the required utilities, service to these utilities would then become available under the applicable utility permit rate schedules.

Respectfully,



Lauren Deaton
GIS Associate II
Gwinnett County
Department of Water Resources
Asset Management and Infrastructure Support
678-376-7139

Department of Water Resources



684 Winder Highway • Lawrenceville, GA 30045-5012
678.376.6700
www.gwinnettcounty.com

gwinnettcounty

May 29, 2012

Mr. Bo Johnston
Hearthside Sugarloaf, LP
2000 RiverEdge Parkway
Suite 950
Atlanta, GA 30328

RE: Sewer and Water Capacity for Proposed Hearthside Sugarloaf Independent Senior Living
Parcel ID 7-074-006

Dear Mr. Johnston:

This letter is to confirm that at present time Gwinnett County DWR can serve the referenced development for both water and sanitary sewer.

Sanitary sewer service can be provided by tying into the manhole located on an existing 8" gravity sewer south of the subject property. This existing 8" gravity sewer flows to larger interceptors, eventually flowing to the Beaver Ruin Pump Station. The existing system has adequate capacity at this time to serve the proposed independent senior living apartments located on the above parcel. This confirmation is based on your anticipated peak flows of 45 GPM which is equivalent to 110 units.

Water service can be provided by tapping into an existing 12" water main just south of the subject site that runs along Sugarloaf Parkway. Hydraulic modeling shows that there is adequate fire flow capacity as well.

Capacity is relegated on a first-come-first-serve basis. The County is currently making every effort feasible to insure that there is sufficient sewer capacity to serve its developmental needs. However, sewer capacity and its limitations are an issue in every basin of the County. There is no such thing as a basin within Gwinnett County with unlimited capacity. Therefore, every proposed project is reviewed and considered for its impact on the individual basins, as well as its overall system impact. Capacity is relegated to a specific project only upon issuance of a Developmental Permit, or a Building Permit by the agency having such jurisdiction.

At present time there are no sewer moratoriums within that basin in Gwinnett County. However, regulatory or court-imposed restrictions, unanticipated new development, or delays in intermediate or plant construction could result in a moratorium, which may limit development in a specific or countywide basin.

Please let me know if you have any questions.

Sincerely,

George Kaffezakis
Director, Asset Management and Infrastructure Systems

C: Charli Young, Planning Manager, Gwinnett County Planning & Development
Rudresh Bihalli, Planning Manager, Gwinnett County Water Resources

Department of Water Resources



684 Winder Highway • Lawrenceville, GA 30045-5012
678.376.6700
www.gwinnettcounty.com

gwinnettcounty

PROPOSED DEVELOPMENT UTILITY LETTER

C/O NORSOUTH DEVELOPMENT
HEARTHSIDE SUGARLOAF LP MAY 1, 2012

Attention: BO JOHNSTON

2000 RIVEREDGE PKWY

SUITE 250 ATLANTA, GA. 30328

Fax #: _____ # Pages _____

Development Name: HEARTHSIDE SUGARLOAF

Location: 1625 ATKINSON RD.
LAWRENCEVILLE, GA.

DISTRICT: 7 LANDLOT: 074 PARCEL: 006

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**Proposed Development Utility Letter
Sewer Availability continued**

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Respectfully,



Lauren Deaton
GIS Associate II
Gwinnett County
Department of Water Resources
Asset Management and Infrastructure Support
678-376-7139

Department of Water Resources



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May 29, 2012

Mr. Bo Johnston
Hearthside Sugarloaf, LP
2000 RiverEdge Parkway
Suite 950
Atlanta, GA 30328

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Please let me know if you have any questions.

Sincerely,

George Kaffezakis
Director, Asset Management and Infrastructure Systems

C: Charli Young, Planning Manager, Gwinnett County Planning & Development
Rudresh Bihalli, Planning Manager, Gwinnett County Water Resources

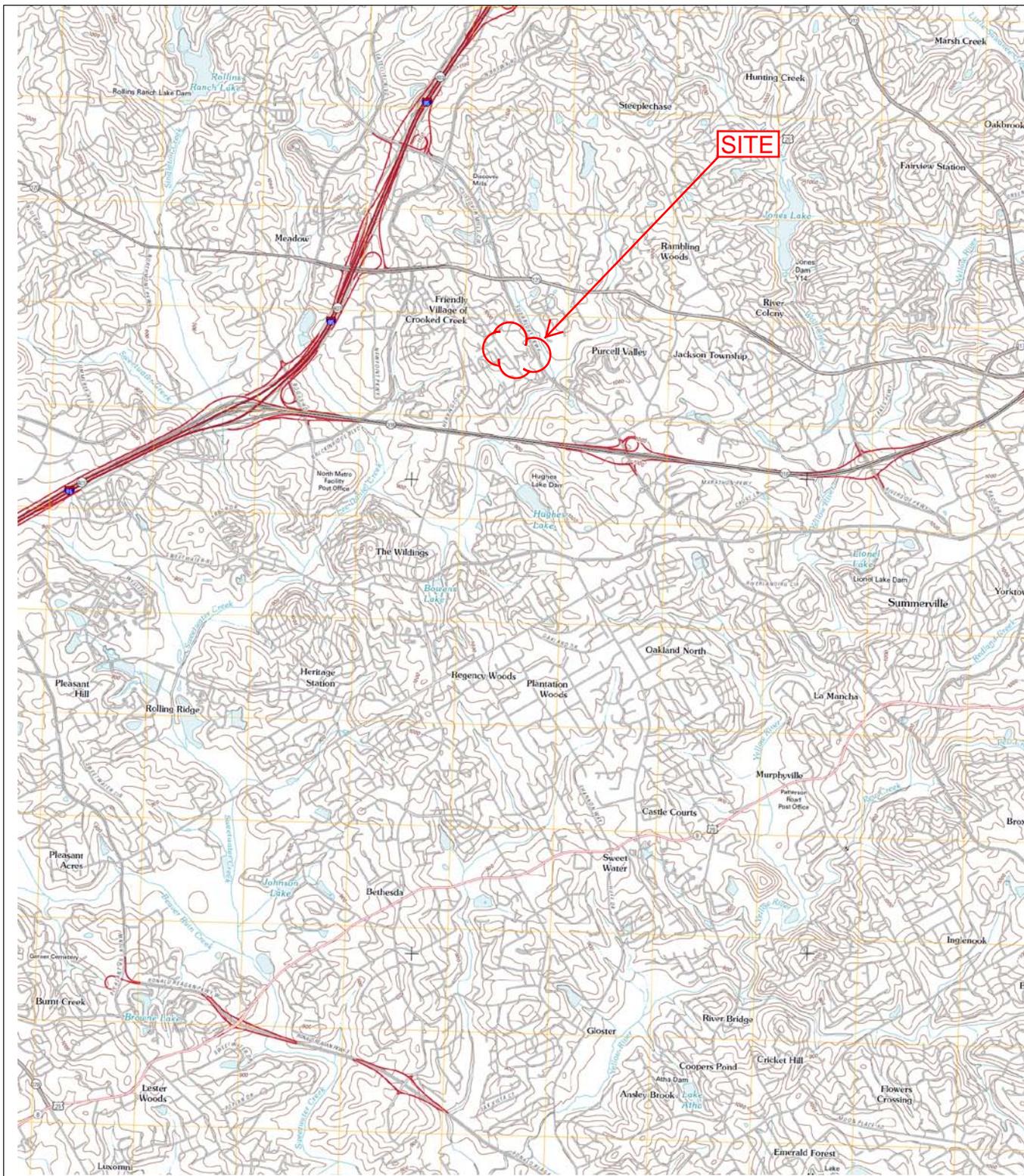
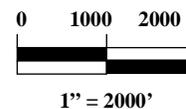


Figure 1 – Topographic Map

Map Date: 2011

**Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia**



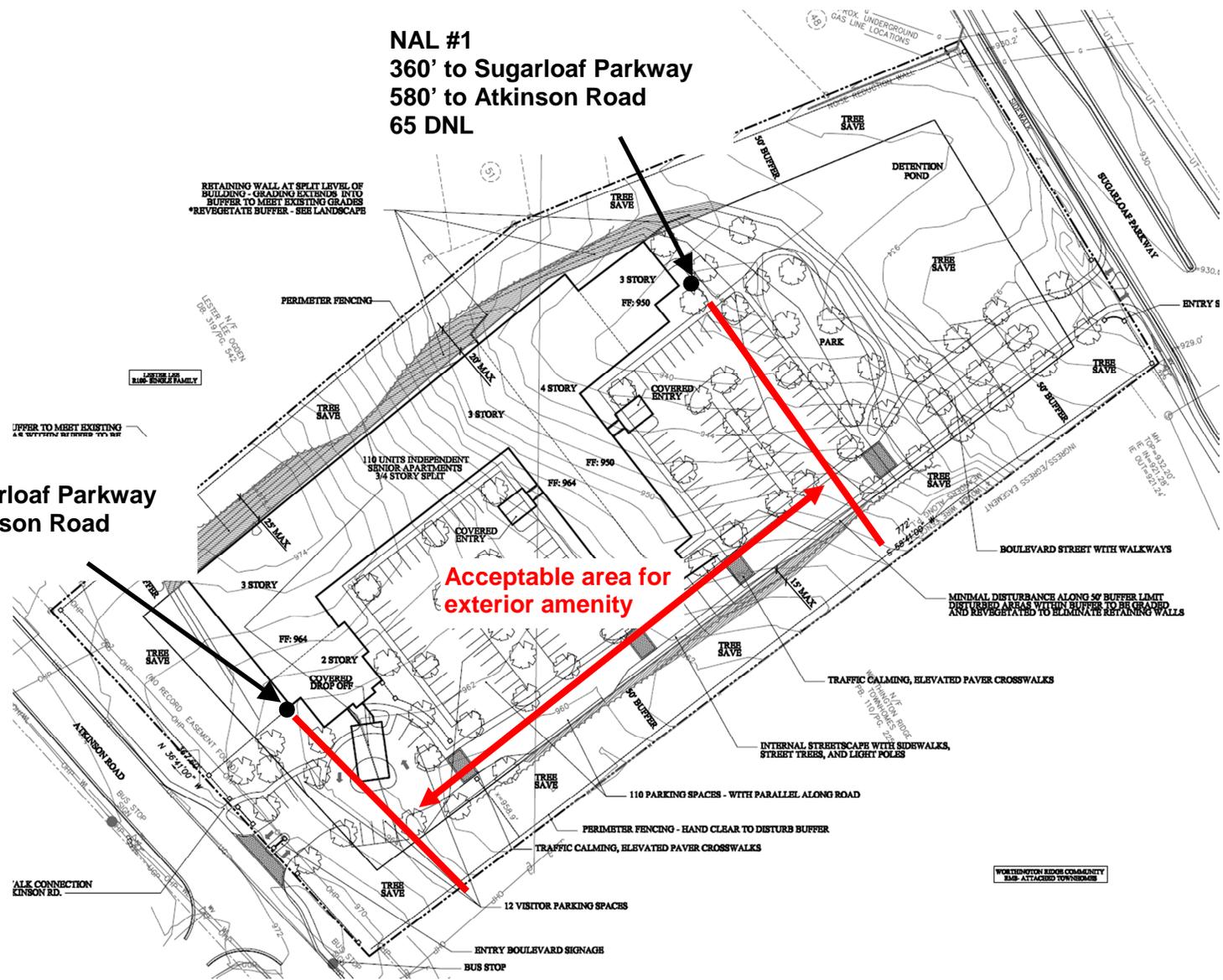
One Group Project#A2029

Source: USGS Luxomni GA Quad, 7.5-Minute, Topo

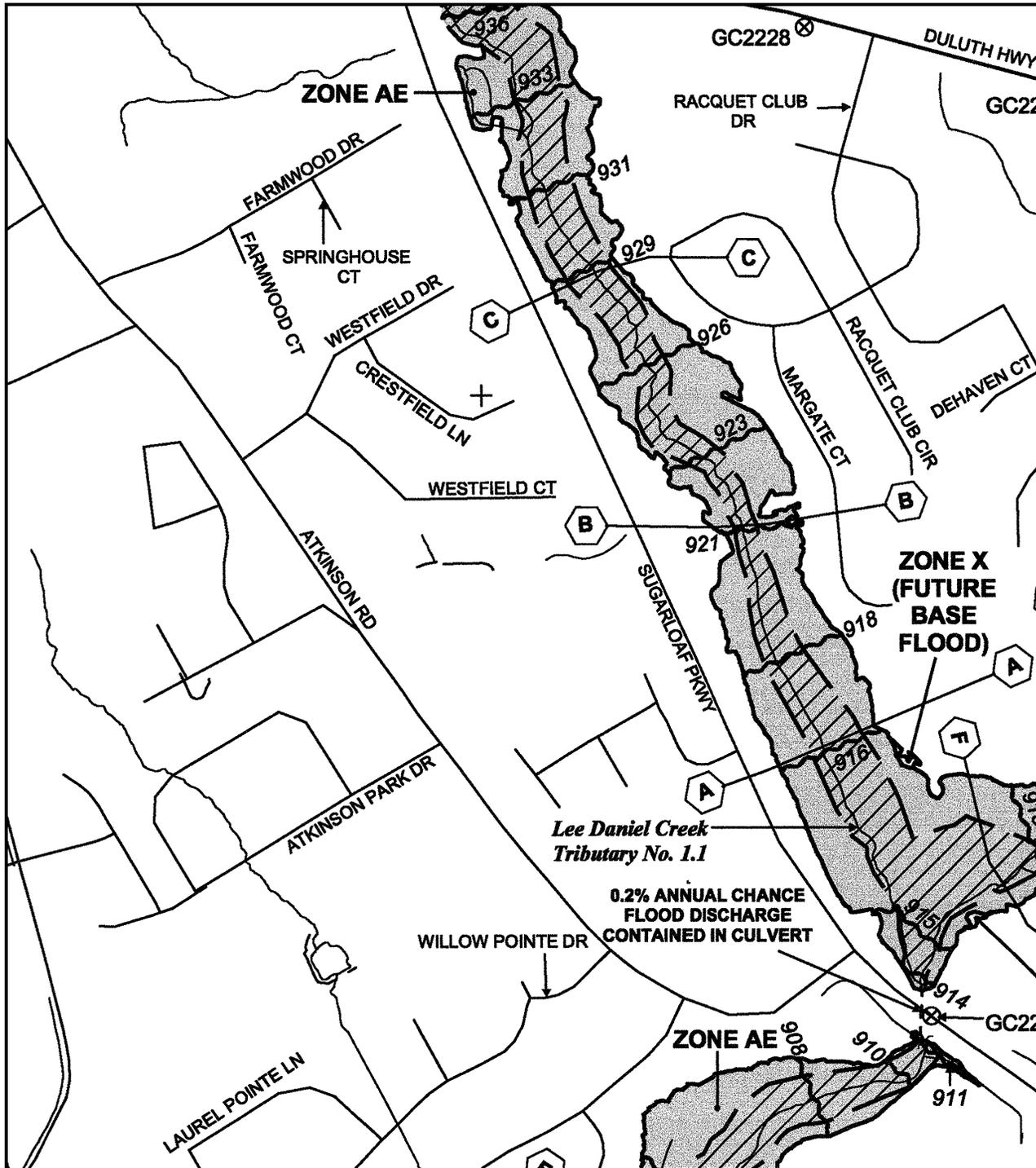


NAL #1
360' to Sugarloaf Parkway
580' to Atkinson Road
65 DNL

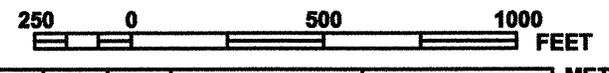
NAL #2
780' to Sugarloaf Parkway
130' to Atkinson Road
64 DNL



**Figure 1 – Conceptual site plan with NALs, Distances to Noise Sources, DNL at each NAL, and area on site acceptable for location of an exterior amenity
Norsouth Hearthside Sugarloaf, Lawrenceville, Georgia**



MAP SCALE 1" = 500'



PANEL 0071F

FIRM
FLOOD INSURANCE RATE MAP
GWINNETT COUNTY,
GEORGIA
AND INCORPORATED AREAS

PANEL 71 OF 155
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
GWINNETT COUNTY	130322	0071	F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
13135C0071F
EFFECTIVE DATE
SEPTEMBER 29, 2006

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



HISTORIC PRESERVATION DIVISION

MARK WILLIAMS
COMMISSIONER

DR. DAVID CRASS
DIVISION DIRECTOR

MEMORANDUM

TO: Robert Brawner
Project Manager
One Consulting Group, Inc.
Post Office Box 54382
Atlanta, Georgia 30308

FROM: *ecb*
Elizabeth Shirk
Environmental Review Coordinator
Historic Preservation Division

RE: Finding of "No Historic Properties Affected"

PROJECT: **Construct Hearthside @ Sugarloaf, 1625 Atkinson Rd,
Lawrenceville
Federal Agency: HUD
HP-120514-001**

COUNTY: Gwinnett

DATE: June 7, 2012

The Historic Preservation Division (HPD) has reviewed the information received concerning the above-referenced project. Our comments are offered to assist federal agencies and their project applicants in complying with the provisions of Section 106 of the National Historic Preservation Act, as amended.

Based on the information submitted, HPD has determined that no historic properties or archaeological resources that are listed in or eligible for listing in the National Register of Historic Places will be affected by this undertaking. Please note that historic and/or archaeological resources may be located within the project's area of potential effect (APE), however, at this time it has been determined that they will not be impacted by the above-referenced project. Furthermore, any changes to this project as proposed will require further review by our office for compliance with Section 106.

If we may be of further assistance, please do not hesitate to contact Erin Parr, Environmental Review Specialist, at (404) 651-6546. Please refer to the project number assigned above in any future correspondence regarding this project.

ES:kac

cc: Allison Duncan, Atlanta Regional Commission
Cassandra Knight, Georgia Department of Community Affairs



MARK WILLIAMS
COMMISSIONER

DAN FORSTER
DIRECTOR

May 21, 2012

Robert Brawner
Project Manager
One Consulting Group
P.O. Box 54382
Atlanta, GA 30308

Subject: Known occurrences of natural communities, plants and animals of highest priority conservation status on or near Proposed Hearthside at Sugarloaf, Gwinnett County, Georgia

Dear Mr. Brawner:

This is in response to your request of April 13, 2012. According to our records, within a three-mile radius of the project site there is the following Natural Heritage Database occurrence:

Panax quinquefolius (American Ginseng) approx. 2.0 mi. N of site

* Entries above preceded by "US" indicates species with federal status (Protected, Candidate or Partial Status). Species that are federally protected in Georgia are also state protected; "GA" indicates Georgia protected species.

Recommendations:

We have no records of high priority species or habitats within the project area. Because this site has already been disturbed, it is not likely to provide habitat for rare species or communities. We are concerned about aquatic habitats that could be impacted by any future construction activities. In order to protect aquatic habitats and water quality, we recommend that all machinery be kept out of creeks during construction. We urge you to use stringent erosion control practices during construction activities. Further, we strongly advocate leaving vegetation intact within 100 feet of creeks, which will reduce inputs of sediments, assist with maintaining riverbank integrity, and provide shade and habitat for aquatic species. We realize that some trees may have to be removed, but recommend that shrubs and ground vegetation be left in place.

Disclaimer:

Please keep in mind the limitations of our database. The data collected by the Nongame Conservation Section comes from a variety of sources, including museum and herbarium records, literature, and reports from individuals and organizations, as well as field surveys by our staff biologists. In most cases the information is not the result of a recent on-site survey by our

staff. Many areas of Georgia have never been surveyed thoroughly. Therefore, the Nongame Conservation Section can only occasionally provide definitive information on the presence or absence of rare species on a given site. Our files are updated constantly as new information is received. **Thus, information provided by our program represents the existing data in our files at the time of the request and should not be considered a final statement on the species or area under consideration.**

If you know of populations of highest priority species that are not in our database, please fill out the appropriate data collection form and send it to our office. Forms can be obtained through our web site (<http://www.georgiawildlife.com/node/1376>) or by contacting our office. If I can be of further assistance, please let me know.

Sincerely,



Katrina Morris
Environmental Review Coordinator

Data Available on the Nongame Conservation Section Website

- Georgia protected plant and animal profiles are available on our website. These accounts cover basics like descriptions and life history, as well as threats, management recommendations and conservation status. Visit <http://www.georgiawildlife.com/node/2721>.
- Rare species and natural community information can be viewed by Quarter Quad, County and HUC8 Watershed. To access this information, please visit our GA Rare Species and Natural Community Information page at: <http://www.georgiawildlife.com/conservation/species-of-concern?cat=conservation>.
- Downloadable files of rare species and natural community data by quarter quad and county are also available. They can be downloaded from: <http://www.georgiawildlife.com/node/1370>.

6 April 2012

SITE REVIEW AND TECHNICAL ASSISTANCE REQUEST

United States Fish and Wildlife Services
Georgia Ecological Services Field Office
105 Westpark Drive, Suite D, Athens, Georgia 30606

RECEIVED

APR 12 2012

ATHENS, GA
USFWS

**Subject: Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

**Query: Fisheries and Wildlife Management Areas
Rare Species and Species of Concern
Threatened and Endangered Species**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities. We have reviewed available information on the Georgia Nongame Conservation Section Website as well as performed an initial Site review for endangered species and their critical habitats. At this time, we have not discovered endangered species or critical habitat concerns associated with the Site.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



**Robert Brawner
Project Manager**

Attachments



U. S. Fish and Wildlife Service
105 West Park Drive, Suite D,
Athens, GA 30605
706-613-9493 Fax 706-613-6059

FWS Log No.

NG-12-155-GWIN

The service has reviewed the plans for this proposed project. Based on the information you provided, no further action is required under Section 7(a)(2) of the Endangered Species Act. However, if new information or changes in the project involve federally listed species, further consultation with the Service will be required.


Sandra S. Tucker, Field Supervisor

5/10/12
Date

NG-12-155-GWIN



May 31, 2012

HearthSide Sugarloaf, LP
c/o The Norsouth Development Company
2000 Riveredge Parkway, Suite 950
Atlanta, GA 30328

Attn: Mr. Jervon Harris

Via E-Mail: Jervon@Norsouth.com

RE: Wetland, Stream and Floodplain Evaluation
HearthSide Sugarloaf – 6.721-Acres
Atkinson Road
Gwinnett County, Georgia
Project No. 2012.3269.01

Dear Jervon:

Per your request, United Consulting has completed an investigation of the above referenced property to assess for wetlands, streams, and floodplains. As required in accordance with the Georgia Department of Community Affairs (DCA), 2012 Environmental Manual, this letter report addresses the requirements of Section 3.3: Wetlands, Section 3.4: Floodplains, and Section 3.5: State Waters. This letter report has been prepared for the use of NorSouth Development Company of Georgia, LLC, HearthSide Sugarloaf, LP, the Georgia Housing and Finance Authority (GHFA) and the DCA. Any materials referenced or presented herein are, according to United Consulting, believed to be accurate and may be relied upon by the above parties.

Site Description:

The property was located along the northeast side of Atkinson Road, southwest of and adjacent to Sugarloaf Parkway, and north of Georgia Highway 316 between the cities of Duluth and Lawrenceville, in Gwinnett County, Georgia. The property was 6.721 acres in size and was wooded at the time of our site visit. A power line traversed across the southwestern edge of the property, along Atkinson Road.

Wetlands:

A review of the National Wetland Inventory Map for the area did not indicate previously mapped wetlands on the property. The Soil Survey Map indicated Chewacla, Appling, Hard Labor, Gwinnett, and Madison soil types on the Project Site. Of these soil types, only the Chewacla soils are listed on the local hydric soils list. None of the soils are included on the national hydric soils list. The mapped Chewacla soils were limited to the very edge of the Project Site near

Sugarloaf Parkway. This soil type was not identified in the field. Soils observed in the field consisted of moderately well-drained sandy loam. Based on the observations made during our site visit on May 11, 2012, no wetlands are located on the property. The site visit was conducted by a wetlands professional with over 15 years experience.

Streams/State Waters:

The topography across the Project Site sloped gently to the east towards Sugarloaf Parkway. A slight drainage feature was observed across the eastern portion of the Project Site, sloping generally to the east. This feature originated on the northeast portion of the site and consisted of a broad, dry swale. No defined channel, standing surface water, or flowing water was observed along the feature. The swale sloped down to a pair of 36-inch concrete pipes, which extended under Sugarloaf Parkway. No streams or other surface waters were observed on the site or within 100 feet from the site. In our opinion, no state waters requiring a buffer were present on the property or within 100 feet of the site.

Floodplains:

Based on review of the Federal Emergency Management Agency (FEMA), Flood Insurance Rate Map for the project area (Panel No. 13135C 0071F, dated September 29, 2006), none of the property is mapped within the limits of the 100-year floodplain as shown on the map. Based on the floodplain map, no disturbance of the 100-year floodplain is proposed.

A copy of the USGS Topographic Map, NWI Map, Soil Survey Map, Floodplain Map, and site topographic survey are attached to this letter.

We appreciate the opportunity to assist you with this project. Please call if you have any questions concerning this report.

Sincerely,

UNITED CONSULTING



David P. Huetter
Director of Ecological Services

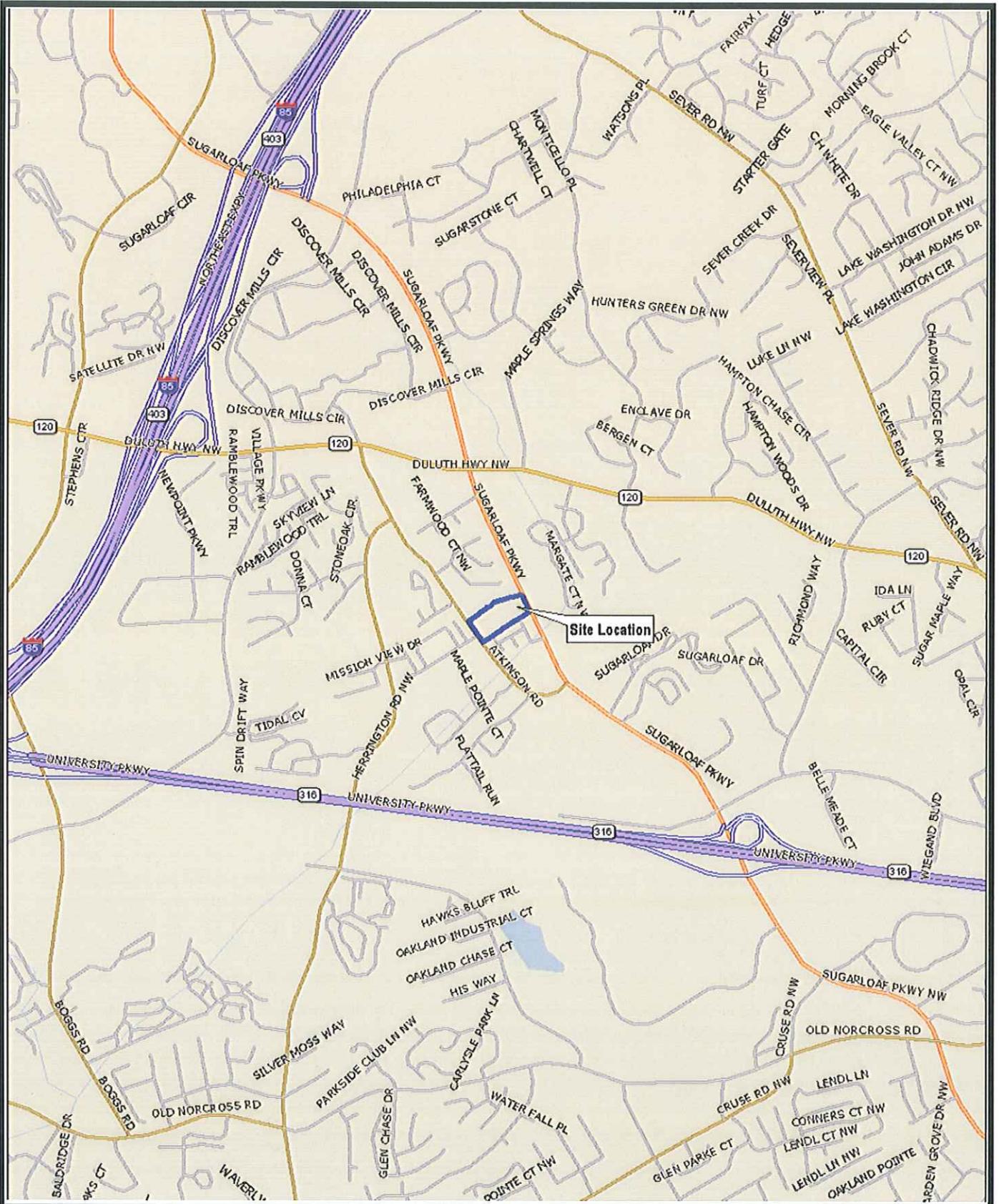


Scott D. Smelter
Principal

DPH/SDS/tl

SharePoint:/2012.3269.01/2012.3269.01.DCA-wet&flood.doc

Attachments: Site Location Map
USGS Topographic Map
National Wetland Inventory Map
Soil Survey Map
FEMA Floodplain Map
Provided Topographic Survey



Scale:	1"=2,000"
Prepared:	MGA
Checked:	
Project No.:	2012.3269.01

Client:	Norsouth Development
Site:	Hearthside Sugarloaf
Title:	Site Location Map

FIG. 1



Scale:	1"=2,000"
Prepared:	MGA
Checked:	dh
Project No.:	2012.3269.01

Client:	HearthSide Sugarloaf, LP
Site:	HearthSide Sugarloaf
Title:	USGS Topographic Map

FIG. 2



U.S. Fish and Wildlife Service

National Wetlands Inventory

May 14, 2012



Wetlands

- Freshwater Emergent
- Freshwater Forested/Shrub
- Estuarine and Marine Deep
- Estuarine and Marine
- Freshwater Pond
- Lake
- Riverine
- Other

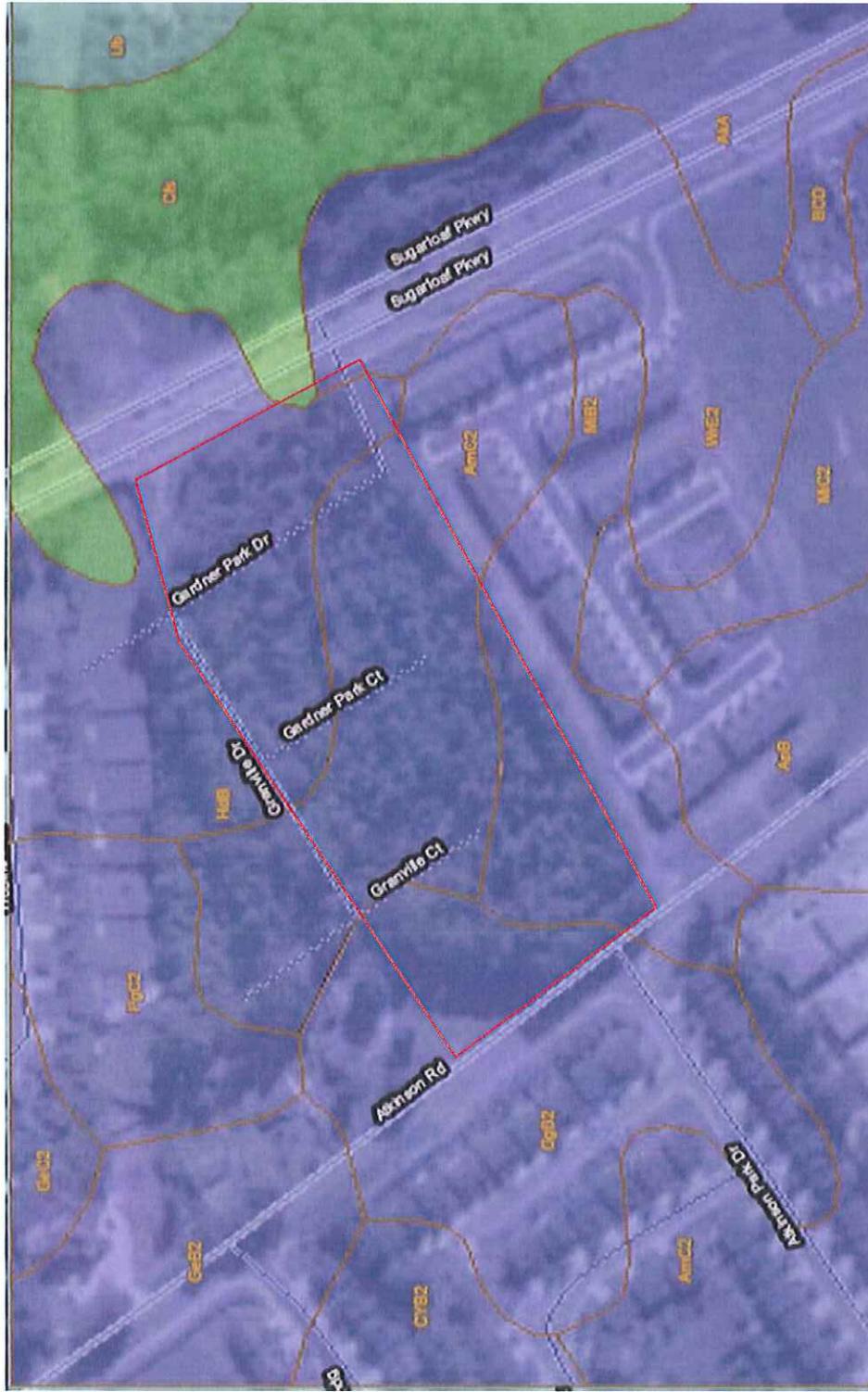


Scale:	As Shown
Prepared:	MGA
Checked:	dh
Project No.:	2012.3269.01

Notes:

Client:	HearthSide Sugarloaf, LP
Site:	HearthSide Sugarloaf
Title:	USFWS Wetland Map

Fig. 3



Map Unit Symbol	Map Unit Name	Rating
Cfs	Chewacla Soils	Local Hydric
HdB	Hard Labor sandy loam, 2 to 6 percent slopes	Not Hydric
AmC2	Appling sandy loam, 6 to 10 percent slopes, eroded	Not Hydric
GgB2	Gwinnett loam, 2 to 6 percent slopes, eroded	Not Hydric
MIB2	Madison sandy clay loam, 2 to 6 percent slopes, eroded	Not Hydric





We're here for you
UNITED CONSULTING



Scale: As Shown

Prepared: MGA

Checked: dh

Project No.: 2012.3269.01

Notes:

Client: **HearthSide Sugarloaf, LP**

Site: **HearthSide Sugarloaf**

Title: **USDA Soils Map**

Fig. 4

APPENDIX S
OPERATION AND MAINTENANCE MANUAL

NOT APPLICABLE

APPENDIX T
PREVIOUS REPORTS
(PRIOR PHASE I AND PHASE II)

NOT APPLICABLE

APPENDIX U
OTHER

NOT APPLICABLE

ATTACHMENT 1, PHASE II REPORT

May 12, 2012

Georgia Department of Community Affairs
Office of Affordable Housing
60 Executive Park South NE
Atlanta, Georgia 30329

Attention: **Sandy Gamble Wyckoff**

Subject: **Proposed Phase II Environmental Site Assessment
Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
One Group Project #A2029**

Sandy,

One Consulting Group, Inc. (One Group), on behalf of Hearthside Sugarloaf, LP is pleased to provide this proposed Phase II Environmental Site Assessment (Phase II) scope of work for the above-referenced property (Site).

Background

Hearthside Sugarloaf, LP is performing due-diligence activities at the Site in preparation for its subsequent acquisition. After acquisition, the Site will be developed as a seniors apartment complex. A copy of Site plan is attached.

Proposed Scope of Work

During the course of an Environmental Site Assessment (Phase I), an on-Site recognized environmental condition was identified in association with the Site. The following summarizes the recognized environmental conditions as well as the proposed assessment to mitigate the risk associated with it.

Potential for Impact from Petroleum Hydrocarbons from on-Site Sources: A petroleum pipeline crosses the Sites northern corner boundary. This below-grade utility has the potential to impact the Site soil and groundwater with petroleum hydrocarbons. The potential impact pathway is soil and groundwater migration. The identified, on-Site recognized environmental condition's location is depicted on the attached Figure.

Two temporary soil borings, installed around the on-Site petroleum pipeline, will be sampled using dedicated bailers. A soil vapor screening will be performed during the soil boring installation, and a soil sample will be obtained above groundwater or at a depth exhibiting the highest organic vapor concentration. Groundwater depth measurements will be obtained to estimate an inferred, groundwater flow map of the Site.

Soil and groundwater samples obtained will be analyzed for volatile organic compounds USEPA Method 8260. USEPA Method 8260 specifically targets regulated constituents of petroleum hydrocarbons. All Site investigation procedures will be performed in accordance with the published USEPA Region IV guidance documents "EISOPQAM" dated November 2007, and "SESD Field Branches Quality System and Technical Procedures".

Analytical Laboratory

All laboratory analysis will be performed by Analytical Environmental Services, Inc. (NELAP Certification #E87582) at their laboratory in Norcross, Georgia.

Report Submittal

The Phase II Report will be performed under the supervision of, reviewed, signed, and certified by an Environmental Professional, using the Environmental Consultant Signature Page for Phase II Reports. It will summarize with figures and tables all analytical data, including sample depths.

A comparison with all applicable state and federal notification and/or cleanup standards will be provided both in the report and in the tables. The Phase II Report will contain a cost estimate for any necessary environmental remediation, broken down into total estimated costs, with itemized estimated costs for each separate activity. Attached is a cost estimate for the proposed scope of work.

Closure

Thank you for the opportunity to be of service. If you have any questions, please feel free to call.

Sincerely,

One Consulting Group, Inc.



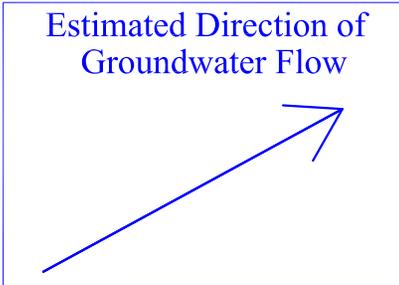
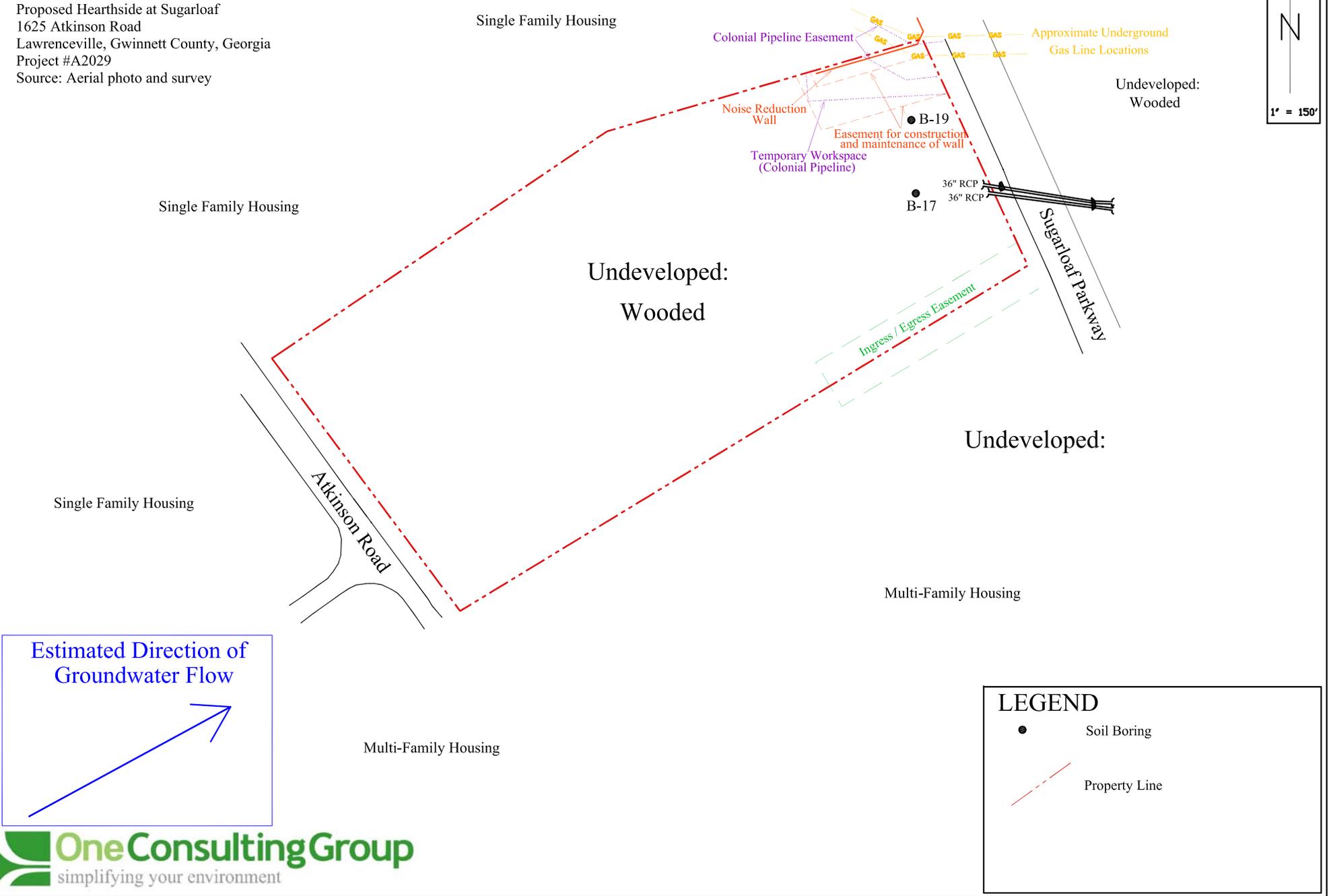
Robert Brawner
Principal

Cc: Jervon Harris, Norsouth Companies
Cassandra Knight, Georgia Department of Community Affairs

Attachments Petroleum Pipeline and Soil Boring Locations
Project Cost Estimate

Figure 2 Existing Site Plan

Proposed Hearthside at Sugarloaf
 1625 Atkinson Road
 Lawrenceville, Gwinnett County, Georgia
 Project #A2029
 Source: Aerial photo and survey



LEGEND

- Soil Boring
- - - Property Line

PROJECT ESTIMATE

Client: NorSouth Development Company of Georgia, LLC
 Contact: Jervon Harris
 Phone: 678-460-2868
 Email: Jervon@norsouth.com
 Address: 2000 RiverEdge Parkway, Suite 950, Atlanta, Georgia 30328

Date: 5/11/2012
 Proposal No. A2029.02

Project: Modified Phase II Subsurface Investigation

Location: Hearthside at Sugarloaf
 1425 Atkinson Road
 Rome, Floyd County, Georgia 30161

Scope: Mobilize to the Site with rotary auger drilling equipment
 Install two soil borings to groundwater and obtain groundwater sample
 Perform soil vapor screening during soil boring installation
 Obtain soil samples based on vapor screening findings
 Laboratory analyze environmental media as per listed analysis
 Perform a water well receptor survey
 Prepare and submit a report complete with figures and tables to client

Description	Qty	Units	Rate	Total
<u>Drilling subcontractor (cost + 10%)</u>				
Performed by others	N/A	x	1.10	N/A
<u>Lab Analysis (cost + 10%)</u>				
Soil VOC (EPA Method 8260)	2	x	120.00	240.00
Water VOC (EPA Method 8260)	2	x	120.00	240.00
<u>Personnel</u>				
Principal	4	hours	150.00	600.00
Project Manager	6	hours	85.00	510.00
Project Personnel	12	hours	70.00	840.00
CAD Draftsman	2	hours	52.00	104.00
<u>Project Expenses (Cost +10%)</u>				
Mileage	100	x	0.55	55.00
Photoionization detector	1	day	225.00	225.00
Water level meter	1	day	35.00	35.00

No disposal costs are included in this estimate, as soil and groundwater media generated from drilling are not expected to be hazardous materials at this time.

Project Total \$2,849.00

Terms and conditions listed on the following pages.
 Accepted and Agreed to this 11 Day of May, 2012

NorSouth Development Company of Georgia, LLC

By: _____

Title: _____

Jervon Harris

 VICE PRESIDENT
 DEVELOPMENT

One Consulting Group, Inc.

RS

Certified Hazardous Materials Manager #1349:
 Principal

TERMS AND CONDITIONS (2012)

DEFINITIONS. When used herein, the terms, “we”, “us”, or “our” and “Consultant” refer to One Consulting Group, Inc. and the terms “you”, “your”, “he”, “his”, “it”, and “its” refer to Client.

SERVICES TO BE PROVIDED. One Consulting Group, Inc. and/or its assigns, affiliates, or branches, as an independent contractor and consultant, agrees to provide Client for its sole benefit and exclusive use consulting services set forth in the proposal attached hereto (the “Proposal;” such services described in and/or related to the Proposal, the “Services”). Professional services provided by us will be performed, findings obtained, and recommendations prepared in accordance with generally accepted principles and practices in a manner consistent with the level of care and skill ordinarily exercised by members of the Consultant’s profession currently practicing in the State of Georgia. NO OTHER REPRESENTATION, WARRANTY, GUARANTEE, EXPRESS OR IMPLIED, IS INTENDED. THIS WARRANTY IS IN LIEU OF ALL OTHER WARRANTIES EITHER EXPRESS OR IMPLIED.

RIGHT OF ENTRY. Client grants a right of entry to Consultant, its agents, staff, consultants, and contractors or subcontractors, for the purpose of performing and with the right to perform all acts, studies, and research including without limitation the making of test and evaluations pursuant to the agreed services. Client represents that he has the authority to grant the right of entry to Consultant, and that he possesses all necessary permits and licenses required for continuation of its activities at the site.

ON-SITE PERSONNEL The presence of our field personnel either full- or part-time will be for the purpose of providing observation and field testing of specific aspects of the project. Should a contractor be involved in the project, our work does not include supervision or direction of the actual work of the contractor, his employees or agents, and you are responsible for advising any and all contractors of same. You shall inform the contractor that neither the presence of our field representative nor the observation and testing by us shall excuse the contractor in any way for defects discovered in contractor’s work. It is agreed that we will not be responsible for job or site safety on the project.

BILLING AND PAYMENT. Unless otherwise indicated in our Proposal, our billings will be based on actual accrued time, test costs, and expenses. Client agrees to pay each invoice upon receipt. Should payment not be received within 30 days, the amount due shall bear a service charge of 1 1/2 percent per month (18 percent per year) and all costs of collection, including reasonable attorneys’ fees, if collected by law or through an attorney. If 1 1/2 percent per month exceeds the maximum allowed by law, the charge will automatically be reduced to the maximum legally allowed. If Client has any objections to any invoice or part thereof submitted by Consultant, it shall so advise us in writing giving its reasons within 14 days of receipt of such invoice. If Client objects to any portion of an invoice, Client shall nevertheless timely pay the undisputed amount of such invoice. Client agrees it will not exercise any right of set-off it has under any continuing agreement with Consultant or any right of set-off provided by law or at equity. No deduction shall be made from Consultant’s invoice on account of penalty, liquidated damages, or other sums withheld from payments to contractors or others. Payment of the invoice shall constitute final approval as to all aspects of the work performed to date as well as the necessity thereof. If the project is terminated in whole or in part then Client shall timely pay us for services performed prior to our receiving or issuing written notice of such termination, in addition to our reimbursable expenses and any shut down costs incurred. Shut down costs may, at our sole discretion, include completion of analysis and records necessary to document our files and protect our professional reputation. Client’s obligation to pay for the services performed by Consultant is in no way contingent upon Client’s ability to obtain financing, zoning, approval or governmental or regulatory agencies, final adjudication of lawsuit in which Consultant is not involved, or upon Client’s successful completion of the project. If Client fails to timely pay an invoice, Consultant may at any time, without waiving any other claim against Client and without thereby incurring any liability to Client, suspend or terminate performance of the Services.

DAMAGE AT SUBJECT PROPERTY. We will not be liable for any property damage or bodily injury arising from damage to or interference with property improvements and/or surface or subterranean structures (including, without limitation, pipes, tanks, telephone cables, etc.) which are not called to our attention in writing and correctly shown on plans furnished by the Client in connection with the Services. Client recognizes that the use of exploration and test equipment may unavoidably affect, alter, or damage property improvements, terrain and affect subsurface, vegetation, buildings, structures and equipment in, at, or upon the site. Client accepts the fact that this is inherent to our work and will not hold us liable or responsible for any such effect, alteration, or damage. All laboratory or field equipment contaminated in performing our services and which cannot be reasonably decontaminated shall become the property and responsibility of the Client. All such equipment shall be delivered to Client or disposed of as mutually agreed in writing. Client agrees to pay the fair market value of any such equipment which cannot reasonably be decontaminated.

Client understands that the discovery of certain hazardous substances and conditions and/or the taking of preventative measures relative to these substances and conditions may result in a reduction of the value of the property upon which the substance or condition is found to exist or the preventative measures are taken. Accordingly, Client waives any claim against Consultant and its subcontractors and agrees to defend, indemnify and hold Consultant and its subcontractors harmless from any claim based upon the diminished value of property allegedly arising from the discovery of a hazardous substance or condition or the taking of preventative measures, unless such claim is based on the gross negligence or willful misconduct of Consultant.

PUBLIC LIABILITY/THIRD PARTY MATTERS. Consultant maintains workers’ compensations and employer’s liability for our employees as required by state laws. In addition, we maintain comprehensive general liability insurance with limits of \$2,000,000. A Certificate of Insurance can be supplied evidencing such coverage. We will not be liable or responsible for any loss, damage or liability beyond the amounts limits, coverage, or conditions of such insurance specified above. In the event any third party brings suit or claim for damages against us alleging exposure to or damage from material, elements, or constituents at or from Client’s facility before, during, or after the performance of the Services that are alleged to have resulted in or caused disease or any adverse health condition to any third party or resulting in cost for remedial action, uninhabitability of the property, or other property damage, then, unless solely caused by Consultant’s negligence, Client agrees to defend us in any such suit or claim and pay on our behalf any attorney’s fees, litigation expenses, and costs that arise as part of our defense, and to pay any judgment resulting against us, including any attorney’s fees, costs, and interest thereon. Client will have the right to investigate, negotiate and settle, with our concurrence, any such suit or claim, and we will cooperate in the defense of any such suit or claim.

LIMITATION OF LIABILITY. “LIMITATION BENEFICIARIES” shall mean, collectively and individually, Consultant, Consultant’s partners (general and/or limited), parent, affiliate or subsidiary companies, joint venturers, subcontractors and subconsultants, if any, as well as the liability of the officers, directors, employees, shareholders, partners (general and/or limited), members, managers, representatives, contractors and subcontractors (at all tiers) and agents of all of the foregoing. For the additional consideration of the value of the rights and duties created by this provision, the sufficiency and adequacy thereof being acknowledged hereby by Consultant and Client, Client agrees that the maximum liability of the LIMITATION BENEFICIARIES to Client or any third party due to the any one or more of the LIMITATION BENEFICIARIES’ acts, errors or omissions or breach of the Proposal or these terms and conditions shall be limited by Client to a total maximum aggregate amount of the lesser of (i) the total amount paid by Client to Consultant as of the date such claim shall arise (ii) \$50,000 (U.S.). In addition, Client waives any and all claims for consequential, special or punitive damages against the LIMITATION BENEFICIARIES and agrees to assert only direct damage claims against the LIMITATION BENEFICIARIES, subject in every respect to the quantitative limitation set forth in the preceding sentence. This provision has been negotiated by the parties.

SAMPLING HANDLING AND RETENTION. Generally, test samples or specimens are consumed or substantially altered during the conduct of tests and Consultant, at its sole discretion, will dispose of any remaining residue upon completion of tests, unless otherwise mutually agreed in writing between the parties. Client recognizes and agrees that we are acting as a bailee and at no time assume title to said waste.

HAZARDOUS SUBSTANCES OR CONSTITUENTS. Client agrees to advise us in writing before execution of the Proposal of any known or suspected hazardous substances or any condition existing in, on, or near the site, included but not limited to known or suspected hazardous substances or conditions which may present a potential danger to human health, the environment, or equipment. Consultant's performance of the Services shall be conditioned upon the accuracy of such Client-furnished information. During our performance of the Services, Client agrees to provide continuing information relating to the project to us in writing as it comes to the attention of Client. By virtue of entering into the Proposal or of providing services thereunder, we do not assume control or responsibility for the site or the person in charge of the site, or undertake responsibility for reporting to any federal, state, or local public agencies and conditions at the site that may present a potential danger to public health, safety, or the environment. Client agrees to notify the appropriate federal, state, or local public agencies as required by law, or otherwise to disclose in a timely manner, any information that may be necessary to prevent any danger to health, safety, or the environment. In connection with hazardous waste, Client agrees to the maximum extent permitted by law to defend, hold harmless and indemnify Consultant from and against any and all claims and liabilities resulting from: (a) Client's violation of any federal, state, or local statute, regulation, or ordinance relating to the disposal of hazardous substances or constituents; (b) Client's undertaking of or arrangement for the handling, removal, treatment, storage, transportation, or disposal of hazardous substances or constituents found or identified at the site; (c) Changed conditions or hazardous substances or constituents introduced at the site by Client or third persons before or after the completion of services herein; (d) Allegations that Consultant is a handler, generator, operator, treater, storer, transporter, or disposer under the Resource Conservation and Recovery Act of 1976 as amended, or any other similar Federal, state, or local regulations or law.

UNFORESEEN OCCURRENCES. If, during the performance of the Services, any unforeseen hazardous substances or constituents or other unforeseen conditions or occurrences are encountered which, in our sole judgment significantly affect or may affect the Services, the risk involved in providing the Services, or the recommended scope of Services, we will make reasonable efforts to notify Client thereof. Subsequent to that notification, Consultant may: (a) if practicable, in its sole judgment, complete the original scope of services in accordance with the procedures originally intended in the Proposal; (b) agree with Client to modify the scope of services and the estimate of charges to include study of the previously unforeseen condition or occurrences, such revision to be in writing and signed by the parties and incorporated herein; or (c) terminate the Services effective on the date specified by us in writing. Consultant shall not be responsible or liable for delays caused by circumstances beyond Consultant's control, including without limitation, acts of God, acts and/or omissions of federal, state or local governmental authorities and regulatory agencies, acts of Client and its contractors, strikes, riots, civil unrest, terrorism, and war.

DOCUMENTS. Consultant will furnish Client the agreed upon written reports and supporting documents. These instruments of services are furnished for Client's exclusive internal use and reliance, use of Client's counsel, use of Client's qualified bidders (design services only) and for regulatory submittal in connection with the project or the Services, but not for advertising or other type of distribution, and are subject to the following:

(a) All documents generated by Consultant under the Proposal and/or relating to the Services shall remain the sole property of Client. Any unauthorized use or distribution of Consultant's work shall be at Client's and recipient's sole risk. Consultant may retain a confidential file copy of its work product and related documents.

(b) If Client desires to release, or for Consultant to provide, our report(s) to a third party not described above for that party's reliance, Consultant may permit such release provided all sums due Consultant have been paid in full and we receive written acceptance from such third party to be bound by acceptable terms and conditions similar to those contained herein (e.g. Secondary Client Agreement). Reports provided for disclosure of information only will not require separate agreement. Client acknowledges and agrees to inform such third party that Consultant's report(s) reflects conditions only at the time of the study and may not reflect conditions at a later time. Client further acknowledges that such request for release creates a potential conflict of interest for Consultant and by this request Client waives any such claim if Consultant complies with the request.

(c) Client agrees that all documents furnished to Client or Client's agents or designees, if not paid for, will be returned upon demand and will not be used by Client or any other entity for any purpose whatsoever. Client further agrees that documents produced by Consultant pursuant to the Proposal will not be used for any project not expressly provided for in the Proposal without Consultant's prior written approval.

(d) Client shall furnish documents or information reasonably within Client's control and deemed necessary by Consultant for proper performance of the Services. Consultant, without further investigation or inquiry, may rely upon Client-provided documents in performing the Services, and Consultant assumes no responsibility or liability for their accuracy. Client provided documents will remain the property of Client, but Consultant may retain one confidential file copy as needed to support our report.

INTEGRATION. These Terms and Conditions are incorporated into and integrated with the Proposal. If there exist any conflict between the terms of the Proposal and these terms and conditions, then the terms contained in the Proposal shall control.

CLAIMS. If Client brings a claim against us for any matter arising out of or related to the Proposal, Client shall pay all our costs, including, without limitation, our personnel-related costs, attorneys' fees, court costs, and other claim-related expenses, including without limitation, costs, fees, and expenses of experts if we are the prevailing party. Client agrees that for the purposes of this provision it has failed to prove its claim when judgment in litigation is for a sum of money less than that sum offered by us to resolve the matter without litigation.

GENERAL. In the event that any provision herein shall be deemed invalid or unenforceable, the other provisions hereof shall remain in full force and effect, and binding upon Consultant, Client and their respective successors and assigns. All obligations arising prior to the termination of our engagement under the Proposal and all provisions of hereof allocating responsibility or liability between Client and Consultant shall survive the completion of the Services and the termination of our engagement under the Proposal. The Proposal, these terms and conditions, and any and all documents attached hereto and which are incorporated herein constitute the entire agreement between Consultant and Client and cannot be changed except by a written instrument agreed upon by both parties. Headings are provided for convenience purposes only and have no legal effect or intent. The Proposal shall be governed in all aspects by the laws of the State of Georgia. Any disputes arising out of the Proposal shall be brought exclusively in the state or federal courts in Fulton County, Georgia, and Client waives all objections regarding venue or jurisdiction.

June 14, 2012

Hearthside Sugarloaf, LP
2000 RiverEdge Parkway, Suite 950
Atlanta, Georgia 30328

Attention: **Jervon Harris**

Subject: **Phase II Environmental Site Assessment
Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
One Group Project #A2029**

Jervon:

One Consulting Group, Inc., (One Group) is pleased to provide this Phase II Environmental Site Assessment performed on the above-referenced property (Site). This scope of work was performed in strict accordance with our executed proposal A2029.02 dated May 11, 2012, using the American Society for Testing and Materials "Standard Guide for Environmental Site Assessments: Phase II Environmental Site Assessment Process", Designation: E 1903-97 (2002) as a guide. The Site location is presented on Figure 1 of Appendix I.

Hearthside Sugarloaf LP, The Georgia Department of Community Affairs, and the Georgia Housing and Finance Authority may rely on this report. One Group, its employees, assigns, and/or subcontractors, are not affiliated with the lender or owner/developer or buyer or seller of this project.

Background

Hearthside Sugarloaf Limited Partnership is performing due-diligence activities at the Site in preparation for its subsequent development. The Site is 6.721 acres of undeveloped land. A Site Map is provided on Figure 2 of Appendix I.

Recognized Environmental Condition

Potential for Impact from Petroleum Hydrocarbons from on-Site Sources: A petroleum pipeline easement intersects the Site's north east corner. This below-grade utility has the potential to impact the Site soil and groundwater with petroleum hydrocarbons. The potential impact pathway is soil and groundwater migration. The identified, on-Site recognized environmental condition's location is depicted on the attached Figure 2 of Appendix I.

Based on the above, a Phase II scope of work approval request was submitted to the Georgia Department of Community Affairs on May 12, 2012. A response to this request has not been received at this time. A copy of this document is provided in Appendix VI. A Phase II Environmental Site Assessment was performed at the Site to assess the potential for impact from the identified, on-Site recognized environmental conditions.

Applicable Standards

Reportable limits for regulated contaminant concentrations in the Site soil and groundwater are defined by Georgia Environmental Protection Division (EPD) Rules: “Water Quality Control” Chapter 391-3-6 (authorized by OCGA 12-5-20 & 12-5-520); “Hazardous Site Response” Chapter 391-3-19 (authorized by OCGA 12-8-60, 12-8-90, & 12-8-200); and “Underground Storage Tank Management” Chapter 391-3-15 (authorized by OCGA 12-31-1). Site soil and groundwater impacted with petroleum hydrocarbon constituents above laboratory detection limits require reporting and subsequent governmental review. Notification concentrations for individual constituents of concern are depicted on the summary tables in Appendix II.

Potential Receptor Survey

Surface Water Bodies

The Site is located in a lower pollution susceptibility area, as defined by the Groundwater Pollution Susceptibility Map of Georgia, Georgia Geologic Survey Hydrologic Atlas 20. According to the U.S. Geological Survey Topographic map, 7.5-Minute, Luxomni, Georgia, Quadrangle dated 2011; an unnamed perennial stream flows northwest to southeast across Sugarloaf Parkway from the Site’s eastern boundary. The topographic map is presented as Figure 1 of Appendix I.

Drinking Water Receptors

Based on a review of available USGS water well records and a driving reconnaissance of the area surrounding the Site, two active drinking water supply wells were identified within a one-mile radius of the Site. A copy of the drinking water receptor survey is included in Appendix IV.

Environmental Investigation

One Group personnel mobilized to the Site on May 25, 2012. This investigation was performed in accordance with the published USEPA Region IV guidance documents “EISOPQAM” dated November 2007, and “SESD Field Branches Quality System and Technical Procedures”.

Groundwater was measured and samples were obtained from two soil borings, B-17 and B-19. Groundwater was encountered in borings B-17 and B-19 at depths of 18.5 feet and 17 feet below ground surface, respectively. A groundwater depth map was prepared from these measurements that documents estimated groundwater flow to the north-east across the Site.

Groundwater samples were obtained from the soil borings using dedicated, disposable, polyethylene bailers. The groundwater samples were field preserved, labeled, placed on ice, and transported to the laboratory under standard Chain of Custody protocols. The soil boring locations are presented on Figure 2 of Appendix I.

Soil samples were field screened for volatile organic vapors utilizing a photo-ionization detector and a vacuum pump. Organic vapor readings exceeding background concentrations were not encountered.

Laboratory Analytical Methods and Certifications

Soil and groundwater samples obtained from the Site's soil borings were laboratory analyzed for volatile organic compounds USEPA Method 8260. USEPA Method 8260 specifically targets regulated constituents of petroleum hydrocarbons.

Laboratory analysis was performed by Analytical Environmental Services, Inc., (NELAP Certification #E87582) at their laboratory in Atlanta, Georgia. A copy of their laboratory certification is provided in Appendix IV.

The required laboratory stipulation is provided on the laboratory analytical report cover pages in Appendix IV, as well.

Laboratory Analytical Results

Volatile organic compounds were not detected above laboratory detection limits in any soil and/or groundwater sample obtained from soil borings at the Site.

Laboratory analytical results are summarized on Tables in Appendix II, and are provided in their entirety in Appendix III.

Conclusions

Organic vapor readings were not encountered above background concentrations in the Site subsurface. Based on the laboratory analytical reports, a reportable release of volatile organic compounds was not discovered in the Site soil or groundwater. It is our professional opinion that the Site soil and groundwater are not contaminated with petroleum hydrocarbons above reportable standards.

Recommendations

Based on the laboratory analytical data obtained to date, no further investigation is recommended to assess the potential for impact from the identified, on-Site recognized environmental condition.

Closure

The environmental consultant signature page is included in Appendix VII.

Thank you for the opportunity to be of service. If you have any questions, please feel free to call.

Sincerely,
One Consulting Group, Inc.



Robert Brawner, CHMM #13495
Principal

Attachments

Appendix I
Appendix II
Appendix III
Appendix IV
Appendix V
Appendix VI
Appendix VII

Figures
Tables
Potential Receptor Survey
Laboratory Analytical Reports
Soil Boring Logs
Scope of Work Approval Request
Environmental Consultant Signature Page

APPENDIX I

FIGURES

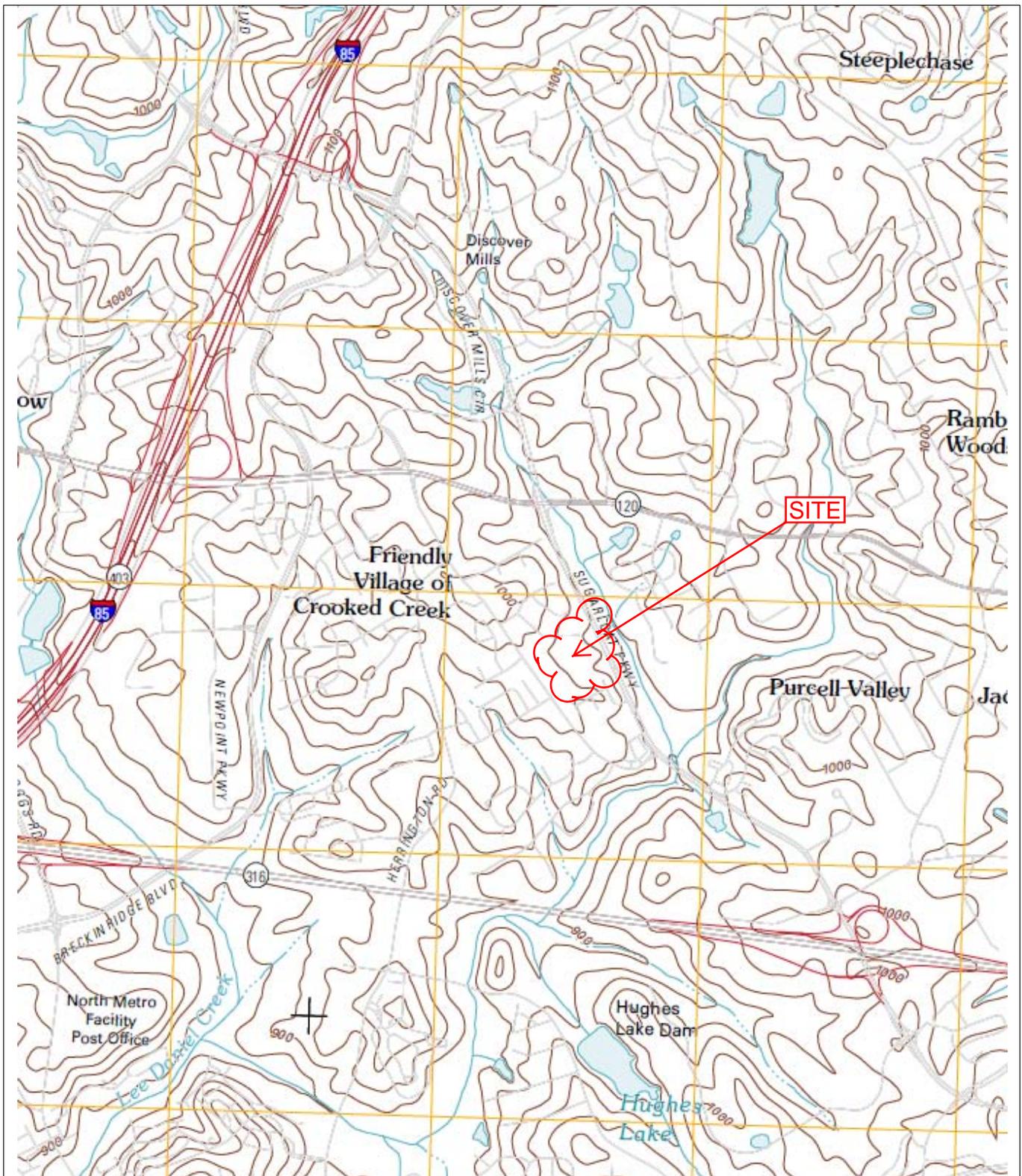
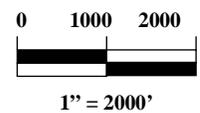


Figure 1 –Site Location Map

Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia



One Group Project#A2029

Source: USGS Luxomni GA Quad, 7.5-Minute, Topo

Figure 2 Existing Site Plan

Proposed Hearthside at Sugarloaf
 1625 Atkinson Road
 Lawrenceville, Gwinnett County, Georgia
 Project #A2029
 Source: Aerial photo and survey

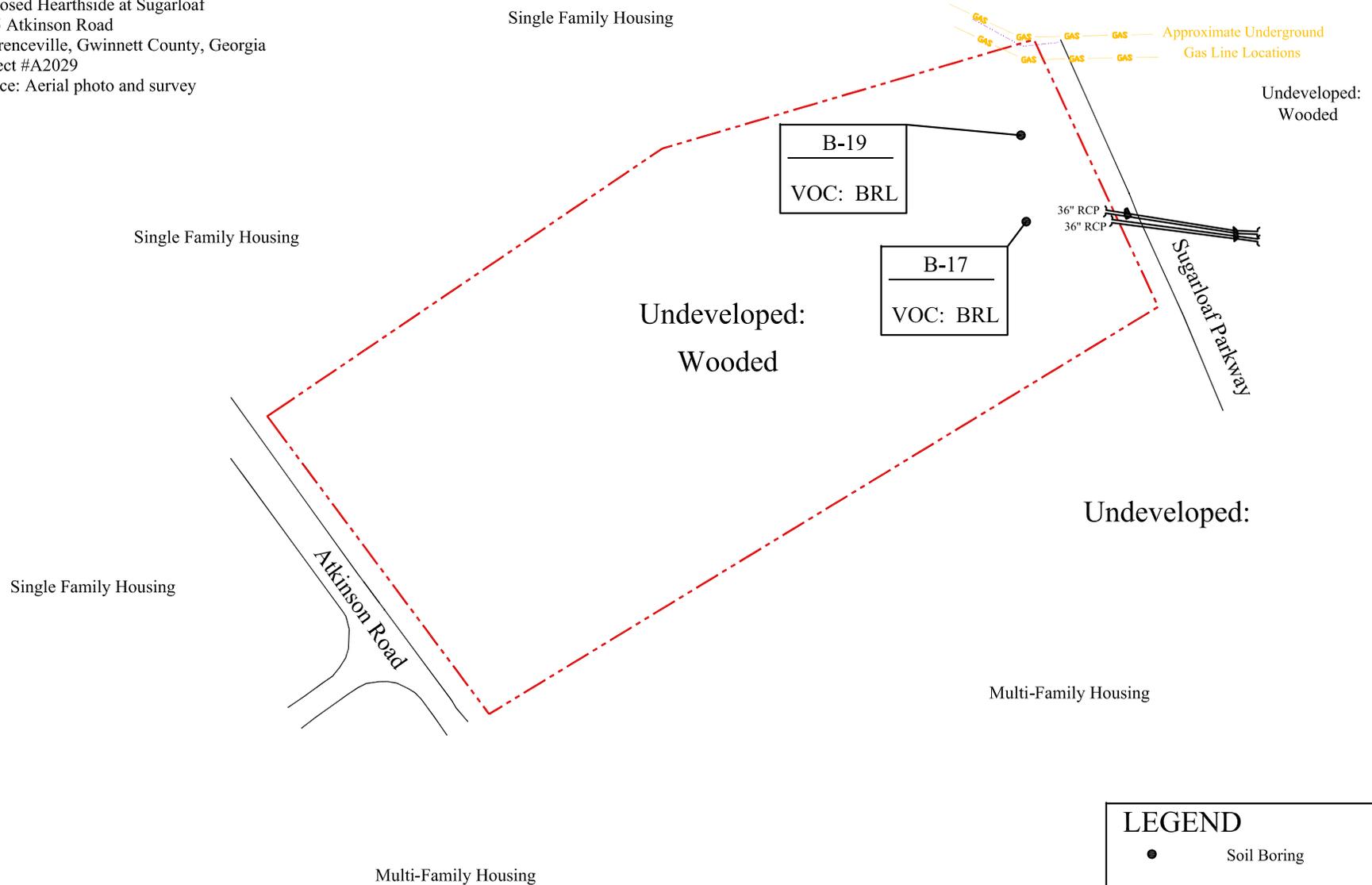


LEGEND

- Soil Boring
- - - Property Line

Figure 3 Groundwater Analytical (5.25.2012)

Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia
Project #A2029
Source: Aerial photo and survey



LEGEND

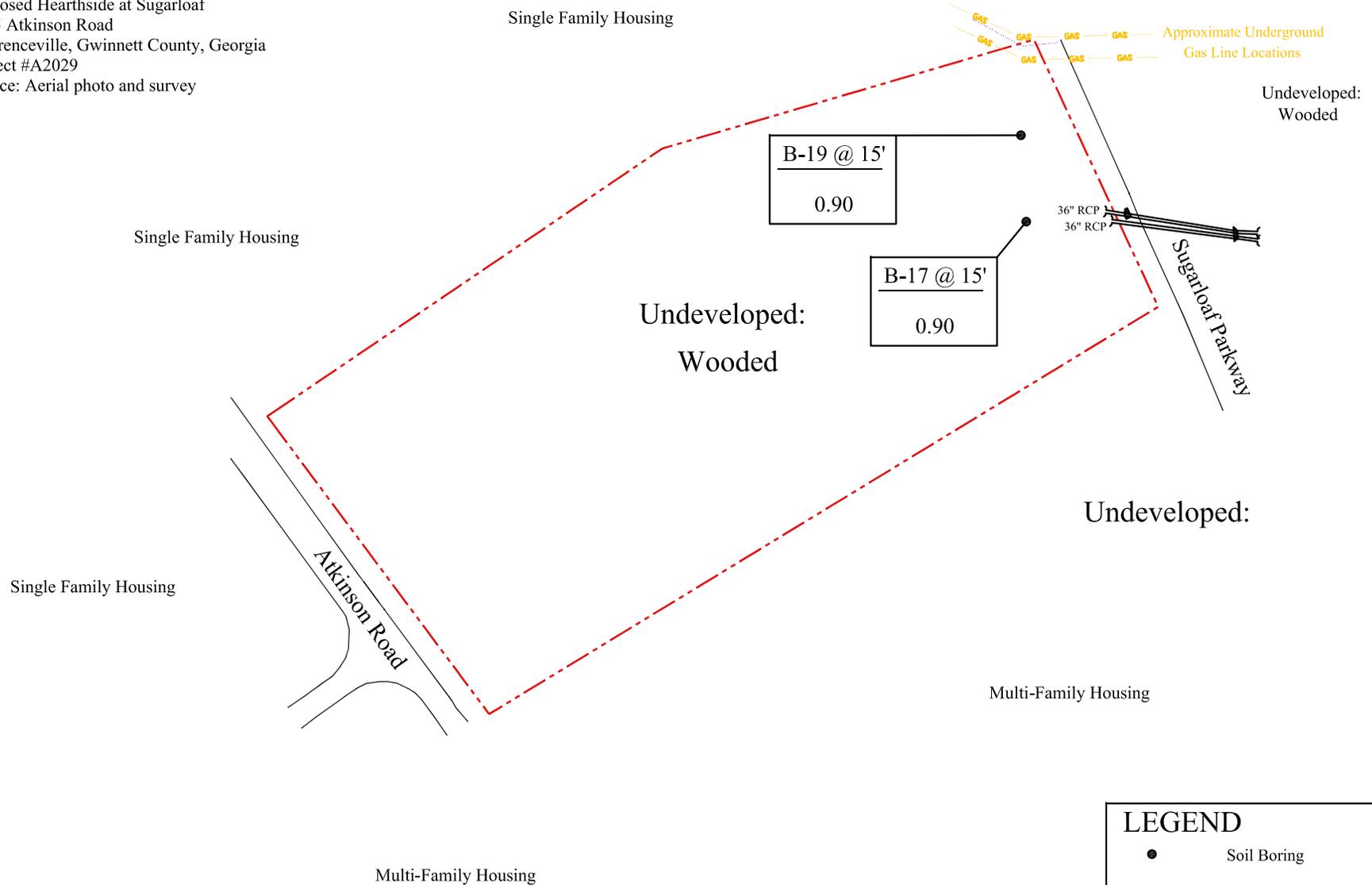
- Soil Boring

All Volatile Organic Compounds (VOC) are Below Reporting Limits (BRL)

Groundwater results are in ug/L or ppb

Figure 4 Soil Vapor Readings (5.25.2012)

Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia
Project #A2029
Source: Aerial photo and survey



LEGEND

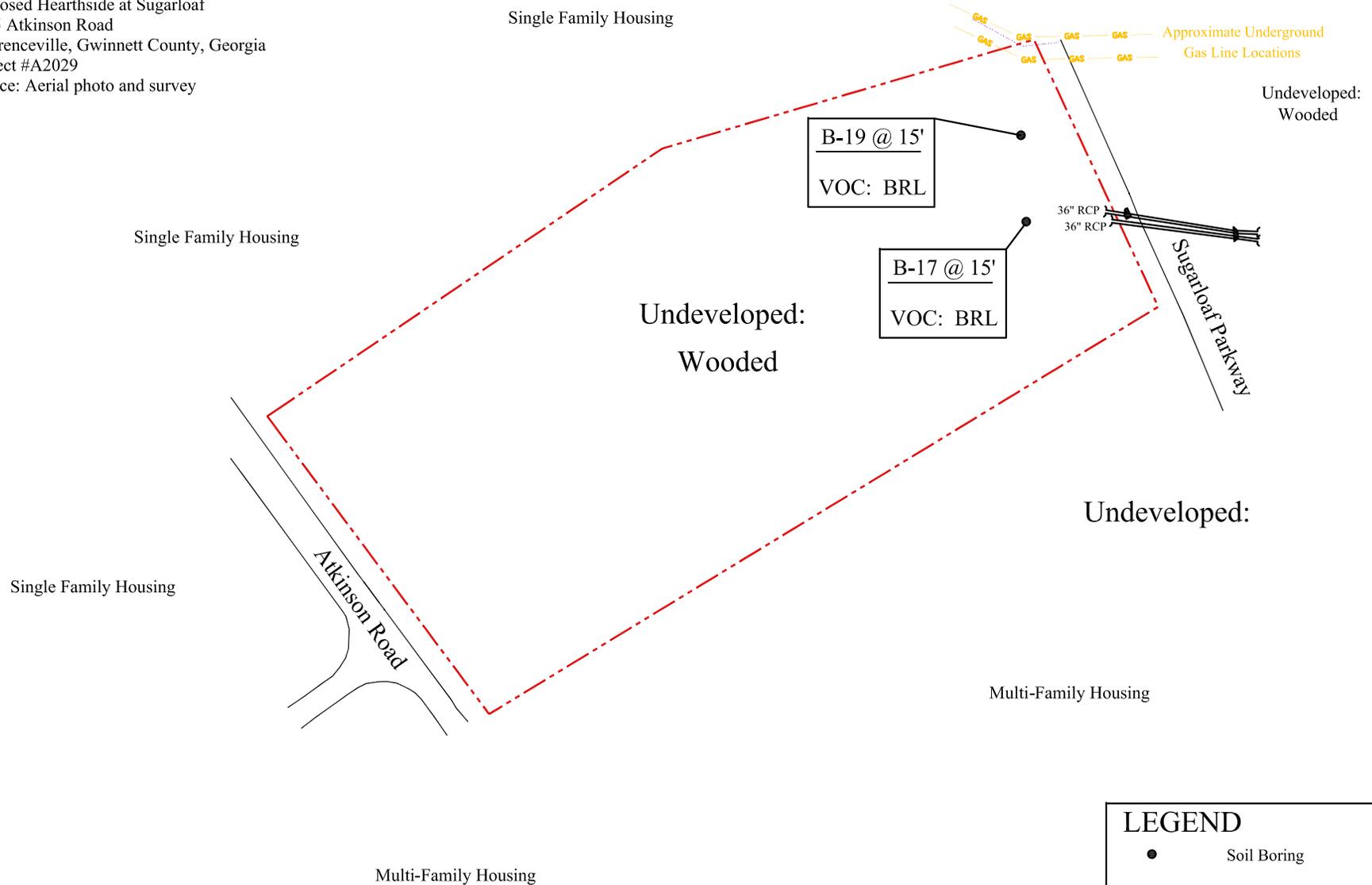
- Soil Boring

Vapor Analysis Readings taken with a MiniREA 2000 Portable VOC Monitor

Vapor Analysis Readings are in ppm

Figure 5 Soil Analytical (5.25.2012)

Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia
Project #A2029
Source: Aerial photo and survey



LEGEND

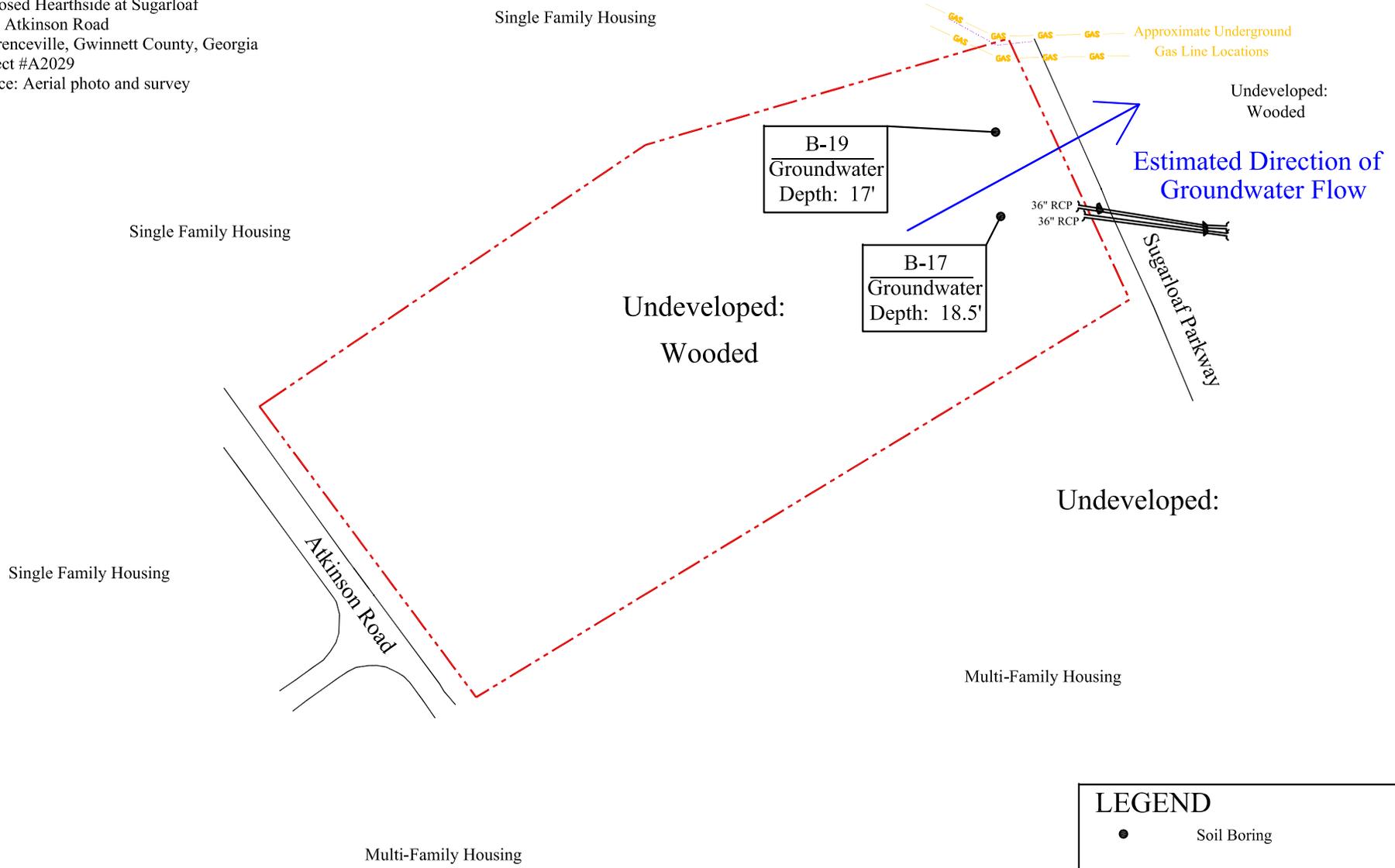
- Soil Boring

All Volatile Organic Compounds (VOC) are Below Reporting Limits (BRL)

Soil results are in mg/Kg or ppm

Figure 6 Groundwater Depth (5.25.2012)

Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia
Project #A2029
Source: Aerial photo and survey



LEGEND

- Soil Boring

APPENDIX II

TABLES

Hearthside at Sugarloaf
 1625 Atkinson Road
 Lawrenceville, Gwinnett County, Georgia 30043
 One Group Project # A2029

TABLE 1: SOIL VAPOR ANALYSIS

Sample Location	Date Sampled	PID Vapor Reading		
		Depth (bgs): 5'	Depth (bgs): 10'	Depth (bgs): 15'
B-17	5.25.2012	1.00	0.90	0.90
B-19	5.25.2012	0.90	1.15	0.90

N/A - Not applicable

 = Soil sample depth

Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
One Group Project # A2029

TABLE 2: GROUNDWATER ELEVATIONS

Soil Boring Number	Date Measured	Ground Elev. (ft)	Water Depth (ft)	Corrected GW Elev. (ft)
B-17	5.25.2012	NM	18.50	NA
B-19	5.25.2012	NM	17.00	NA

Hearthside at Sugarloaf
 1625 Atkinson Road
 Lawrenceville, Gwinnett County, Georgia 30043
 One Group Project # A2029

TABLE 3: SOIL QUALITY
 (Volatile Organic Compounds USEPA Method 8260)

Sample Location	Date Sampled	Depth (feet)	Concentrations in parts per million (mg/Kg)							Total VOCs
			Benzene	Ethyl-Benzene	Toluene	Xylenes	Tetrachloroethene	Trichloroethene	Acetone	
B-17	5.25.2012	15'	BRL	BRL	BRL	BRL	BRL	BRL	BRL	N/A
B-19	5.25.2012	15'	BRL	BRL	BRL	BRL	BRL	BRL	BRL	N/A
Notification Concentration			0.020	20	14	20	0.180	0.500	2.74	N/A
Toxicity Value			4	2	2	2	4	4	2	N/A

N/A - Not applicable, BRL - Not detected above method detection limits, NT - not tested

Hearthside at Sugarloaf
 1625 Atkinson Road
 Lawrenceville, Gwinnett County, Georgia 30043
 One Group Project # A2029

TABLE 4: GROUNDWATER QUALITY
 (Volatile Organic Compounds USEPA Method 8260)

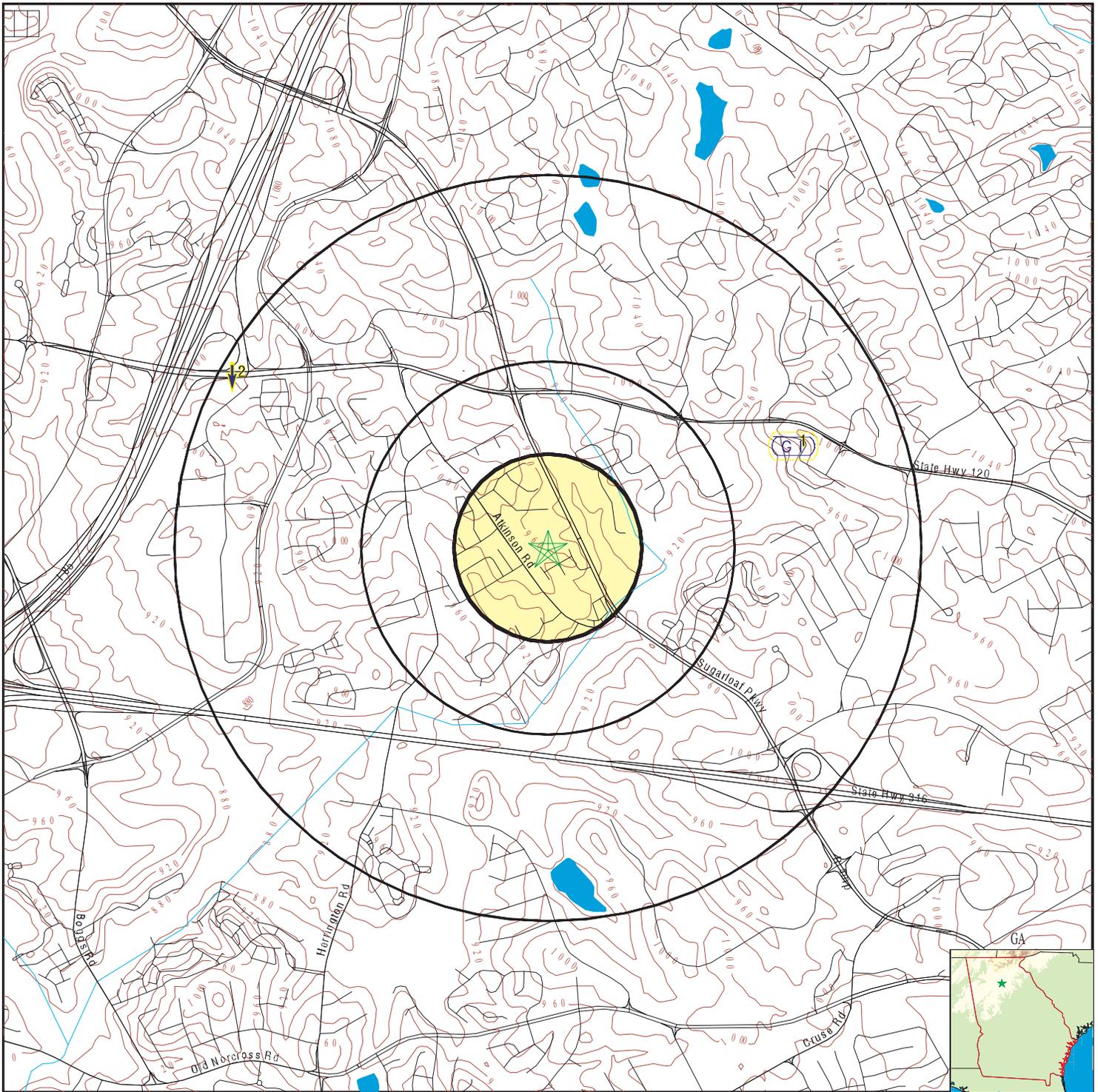
Sample Location	Date Sampled	Depth (feet)	Concentrations in parts per billion (ug/L)										Total VOCs	
			Benzene	Ethyl-Benzene	Toluene	Xylenes	Tetrachloroethene	Trichloroethene	cis-1,2-Dichloroethene	Methyl tert-butyl ether	Vinyl Chloride	trans-1,2-Dichloroethene		
B-17	5.25.2012	17.0	BRL	BRL	BRL	BRL	BRL	BRL	BRL	BRL	BRL	BRL	BRL	N/A
B-19	5.25.2012	18.5	BRL	BRL	BRL	BRL	BRL	BRL	BRL	BRL	BRL	BRL	BRL	N/A
MCL			5	700	1,000	10,000	5	5	5	N/A	2	100	N/A	
Toxicity Value			4	2	2	2	4	4	4	N/A	16	4	N/A	

N/A - Not applicable, BRL - Not detected above method detection limits, NT - not tested

APPENDIX III

DRINKING WATER WELL SURVEY

PHYSICAL SETTING SOURCE MAP - 3297868.2s



-  County Boundary
-  Major Roads
-  Contour Lines
-  Earthquake epicenter, Richter 5 or greater
-  Water Wells
-  Public Water Supply Wells
-  Cluster of Multiple Icons
-  Groundwater Flow Direction
-  Wildlife Areas
-  Indeterminate Groundwater Flow at Location
-  Groundwater Flow Varies at Location

SITE NAME: Hearthside At Sugarloaf
 ADDRESS: 1625 Atkinson Road
 Lawrenceville GA 30043
 LAT/LONG: 33.9699 / 84.0722

CLIENT: One Consulting Group, Inc.
 CONTACT: Brawner
 INQUIRY #: 3297868.2s
 DATE: April 06, 2012 9:59 am

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

1 ENE 1/2 - 1 Mile Higher	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	0-670379 Not Reported 19 Not Reported Not Reported 8/31/1995	AQUIFLOW	22734
--	---	---	-----------------	--------------

2 WNW 1/2 - 1 Mile Higher	Site ID: Groundwater Flow: Shallow Water Depth: Deep Water Depth: Average Water Depth: Date:	9-000612 S 15.83 36.60 Not Reported 11/25/1997	AQUIFLOW	26829
--	---	---	-----------------	--------------

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

Federal EPA Radon Zone for GWINNETT County: 1

- Note: Zone 1 indoor average level > 4 pCi/L.
- : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.
- : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for GWINNETT COUNTY, GA

Number of sites tested: 44

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	2.402 pCi/L	89%	11%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	3.057 pCi/L	89%	11%	0%

APPENDIX IV

LABORATORY ANALYTICAL REPORTS



ANALYTICAL ENVIRONMENTAL SERVICES, INC.

May 31, 2012

Robert Brawner
One Consulting Group, Inc.
P.O. Box 54382
Atlanta GA 30308

TEL: (678) 313-7594
FAX:

RE: Hearthside Sugarloaf

Dear Robert Brawner:

Order No: 1205L26

Analytical Environmental Services, Inc. received 2 samples on 5/25/2012 12:15:00 PM for the analyses presented in following report.

No problems were encountered during the analyses. Additionally, all results for the associated Quality Control samples were within EPA and/or AES established limits. Any discrepancies associated with the analyses contained herein will be noted and submitted in the form of a project Case Narrative.

AES' certifications are as follows:

- NELAC/Florida Certification number E87582 for analysis of Environmental Water, soil/hazardous waste, and Drinking Water Microbiology, effective 07/01/11-06/30/12.
- AIHA Certification ID #100671 for Industrial Hygiene samples (Organics, Inorganics), Environmental Lead (Paint, Soil, Dust Wipes, Air), and Environmental Microbiology (Fungal) effective until 09/01/13.

These results relate only to the items tested. This report may only be reproduced in full.

If you have any questions regarding these test results, please feel free to call.

James Forrest
Project Manager



ANALYTICAL ENVIRONMENTAL SERVICES, INC
 3785 Presidential Parkway, Atlanta GA 30340-3704
 TEL: (770) 457-8177 / TOLL-FREE (800) 972-4889 / FAX: (770) 457-8188

CHAIN OF CUSTODY

Work Order: 105226
 Date: 5/25/12 Page 1 of 1

COMPANY: **One Group**
 ADDRESS: **P.O. Box 54382 Atlanta, GA 30308**

PHONE: **404 815 8005**
 FAX: **404 815 8002**

SAMPLED BY: **Sam Urban**
 SIGNATURE: *[Signature]*

#	SAMPLE ID	SAMPLED			Grab	Composite	Matrix (See codes)
		DATE	TIME				
1	B17	5/25/12	10:35 AM	X		GM	
2	B19	5/25/12	9:20 AM	X		GM	
3							
4							
5							
6							
7							
8							
9							
10							
11							
12							
13							
14							

REQUISITIONED BY	DATE/TIME	RECEIVED BY	DATE/TIME
Sam Urban	5/25/12 12:15	[Signature]	5/25/12 12:15

ANALYSIS REQUESTED

092870V																			
---------	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

REMARKS: **GM @ 18:51 3**
GM @ 17:1 3

SPECIAL INSTRUCTIONS/COMMENTS: **8-Day Turn**

SHIPMENT METHOD: **OUT VIA COURIER**

PROJECT NAME: **Headside Sugarleaf**

PROJECT #: **A2025.02**

SITE ADDRESS: **1625 Atkinson Rd**

SEND REPORT TO: **Sam Urban / Robert B. Lewis**

INVOICE TO: **(IF DIFFERENT FROM ABOVE)**

QUOTE #: _____

PROJECT INFORMATION

PROJECT NAME: **Headside Sugarleaf**

PROJECT #: **A2025.02**

SITE ADDRESS: **1625 Atkinson Rd**

SEND REPORT TO: **Sam Urban / Robert B. Lewis**

INVOICE TO: **(IF DIFFERENT FROM ABOVE)**

QUOTE #: _____

RECEIPT

Total # of Containers: **6**

Turnaround Time Request: **8-Day**

Standard 5 Business Days

2 Business Day Rush

Next Business Day Rush

Same Day Rush (auth req.)

STATE PROGRAM (if any): _____

E-mail? Y / N: _____ Fax? Y / N: _____

DATA PACKAGE: I II III IV

Client: One Consulting Group, Inc.	Client Sample ID: B17
Project Name: Hearthside Sugarloaf	Collection Date: 5/25/2012 10:35:00 AM
Lab ID: 1205L26-001	Matrix: Groundwater

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
TCL VOLATILE ORGANICS SW8260B (SW5030B)								
1,1,1-Trichloroethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
1,1,2,2-Tetrachloroethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
1,1,2-Trichloroethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
1,1-Dichloroethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
1,1-Dichloroethene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
1,2,4-Trichlorobenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
1,2-Dibromo-3-chloropropane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
1,2-Dibromoethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
1,2-Dichlorobenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
1,2-Dichloroethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
1,2-Dichloropropane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
1,3-Dichlorobenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
1,4-Dichlorobenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
2-Butanone	BRL	50		ug/L	162072	1	05/31/2012 11:06	SB
2-Hexanone	BRL	10		ug/L	162072	1	05/31/2012 11:06	SB
4-Methyl-2-pentanone	BRL	10		ug/L	162072	1	05/31/2012 11:06	SB
Acetone	BRL	50		ug/L	162072	1	05/31/2012 11:06	SB
Benzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Bromodichloromethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Bromoform	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Bromomethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Carbon disulfide	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Carbon tetrachloride	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Chlorobenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Chloroethane	BRL	10		ug/L	162072	1	05/31/2012 11:06	SB
Chloroform	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Chloromethane	BRL	10		ug/L	162072	1	05/31/2012 11:06	SB
cis-1,2-Dichloroethene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
cis-1,3-Dichloropropene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Cyclohexane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Dibromochloromethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Dichlorodifluoromethane	BRL	10		ug/L	162072	1	05/31/2012 11:06	SB
Ethylbenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Freon-113	BRL	10		ug/L	162072	1	05/31/2012 11:06	SB
Isopropylbenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
m,p-Xylene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Methyl acetate	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Methyl tert-butyl ether	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Methylcyclohexane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Methylene chloride	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
o-Xylene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB

Qualifiers:

- * Value exceeds maximum contaminant level
- BRL Below reporting limit
- H Holding times for preparation or analysis exceeded
- N Analyte not NELAC certified
- B Analyte detected in the associated method blank
- > Greater than Result value

- E Estimated (value above quantitation range)
- S Spike Recovery outside limits due to matrix
- Narr See case narrative
- NC Not confirmed
- < Less than Result value
- J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc

Date: 31-May-12

Client: One Consulting Group, Inc.	Client Sample ID: B17
Project Name: Hearthside Sugarloaf	Collection Date: 5/25/2012 10:35:00 AM
Lab ID: 1205L26-001	Matrix: Groundwater

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
TCL VOLATILE ORGANICS SW8260B					(SW5030B)			
Styrene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Tetrachloroethene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Toluene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
trans-1,2-Dichloroethene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
trans-1,3-Dichloropropene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Trichloroethene	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Trichlorofluoromethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:06	SB
Vinyl chloride	BRL	2.0		ug/L	162072	1	05/31/2012 11:06	SB
Surr: 4-Bromofluorobenzene	93.2	67.4-123		%REC	162072	1	05/31/2012 11:06	SB
Surr: Dibromofluoromethane	115	75.5-128		%REC	162072	1	05/31/2012 11:06	SB
Surr: Toluene-d8	93.2	70-120		%REC	162072	1	05/31/2012 11:06	SB

Qualifiers:

- * Value exceeds maximum contaminant level
- BRL Below reporting limit
- H Holding times for preparation or analysis exceeded
- N Analyte not NELAC certified
- B Analyte detected in the associated method blank
- > Greater than Result value

- E Estimated (value above quantitation range)
- S Spike Recovery outside limits due to matrix
- Narr See case narrative
- NC Not confirmed
- < Less than Result value
- J Estimated value detected below Reporting Limit

Client: One Consulting Group, Inc.	Client Sample ID: B19
Project Name: Hearthside Sugarloaf	Collection Date: 5/25/2012 9:20:00 AM
Lab ID: 1205L26-002	Matrix: Groundwater

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
TCL VOLATILE ORGANICS SW8260B (SW5030B)								
1,1,1-Trichloroethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
1,1,2,2-Tetrachloroethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
1,1,2-Trichloroethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
1,1-Dichloroethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
1,1-Dichloroethene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
1,2,4-Trichlorobenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
1,2-Dibromo-3-chloropropane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
1,2-Dibromoethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
1,2-Dichlorobenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
1,2-Dichloroethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
1,2-Dichloropropane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
1,3-Dichlorobenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
1,4-Dichlorobenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
2-Butanone	BRL	50		ug/L	162072	1	05/31/2012 11:35	SB
2-Hexanone	BRL	10		ug/L	162072	1	05/31/2012 11:35	SB
4-Methyl-2-pentanone	BRL	10		ug/L	162072	1	05/31/2012 11:35	SB
Acetone	BRL	50		ug/L	162072	1	05/31/2012 11:35	SB
Benzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Bromodichloromethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Bromoform	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Bromomethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Carbon disulfide	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Carbon tetrachloride	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Chlorobenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Chloroethane	BRL	10		ug/L	162072	1	05/31/2012 11:35	SB
Chloroform	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Chloromethane	BRL	10		ug/L	162072	1	05/31/2012 11:35	SB
cis-1,2-Dichloroethene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
cis-1,3-Dichloropropene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Cyclohexane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Dibromochloromethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Dichlorodifluoromethane	BRL	10		ug/L	162072	1	05/31/2012 11:35	SB
Ethylbenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Freon-113	BRL	10		ug/L	162072	1	05/31/2012 11:35	SB
Isopropylbenzene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
m,p-Xylene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Methyl acetate	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Methyl tert-butyl ether	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Methylcyclohexane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Methylene chloride	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
o-Xylene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB

Qualifiers:

- * Value exceeds maximum contaminant level
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- S Spike Recovery outside limits due to matrix
- Narr See case narrative
- NC Not confirmed
- < Less than Result value
- J Estimated value detected below Reporting Limit

Client: One Consulting Group, Inc.	Client Sample ID: B19
Project Name: Hearthside Sugarloaf	Collection Date: 5/25/2012 9:20:00 AM
Lab ID: 1205L26-002	Matrix: Groundwater

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
TCL VOLATILE ORGANICS SW8260B					(SW5030B)			
Styrene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Tetrachloroethene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Toluene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
trans-1,2-Dichloroethene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
trans-1,3-Dichloropropene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Trichloroethene	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Trichlorofluoromethane	BRL	5.0		ug/L	162072	1	05/31/2012 11:35	SB
Vinyl chloride	BRL	2.0		ug/L	162072	1	05/31/2012 11:35	SB
Surr: 4-Bromofluorobenzene	99.7	67.4-123		%REC	162072	1	05/31/2012 11:35	SB
Surr: Dibromofluoromethane	120	75.5-128		%REC	162072	1	05/31/2012 11:35	SB
Surr: Toluene-d8	90.6	70-120		%REC	162072	1	05/31/2012 11:35	SB

Qualifiers:

- * Value exceeds maximum contaminant level
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- Narr See case narrative
- NC Not confirmed
- < Less than Result value
- J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc.

Sample/Cooler Receipt Checklist

Client One Group

Work Order Number 1205276

Checklist completed by [Signature] Date 05/25/2012

Carrier name: FedEx UPS Courier Client US Mail Other

Shipping container/cooler in good condition? Yes No Not Present

Custody seals intact on shipping container/cooler? Yes No Not Present

Custody seals intact on sample bottles? Yes No Not Present

Container/Temp Blank temperature in compliance? (4°C±2)* Yes No

Cooler #1 3, 5 Cooler #2 _____ Cooler #3 _____ Cooler #4 _____ Cooler #5 _____ Cooler #6 _____

Chain of custody present? Yes No

Chain of custody signed when relinquished and received? Yes No

Chain of custody agrees with sample labels? Yes No

Samples in proper container/bottle? Yes No

Sample containers intact? Yes No

Sufficient sample volume for indicated test? Yes No

All samples received within holding time? Yes No

Was TAT marked on the COC? Yes No

Proceed with Standard TAT as per project history? Yes No Not Applicable

Water - VOA vials have zero headspace? No VOA vials submitted Yes No

Water - pH acceptable upon receipt? Yes No Not Applicable

Sample Condition: Good Other(Explain) _____ Adjusted? _____ Checked by _____

(For diffusive samples or AIHA lead) Is a known blank included? Yes No

See Case Narrative for resolution of the Non-Conformance.

* Samples do not have to comply with the given range for certain parameters.

Client: One Consulting Group, Inc.
 Project Name: Hearthside Sugarloaf
 Workorder: 1205L26

ANALYTICAL QC SUMMARY REPORT

BatchID: 162072

Sample ID: MB-162072	Client ID:	Units: ug/L	Prep Date: 05/29/2012	Run No: 222162							
Sample Type: MBLK	TestCode: TCL VOLATILE ORGANICS SW8260B	BatchID: 162072	Analysis Date: 05/29/2012	Seq No: 4647094							
Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual

Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual
1,1,1-Trichloroethane	BRL	5.0	0	0	0	0	0	0	0	0	0
1,1,2,2-Tetrachloroethane	BRL	5.0	0	0	0	0	0	0	0	0	0
1,1,2-Trichloroethane	BRL	5.0	0	0	0	0	0	0	0	0	0
1,1-Dichloroethane	BRL	5.0	0	0	0	0	0	0	0	0	0
1,1-Dichloroethene	BRL	5.0	0	0	0	0	0	0	0	0	0
1,2,4-Trichlorobenzene	BRL	5.0	0	0	0	0	0	0	0	0	0
1,2-Dibromo-3-chloropropane	BRL	5.0	0	0	0	0	0	0	0	0	0
1,2-Dibromoethane	BRL	5.0	0	0	0	0	0	0	0	0	0
1,2-Dichlorobenzene	BRL	5.0	0	0	0	0	0	0	0	0	0
1,2-Dichloroethane	BRL	5.0	0	0	0	0	0	0	0	0	0
1,2-Dichloropropane	BRL	5.0	0	0	0	0	0	0	0	0	0
1,3-Dichlorobenzene	BRL	5.0	0	0	0	0	0	0	0	0	0
1,4-Dichlorobenzene	BRL	5.0	0	0	0	0	0	0	0	0	0
2-Butanone	BRL	50	0	0	0	0	0	0	0	0	0
2-Hexanone	BRL	10	0	0	0	0	0	0	0	0	0
4-Methyl-2-pentanone	BRL	10	0	0	0	0	0	0	0	0	0
Acetone	BRL	50	0	0	0	0	0	0	0	0	0
Benzene	BRL	5.0	0	0	0	0	0	0	0	0	0
Bromodichloromethane	BRL	5.0	0	0	0	0	0	0	0	0	0
Bromoform	BRL	5.0	0	0	0	0	0	0	0	0	0
Bromomethane	BRL	5.0	0	0	0	0	0	0	0	0	0
Carbon disulfide	BRL	5.0	0	0	0	0	0	0	0	0	0
Carbon tetrachloride	BRL	5.0	0	0	0	0	0	0	0	0	0
Chlorobenzene	BRL	5.0	0	0	0	0	0	0	0	0	0
Chloroethane	BRL	10	0	0	0	0	0	0	0	0	0
Chloroform	BRL	5.0	0	0	0	0	0	0	0	0	0
Chloromethane	BRL	10	0	0	0	0	0	0	0	0	0

Qualifiers:	>	Greater than Result value	<	Less than Result value	B	Analyte detected in the associated method blank
	BRL	Below reporting limit	E	Estimated (value above quantitation range)	H	Holding times for preparation or analysis exceeded
	J	Estimated value detected below Reporting Limit	N	Analyte not NELAC certified	R	RPD outside limits due to matrix
	Rpt Lim	Reporting Limit	S	Spike Recovery outside limits due to matrix		

Client: One Consulting Group, Inc.
Project Name: Hearthside Sugarloaf
Workorder: 1205L26

ANALYTICAL QC SUMMARY REPORT

BatchID: 162072

Sample ID: MB-162072	Client ID:	Units: ug/L	Prep Date: 05/29/2012	Run No: 222162							
SampleType: MBLK	TestCode: TCL VOLATILE ORGANICS SW8260B	BatchID: 162072	Analysis Date: 05/29/2012	Seq No: 4647094							
Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual

Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual
cis-1,2-Dichloroethene	BRL	5.0	0	0	0	0	0	0	0	0	
cis-1,3-Dichloropropene	BRL	5.0	0	0	0	0	0	0	0	0	
Cyclohexane	BRL	5.0	0	0	0	0	0	0	0	0	
Dibromochloromethane	BRL	5.0	0	0	0	0	0	0	0	0	
Dichlorodifluoromethane	BRL	10	0	0	0	0	0	0	0	0	
Ethylbenzene	BRL	5.0	0	0	0	0	0	0	0	0	
Freon-113	BRL	10	0	0	0	0	0	0	0	0	
Isopropylbenzene	BRL	5.0	0	0	0	0	0	0	0	0	
m,p-Xylene	BRL	5.0	0	0	0	0	0	0	0	0	
Methyl acetate	BRL	5.0	0	0	0	0	0	0	0	0	
Methyl tert-butyl ether	BRL	5.0	0	0	0	0	0	0	0	0	
Methylcyclohexane	BRL	5.0	0	0	0	0	0	0	0	0	
Methylene chloride	BRL	5.0	0	0	0	0	0	0	0	0	
o-Xylene	BRL	5.0	0	0	0	0	0	0	0	0	
Styrene	BRL	5.0	0	0	0	0	0	0	0	0	
Tetrachloroethene	BRL	5.0	0	0	0	0	0	0	0	0	
Toluene	BRL	5.0	0	0	0	0	0	0	0	0	
trans-1,2-Dichloroethene	BRL	5.0	0	0	0	0	0	0	0	0	
trans-1,3-Dichloropropene	BRL	5.0	0	0	0	0	0	0	0	0	
Trichloroethene	BRL	5.0	0	0	0	0	0	0	0	0	
Trichlorofluoromethane	BRL	5.0	0	0	0	0	0	0	0	0	
Vinyl chloride	BRL	2.0	0	0	0	0	0	0	0	0	
Surr: 4-Bromofluorobenzene	48.70	0	50	0	97.4	67.4	123	0	0	0	
Surr: Dibromofluoromethane	57.12	0	50	0	114	75.5	128	0	0	0	
Surr: Toluene-d8	46.45	0	50	0	92.9	70	120	0	0	0	

Qualifiers:	>	Greater than Result value	<	Less than Result value	B	Analyte detected in the associated method blank
	BRL	Below reporting limit	E	Estimated (value above quantitation range)	H	Holding times for preparation or analysis exceeded
	J	Estimated value detected below Reporting Limit	N	Analyte not NELAC certified	R	RPD outside limits due to matrix
	Rpt Lim	Reporting Limit	S	Spike Recovery outside limits due to matrix		

Client: One Consulting Group, Inc.
Project Name: Hearthside Sugarloaf
Workorder: 1205L26

ANALYTICAL QC SUMMARY REPORT

BatchID: 162072

Sample ID: LCS-162072	Client ID:	Units: ug/L	Prep Date: 05/29/2012	Run No: 222162							
SampleType: LCS	TestCode: TCL VOLATILE ORGANICS SW8260B	BatchID: 162072	Analysis Date: 05/30/2012	Seq No: 4647031							
Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual

1,1-Dichloroethene	58.55	5.0	50	0	117	60	140	0	0	0	
Benzene	52.95	5.0	50	0	106	70	130	0	0	0	
Chlorobenzene	50.70	5.0	50	0	101	70	130	0	0	0	
Toluene	53.18	5.0	50	0	106	70	130	0	0	0	
Trichloroethene	55.26	5.0	50	0	111	70	130	0	0	0	
Surr: 4-Bromofluorobenzene	56.81	0	50	0	114	67.4	123	0	0	0	
Surr: Dibromofluoromethane	59.75	0	50	0	120	75.5	128	0	0	0	
Surr: Toluene-d8	49.33	0	50	0	98.7	70	120	0	0	0	

Sample ID: 1205J51-007AMS	Client ID:	Units: ug/L	Prep Date: 05/29/2012	Run No: 222162							
SampleType: MS	TestCode: TCL VOLATILE ORGANICS SW8260B	BatchID: 162072	Analysis Date: 05/30/2012	Seq No: 4647032							
Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual

1,1-Dichloroethene	60.30	5.0	50	0	121	50.1	179	0	0	0	
Benzene	54.15	5.0	50	0	108	61.2	150	0	0	0	
Chlorobenzene	53.30	5.0	50	0	107	72.1	140	0	0	0	
Toluene	52.13	5.0	50	0	104	58.7	154	0	0	0	
Trichloroethene	56.26	5.0	50	0	113	68.3	149	0	0	0	
Surr: 4-Bromofluorobenzene	56.61	0	50	0	113	67.4	123	0	0	0	
Surr: Dibromofluoromethane	60.23	0	50	0	120	75.5	128	0	0	0	
Surr: Toluene-d8	48.71	0	50	0	97.4	70	120	0	0	0	

Sample ID: 1205J51-007AMSD	Client ID:	Units: ug/L	Prep Date: 05/29/2012	Run No: 222162							
SampleType: MSD	TestCode: TCL VOLATILE ORGANICS SW8260B	BatchID: 162072	Analysis Date: 05/30/2012	Seq No: 4647033							
Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual

1,1-Dichloroethene	59.97	5.0	50	0	120	50.1	179	60.30	0.549	23.3	
Benzene	52.31	5.0	50	0	105	61.2	150	54.15	3.46	19	

Qualifiers:

>	Greater than Result value	<	Less than Result value	B	Analyte detected in the associated method blank
BRL	Below reporting limit	E	Estimated (value above quantitation range)	H	Holding times for preparation or analysis exceeded
J	Estimated value detected below Reporting Limit	N	Analyte not NELAC certified	R	RPD outside limits due to matrix
Rpt Lim	Reporting Limit	S	Spike Recovery outside limits due to matrix		

Client: One Consulting Group, Inc.
Project Name: Hearthside Sugarloaf
Workorder: 1205L26

ANALYTICAL QC SUMMARY REPORT

BatchID: 162072

Sample ID: 1205J51-007AMSD	Client ID:	Units: ug/L	Prep Date: 05/29/2012	Run No: 222162							
SampleType: MSD	TestCode: TCL VOLATILE ORGANICS SW8260B	BatchID: 162072	Analysis Date: 05/30/2012	Seq No: 4647033							
Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual

Chlorobenzene	52.14	5.0	50	0	104	72.1	140	53.30	2.2	21.5	
Toluene	52.97	5.0	50	0	106	58.7	154	52.13	1.6	20	
Trichloroethene	53.97	5.0	50	0	108	68.3	149	56.26	4.15	17.7	
Surr: 4-Bromofluorobenzene	57.11	0	50	0	114	67.4	123	56.61	0	0	
Surr: Dibromofluoromethane	58.20	0	50	0	116	75.5	128	60.23	0	0	
Surr: Toluene-d8	48.12	0	50	0	96.2	70	120	48.71	0	0	

Qualifiers:	>	Greater than Result value	<	Less than Result value	B	Analyte detected in the associated method blank
	BRL	Below reporting limit	E	Estimated (value above quantitation range)	H	Holding times for preparation or analysis exceeded
	J	Estimated value detected below Reporting Limit	N	Analyte not NELAC certified	R	RPD outside limits due to matrix
	Rpt Lim	Reporting Limit	S	Spike Recovery outside limits due to matrix		



ANALYTICAL ENVIRONMENTAL SERVICES, INC.

May 31, 2012

Robert Brawner
One Consulting Group, Inc.
P.O. Box 54382
Atlanta GA 30308

TEL: (678) 313-7594
FAX:

RE: Hearthside Sugarloaf

Dear Robert Brawner:

Order No: 1205L25

Analytical Environmental Services, Inc. received 2 samples on 5/25/2012 12:15:00 PM for the analyses presented in following report.

No problems were encountered during the analyses. Additionally, all results for the associated Quality Control samples were within EPA and/or AES established limits. Any discrepancies associated with the analyses contained herein will be noted and submitted in the form of a project Case Narrative.

AES' certifications are as follows:

- NELAC/Florida Certification number E87582 for analysis of Environmental Water, soil/hazardous waste, and Drinking Water Microbiology, effective 07/01/11-06/30/12.
- AIHA Certification ID #100671 for Industrial Hygiene samples (Organics, Inorganics), Environmental Lead (Paint, Soil, Dust Wipes, Air), and Environmental Microbiology (Fungal) effective until 09/01/13.

These results relate only to the items tested. This report may only be reproduced in full.

If you have any questions regarding these test results, please feel free to call.

James Forrest
Project Manager



ANALYTICAL ENVIRONMENTAL SERVICES, INC

3785 Presidential Parkway, Atlanta GA 30340-3704

TEL.: (770) 457-8177 / TOLL-FREE (800) 972-4889 / FAX: (770) 457-8188

CHAIN OF CUSTODY

Work Order: 1205225

Date: 5/25/12 Page 1 of 1

COMPANY: One Group		ADDRESS: P.O. Box 54382, Atlanta GA 30308			ANALYSIS REQUESTED				Visit our website www.aesatlanta.com to check on the status of your results, place bottle orders, etc.		No # of Containers
PHONE: 404 815 8005		FAX: 404 815 8002									
SAMPLED BY: Sam Urban		SIGNATURE:			PRESERVATION (See codes)				REMARKS		
#	SAMPLE ID	DATE	TIME	Grab							
1	B17 @ 15'	5/25/12	10:30 AM	X		SO				15'	3
2	B11 @ 15'	5/25/12	9:15 AM	X		SO				15'	3
3											
4											
5											
6											
7											
8											
9											
10											
11											
12											
13											
14											

RELINQUISHED BY		DATE/TIME	RECEIVED BY		DATE/TIME	PROJECT INFORMATION		RECEIPT	
1:		5/25/12 12:15	1:		5/25/12 12:15	PROJECT NAME: Heartside Sugarloaf		Total # of Containers: 6	
2:			2:			PROJECT #: A2029.02		<input type="radio"/> Turnaround Time Request <input type="radio"/> Standard 5 Business Days <input type="radio"/> 2 Business Day Rush <input type="radio"/> Next Business Day Rush <input type="radio"/> Same Day Rush (auth req.) <input checked="" type="radio"/> Other 3-Day	
3:			3:			SITE ADDRESS: 1625 Atkinson Rd.			
SPECIAL INSTRUCTIONS/COMMENTS: 3-Day turn			SHIPMENT METHOD			SEND REPORT TO: Sam Urban / Robert Braunner		STATE PROGRAM (if any):	
			OUT VIA: IN VIA: CLIENT FedEx UPS MAIL COURIER GREYHOUND OTHER			INVOICE TO: (IF DIFFERENT FROM ABOVE)		E-mail? Y/N; Fax? Y/N	
						QUOTE #:		DATA PACKAGE: I II III IV	

SAMPLES RECEIVED AFTER 3PM OR ON SATURDAY ARE CONSIDERED RECEIVED THE NEXT BUSINESS DAY. IF TURNAROUND TIME IS NOT INDICATED, AES WILL PROCEED WITH STANDARD TAT OF SAMPLES.
 SAMPLES ARE DISPOSED 30 DAYS AFTER REPORT COMPLETION UNLESS OTHER ARRANGEMENTS ARE MADE.

MATRIX CODES: A = Air GW = Groundwater SE = Sediment SO = Soil SW = Surface Water W = Water (Blanks) DW = Drinking Water (Blanks) O = Other (specify) WW = Waste Water
 PRESERVATIVE CODES: H+I = Hydrochloric acid + ice I = Ice only N = Nitric acid S+I = Sulfuric acid + ice S/M+I = Sodium Bisulfate/Methanol + ice O = Other (specify) NA = None

Client: One Consulting Group, Inc.	Client Sample ID: B17 @ 15'
Project Name: Hearthside Sugarloaf	Collection Date: 5/25/2012 10:30:00 AM
Lab ID: 1205L25-001	Matrix: Soil

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
TCL VOLATILE ORGANICS SW8260B (SW5035)								
1,1,1-Trichloroethane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
1,1,2,2-Tetrachloroethane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
1,1,2-Trichloroethane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
1,1-Dichloroethane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
1,1-Dichloroethene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
1,2,4-Trichlorobenzene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
1,2-Dibromo-3-chloropropane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
1,2-Dibromoethane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
1,2-Dichlorobenzene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
1,2-Dichloroethane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
1,2-Dichloropropane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
1,3-Dichlorobenzene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
1,4-Dichlorobenzene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
2-Butanone	BRL	0.040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
2-Hexanone	BRL	0.0080		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
4-Methyl-2-pentanone	BRL	0.0080		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Acetone	BRL	0.080		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Benzene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Bromodichloromethane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Bromoform	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Bromomethane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Carbon disulfide	BRL	0.0080		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Carbon tetrachloride	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Chlorobenzene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Chloroethane	BRL	0.0080		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Chloroform	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Chloromethane	BRL	0.0080		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
cis-1,2-Dichloroethene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
cis-1,3-Dichloropropene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Cyclohexane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Dibromochloromethane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Dichlorodifluoromethane	BRL	0.0080		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Ethylbenzene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Freon-113	BRL	0.0080		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Isopropylbenzene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
m,p-Xylene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Methyl acetate	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Methyl tert-butyl ether	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Methylcyclohexane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Methylene chloride	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
o-Xylene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE

Qualifiers:

- * Value exceeds maximum contaminant level
- BRL Below reporting limit
- H Holding times for preparation or analysis exceeded
- N Analyte not NELAC certified
- B Analyte detected in the associated method blank
- > Greater than Result value

- E Estimated (value above quantitation range)
- S Spike Recovery outside limits due to matrix
- Narr See case narrative
- NC Not confirmed
- < Less than Result value
- J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc

Date: 31-May-12

Client: One Consulting Group, Inc.	Client Sample ID: B17 @ 15'
Project Name: Hearthside Sugarloaf	Collection Date: 5/25/2012 10:30:00 AM
Lab ID: 1205L25-001	Matrix: Soil

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
TCL VOLATILE ORGANICS SW8260B					(SW5035)			
Styrene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Tetrachloroethene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Toluene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
trans-1,2-Dichloroethene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
trans-1,3-Dichloropropene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Trichloroethene	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Trichlorofluoromethane	BRL	0.0040		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Vinyl chloride	BRL	0.0080		mg/Kg-dry	161987	1	05/25/2012 16:08	JE
Surr: 4-Bromofluorobenzene	99.7	56.5-134		%REC	161987	1	05/25/2012 16:08	JE
Surr: Dibromofluoromethane	88.6	71.8-135		%REC	161987	1	05/25/2012 16:08	JE
Surr: Toluene-d8	101	77.1-117		%REC	161987	1	05/25/2012 16:08	JE
PERCENT MOISTURE D2216								
Percent Moisture	26.0	0		wt%	R222140	1	05/29/2012 17:32	SR

Qualifiers:	* Value exceeds maximum contaminant level	E Estimated (value above quantitation range)
	BRL Below reporting limit	S Spike Recovery outside limits due to matrix
	H Holding times for preparation or analysis exceeded	Narr See case narrative
	N Analyte not NELAC certified	NC Not confirmed
	B Analyte detected in the associated method blank	< Less than Result value
	> Greater than Result value	J Estimated value detected below Reporting Limit

Client: One Consulting Group, Inc.	Client Sample ID: B19 @ 15'
Project Name: Hearthside Sugarloaf	Collection Date: 5/25/2012 9:15:00 AM
Lab ID: 1205L25-002	Matrix: Soil

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
TCL VOLATILE ORGANICS SW8260B (SW5035)								
1,1,1-Trichloroethane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
1,1,2,2-Tetrachloroethane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
1,1,2-Trichloroethane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
1,1-Dichloroethane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
1,1-Dichloroethene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
1,2,4-Trichlorobenzene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
1,2-Dibromo-3-chloropropane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
1,2-Dibromoethane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
1,2-Dichlorobenzene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
1,2-Dichloroethane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
1,2-Dichloropropane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
1,3-Dichlorobenzene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
1,4-Dichlorobenzene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
2-Butanone	BRL	0.038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
2-Hexanone	BRL	0.0076		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
4-Methyl-2-pentanone	BRL	0.0076		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Acetone	BRL	0.076		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Benzene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Bromodichloromethane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Bromoform	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Bromomethane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Carbon disulfide	BRL	0.0076		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Carbon tetrachloride	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Chlorobenzene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Chloroethane	BRL	0.0076		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Chloroform	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Chloromethane	BRL	0.0076		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
cis-1,2-Dichloroethene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
cis-1,3-Dichloropropene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Cyclohexane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Dibromochloromethane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Dichlorodifluoromethane	BRL	0.0076		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Ethylbenzene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Freon-113	BRL	0.0076		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Isopropylbenzene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
m,p-Xylene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Methyl acetate	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Methyl tert-butyl ether	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Methylcyclohexane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Methylene chloride	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
o-Xylene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE

Qualifiers:

- * Value exceeds maximum contaminant level
- BRL Below reporting limit
- H Holding times for preparation or analysis exceeded
- N Analyte not NELAC certified
- B Analyte detected in the associated method blank
- > Greater than Result value

- E Estimated (value above quantitation range)
- S Spike Recovery outside limits due to matrix
- Narr See case narrative
- NC Not confirmed
- < Less than Result value
- J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc

Date: 31-May-12

Client: One Consulting Group, Inc.	Client Sample ID: B19 @ 15'
Project Name: Hearthside Sugarloaf	Collection Date: 5/25/2012 9:15:00 AM
Lab ID: 1205L25-002	Matrix: Soil

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
TCL VOLATILE ORGANICS SW8260B					(SW5035)			
Styrene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Tetrachloroethene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Toluene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
trans-1,2-Dichloroethene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
trans-1,3-Dichloropropene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Trichloroethene	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Trichlorofluoromethane	BRL	0.0038		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Vinyl chloride	BRL	0.0076		mg/Kg-dry	161987	1	05/25/2012 16:33	JE
Surr: 4-Bromofluorobenzene	102	56.5-134		%REC	161987	1	05/25/2012 16:33	JE
Surr: Dibromofluoromethane	89.1	71.8-135		%REC	161987	1	05/25/2012 16:33	JE
Surr: Toluene-d8	102	77.1-117		%REC	161987	1	05/25/2012 16:33	JE
PERCENT MOISTURE D2216								
Percent Moisture	25.3	0		wt%	R222140	1	05/29/2012 17:32	SR

Qualifiers:

- * Value exceeds maximum contaminant level
- BRL Below reporting limit
- H Holding times for preparation or analysis exceeded
- N Analyte not NELAC certified
- B Analyte detected in the associated method blank
- > Greater than Result value

- E Estimated (value above quantitation range)
- S Spike Recovery outside limits due to matrix
- Narr See case narrative
- NC Not confirmed
- < Less than Result value
- J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc.

Sample/Cooler Receipt Checklist

Client One Group Work Order Number 1205L25

Checklist completed by [Signature] Date 05/25/2012

Carrier name: FedEx UPS Courier Client US Mail Other

Shipping container/cooler in good condition? Yes No Not Present

Custody seals intact on shipping container/cooler? Yes No Not Present

Custody seals intact on sample bottles? Yes No Not Present

Container/Temp Blank temperature in compliance? (4°C±2)* Yes No

Cooler #1 3, 5 Cooler #2 Cooler #3 Cooler #4 Cooler #5 Cooler #6

Chain of custody present? Yes No

Chain of custody signed when relinquished and received? Yes No

Chain of custody agrees with sample labels? Yes No

Samples in proper container/bottle? Yes No

Sample containers intact? Yes No

Sufficient sample volume for indicated test? Yes No

All samples received within holding time? Yes No

Was TAT marked on the COC? Yes No

Proceed with Standard TAT as per project history? Yes No Not Applicable

Water - VOA vials have zero headspace? No VOA vials submitted Yes No

Water - pH acceptable upon receipt? Yes No Not Applicable

Adjusted? Checked by _____
Sample Condition: Good Other(Explain) _____

(For diffusive samples or AIHA lead) Is a known blank included? Yes No

See Case Narrative for resolution of the Non-Conformance.

* Samples do not have to comply with the given range for certain parameters.

Client: One Consulting Group, Inc.
 Project Name: Hearthside Sugarloaf
 Workorder: 1205L25

ANALYTICAL QC SUMMARY REPORT

BatchID: 161987

Sample ID: MB-161987	Client ID:	Units: mg/Kg	Prep Date: 05/25/2012	Run No: 222009
Sample Type: MBLK	TestCode: TCL VOLATILE ORGANICS SW8260B	BatchID: 161987	Analysis Date: 05/25/2012	Seq No: 4644979

Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual
1,1,1-Trichloroethane	BRL	0.0050	0	0	0	0	0	0	0	0	0
1,1,2,2-Tetrachloroethane	BRL	0.0050	0	0	0	0	0	0	0	0	0
1,1,2-Trichloroethane	BRL	0.0050	0	0	0	0	0	0	0	0	0
1,1-Dichloroethane	BRL	0.0050	0	0	0	0	0	0	0	0	0
1,1-Dichloroethene	BRL	0.0050	0	0	0	0	0	0	0	0	0
1,2,4-Trichlorobenzene	BRL	0.0050	0	0	0	0	0	0	0	0	0
1,2-Dibromo-3-chloropropane	BRL	0.0050	0	0	0	0	0	0	0	0	0
1,2-Dibromoethane	BRL	0.0050	0	0	0	0	0	0	0	0	0
1,2-Dichlorobenzene	BRL	0.0050	0	0	0	0	0	0	0	0	0
1,2-Dichloroethane	BRL	0.0050	0	0	0	0	0	0	0	0	0
1,2-Dichloropropane	BRL	0.0050	0	0	0	0	0	0	0	0	0
1,3-Dichlorobenzene	BRL	0.0050	0	0	0	0	0	0	0	0	0
1,4-Dichlorobenzene	BRL	0.0050	0	0	0	0	0	0	0	0	0
2-Butanone	BRL	0.050	0	0	0	0	0	0	0	0	0
2-Hexanone	BRL	0.010	0	0	0	0	0	0	0	0	0
4-Methyl-2-pentanone	BRL	0.010	0	0	0	0	0	0	0	0	0
Acetone	BRL	0.10	0	0	0	0	0	0	0	0	0
Benzene	BRL	0.0050	0	0	0	0	0	0	0	0	0
Bromodichloromethane	BRL	0.0050	0	0	0	0	0	0	0	0	0
Bromoform	BRL	0.0050	0	0	0	0	0	0	0	0	0
Bromomethane	BRL	0.0050	0	0	0	0	0	0	0	0	0
Carbon disulfide	BRL	0.010	0	0	0	0	0	0	0	0	0
Carbon tetrachloride	BRL	0.0050	0	0	0	0	0	0	0	0	0
Chlorobenzene	BRL	0.0050	0	0	0	0	0	0	0	0	0
Chloroethane	BRL	0.010	0	0	0	0	0	0	0	0	0
Chloroform	BRL	0.0050	0	0	0	0	0	0	0	0	0
Chloromethane	BRL	0.010	0	0	0	0	0	0	0	0	0

Qualifiers:	>	Greater than Result value	<	Less than Result value	B	Analyte detected in the associated method blank
	BRL	Below reporting limit	E	Estimated (value above quantitation range)	H	Holding times for preparation or analysis exceeded
	J	Estimated value detected below Reporting Limit	N	Analyte not NELAC certified	R	RPD outside limits due to matrix
	Rpt Lim	Reporting Limit	S	Spike Recovery outside limits due to matrix		

Client: One Consulting Group, Inc.
Project Name: Hearthside Sugarloaf
Workorder: 1205L25

ANALYTICAL QC SUMMARY REPORT

BatchID: 161987

Sample ID: MB-161987	Client ID:	Units: mg/Kg	Prep Date: 05/25/2012	Run No: 222009
SampleType: MBLK	TestCode: TCL VOLATILE ORGANICS SW8260B	BatchID: 161987	Analysis Date: 05/25/2012	Seq No: 4644979

Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual
cis-1,2-Dichloroethene	BRL	0.0050	0	0	0	0	0	0	0	0	
cis-1,3-Dichloropropene	BRL	0.0050	0	0	0	0	0	0	0	0	
Cyclohexane	BRL	0.0050	0	0	0	0	0	0	0	0	
Dibromochloromethane	BRL	0.0050	0	0	0	0	0	0	0	0	
Dichlorodifluoromethane	BRL	0.010	0	0	0	0	0	0	0	0	
Ethylbenzene	BRL	0.0050	0	0	0	0	0	0	0	0	
Freon-113	BRL	0.010	0	0	0	0	0	0	0	0	
Isopropylbenzene	BRL	0.0050	0	0	0	0	0	0	0	0	
m,p-Xylene	BRL	0.0050	0	0	0	0	0	0	0	0	
Methyl acetate	BRL	0.0050	0	0	0	0	0	0	0	0	
Methyl tert-butyl ether	BRL	0.0050	0	0	0	0	0	0	0	0	
Methylcyclohexane	BRL	0.0050	0	0	0	0	0	0	0	0	
Methylene chloride	BRL	0.0050	0	0	0	0	0	0	0	0	
o-Xylene	BRL	0.0050	0	0	0	0	0	0	0	0	
Styrene	BRL	0.0050	0	0	0	0	0	0	0	0	
Tetrachloroethene	BRL	0.0050	0	0	0	0	0	0	0	0	
Toluene	BRL	0.0050	0	0	0	0	0	0	0	0	
trans-1,2-Dichloroethene	BRL	0.0050	0	0	0	0	0	0	0	0	
trans-1,3-Dichloropropene	BRL	0.0050	0	0	0	0	0	0	0	0	
Trichloroethene	BRL	0.0050	0	0	0	0	0	0	0	0	
Trichlorofluoromethane	BRL	0.0050	0	0	0	0	0	0	0	0	
Vinyl chloride	BRL	0.010	0	0	0	0	0	0	0	0	
Surr: 4-Bromofluorobenzene	0.05049	0	0.05	0	101	56.5	134	0	0	0	
Surr: Dibromofluoromethane	0.04772	0	0.05	0	95.4	71.8	135	0	0	0	
Surr: Toluene-d8	0.05287	0	0.05	0	106	77.1	117	0	0	0	

Qualifiers:	>	Greater than Result value	<	Less than Result value	B	Analyte detected in the associated method blank
	BRL	Below reporting limit	E	Estimated (value above quantitation range)	H	Holding times for preparation or analysis exceeded
	J	Estimated value detected below Reporting Limit	N	Analyte not NELAC certified	R	RPD outside limits due to matrix
	Rpt Lim	Reporting Limit	S	Spike Recovery outside limits due to matrix		

Client: One Consulting Group, Inc.
Project Name: Hearthside Sugarloaf
Workorder: 1205L25

ANALYTICAL QC SUMMARY REPORT

BatchID: 161987

Sample ID: LCS-161987	Client ID:	Units: mg/Kg	Prep Date: 05/25/2012	Run No: 222009							
SampleType: LCS	TestCode: TCL VOLATILE ORGANICS SW8260B	BatchID: 161987	Analysis Date: 05/25/2012	Seq No: 4644982							
Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual

1,1-Dichloroethene	0.05983	0.0050	0.05	0	120	60	140	0	0	0	
Benzene	0.05491	0.0050	0.05	0	110	70	130	0	0	0	
Chlorobenzene	0.04826	0.0050	0.05	0	96.5	70	130	0	0	0	
Toluene	0.05645	0.0050	0.05	0	113	70	130	0	0	0	
Trichloroethene	0.05127	0.0050	0.05	0	103	70	130	0	0	0	
Surr: 4-Bromofluorobenzene	0.05424	0	0.05	0	108	56.5	134	0	0	0	
Surr: Dibromofluoromethane	0.04594	0	0.05	0	91.9	71.8	135	0	0	0	
Surr: Toluene-d8	0.05143	0	0.05	0	103	77.1	117	0	0	0	

Sample ID: 1205K56-001AMS	Client ID:	Units: mg/Kg-dry	Prep Date: 05/25/2012	Run No: 222009							
SampleType: MS	TestCode: TCL VOLATILE ORGANICS SW8260B	BatchID: 161987	Analysis Date: 05/25/2012	Seq No: 4644980							
Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual

1,1-Dichloroethene	0.06398	0.0058	0.0576	0	111	51	159	0	0	0	
Benzene	0.06559	0.0058	0.0576	0	114	67.6	139	0	0	0	
Chlorobenzene	0.05606	0.0058	0.0576	0	97.4	73.6	135	0	0	0	
Toluene	0.06734	0.0058	0.0576	0	117	63.5	140	0	0	0	
Trichloroethene	0.06068	0.0058	0.0576	0	105	67.6	145	0	0	0	
Surr: 4-Bromofluorobenzene	0.06197	0	0.0576	0	108	56.5	134	0	0	0	
Surr: Dibromofluoromethane	0.05350	0	0.0576	0	93	71.8	135	0	0	0	
Surr: Toluene-d8	0.05866	0	0.0576	0	102	77.1	117	0	0	0	

Sample ID: 1205K56-001AMSD	Client ID:	Units: mg/Kg-dry	Prep Date: 05/25/2012	Run No: 222009							
SampleType: MSD	TestCode: TCL VOLATILE ORGANICS SW8260B	BatchID: 161987	Analysis Date: 05/25/2012	Seq No: 4644981							
Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual

1,1-Dichloroethene	0.06273	0.0058	0.0576	0	109	51	159	0.06398	1.98	25.7	
Benzene	0.06660	0.0058	0.0576	0	116	67.6	139	0.06559	1.53	18.5	

Qualifiers:

>	Greater than Result value	<	Less than Result value	B	Analyte detected in the associated method blank
BRL	Below reporting limit	E	Estimated (value above quantitation range)	H	Holding times for preparation or analysis exceeded
J	Estimated value detected below Reporting Limit	N	Analyte not NELAC certified	R	RPD outside limits due to matrix
Rpt Lim	Reporting Limit	S	Spike Recovery outside limits due to matrix		

Client: One Consulting Group, Inc.
Project Name: Hearthside Sugarloaf
Workorder: 1205L25

ANALYTICAL QC SUMMARY REPORT

BatchID: 161987

Sample ID: 1205K56-001AMSD	Client ID:	Units: mg/Kg-dry	Prep Date: 05/25/2012	Run No: 222009							
SampleType: MSD	TestCode: TCL VOLATILE ORGANICS SW8260B	BatchID: 161987	Analysis Date: 05/25/2012	Seq No: 4644981							
Analyte	Result	RPT Limit	SPK value	SPK Ref Val	%REC	Low Limit	High Limit	RPD Ref Val	%RPD	RPD Limit	Qual

Chlorobenzene	0.05694	0.0058	0.0576	0	98.9	73.6	135	0.05606	1.55	18.5	
Toluene	0.06629	0.0058	0.0576	0	115	63.5	140	0.06734	1.57	18.8	
Trichloroethene	0.06056	0.0058	0.0576	0	105	67.6	145	0.06068	0.19	20.7	
Surr: 4-Bromofluorobenzene	0.06244	0	0.0576	0	108	56.5	134	0.06197	0	0	
Surr: Dibromofluoromethane	0.05516	0	0.0576	0	95.9	71.8	135	0.05350	0	0	
Surr: Toluene-d8	0.05889	0	0.0576	0	102	77.1	117	0.05866	0	0	

Qualifiers:	>	Greater than Result value	<	Less than Result value	B	Analyte detected in the associated method blank
	BRL	Below reporting limit	E	Estimated (value above quantitation range)	H	Holding times for preparation or analysis exceeded
	J	Estimated value detected below Reporting Limit	N	Analyte not NELAC certified	R	RPD outside limits due to matrix
	Rpt Lim	Reporting Limit	S	Spike Recovery outside limits due to matrix		

APPENDIX V
SOIL BORING LOGS

SOIL BORING LOG

BORING NO. B-17
Project No. A2029.02
Client: Norsouth Companies
Location: 1625 Atkinson Road, Lawrenceville

Drilling Method: HSA
Sampling Method: SS
Project Manager: Robert Brawner
Driller: Sunrise Drilling Co.

GROUNDWATER

Depth Below Ground Surface: 18.5'
At Time of Boring: 10:30 AM
After One Week: NA
Surface Conditions: Top Soil

Start Date: 5.25.2012
Comp Date: 5.25.2012
Weather: sunny and warm (mid 80s)

SAMPLE			Inch Drvn	Inch Rcvd	% Rcvd	Blows/ 6"	OVM ppm	USC	DESCRIPTION:
No.	Type	Dpth							
0-2	SS	0 -				12/25/8			Partially Weathered Rock, Gray Silty Sand
		-							Partially Weathered Rock, Gray Silty Sand
4-6	SS	5 -				20/50/6	1.0		Partially Weather Rock, Brown Micasous Silty Sand
8-10	SS	-					0.9		
		10 -				50/5			Refusal, off set down hill
12-14	SS	-							
		15 -				4/3/4	0.9		Damp Light Brown Silty Sand
16-18	SS	-							Soil Sampled @ 15'
		20 -							<i>ground water encountered at ~18.5'</i>
20-22	SS	-							
		25 -							
24-26	SS	-							
		30 -							
28-30	SS	-							
		35 -							
32-34	SS	-							

SAMPLER TYPE:

GP - Geoprobe
HSA - Hollow Stem Auger
SS - Driven Split Spoon
SH - Pressured Shelby Tube
OST - Ostenburg Piston Sampler
DEN - Denison Core Barrel Sampler
SPT - Standard Penetration Test (ASTM D 1586-84)

Surface Elevation: NM
Casing Below Surface: N/A
Reference Elevation: N/A
Reference Description: N/A

SOIL BORING LOG

BORING NO. B-19
Project No. A2029.02
Client: Norsouth Companies
Location: 1625 Atkinson Road, Lawrenceville

Drilling Method: HSA
Sampling Method: SS
Project Manager: Robert Brawner
Driller: Sunrise Drilling Co.

GROUNDWATER

Depth Below Ground Surface: 17'
At Time of Boring: 9:15 AM
After One Week: NA
Surface Conditions: Top Soil

Start Date: 5.25.2012
Comp Date: 5.25.2012
Weather: sunny and warm (mid 80s)

SAMPLE			Inch Drvn	Inch Rcvd	% Rcvd	Blows/ 6"	OVM ppm	USC	DESCRIPTION:
No.	Type	Dpth							
0-2	SS	0 -				2/4/6			top soil
		-							
		-				9/12/15			Residual Light Brown Clay, Sand
4-6	SS	5 -				4/3/4	0.9		Residual Light Brown Clay, Sand
		-							Light Brown, Silty Sand, w/some Mica
8-10	SS	10 -				5/3/4	1.15		Lt Brown, Silty Sand, w/some Mica, Soil becomes moist
		-							
12-14	SS	-				3/4/4			
		-							
16-18	SS	15 -				7/8/8	0.9		Lt Brown, Silty Sand, Soil becomes wet and Micasous Soil Sampled @ 15'
		-							<i>groundwater encountered at ~17'</i>
20-22	SS	20 -							
		-							
24-26	SS	25 -							
		-							
28-30	SS	30 -							
		-							
32-34	SS	35 -							
		-							

SAMPLER TYPE:

GP - Geoprobe
HSA - Hollow Stem Auger
SS - Driven Split Spoon
SH - Pressured Shelby Tube
OST - Ostenburg Piston Sampler
DEN - Denison Core Barrel Sampler
SPT - Standard Penetration Test (ASTM D 1586-84)

Surface Elevation: NM
Casing Below Surface: N/A
Reference Elevation: N/A
Reference Description: N/A

APPENDIX VI

DCA PHASE 2 SCOPE REQUEST

May 12, 2012

Georgia Department of Community Affairs
Office of Affordable Housing
60 Executive Park South NE
Atlanta, Georgia 30329

Attention: **Sandy Gamble Wyckoff**

Subject: **Proposed Phase II Environmental Site Assessment
Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
One Group Project #A2029**

Sandy,

One Consulting Group, Inc. (One Group), on behalf of Hearthside Sugarloaf, LP is pleased to provide this proposed Phase II Environmental Site Assessment (Phase II) scope of work for the above-referenced property (Site).

Background

Hearthside Sugarloaf, LP is performing due-diligence activities at the Site in preparation for its subsequent acquisition. After acquisition, the Site will be developed as a seniors apartment complex. A copy of Site plan is attached.

Proposed Scope of Work

During the course of an Environmental Site Assessment (Phase I), an on-Site recognized environmental condition was identified in association with the Site. The following summarizes the recognized environmental conditions as well as the proposed assessment to mitigate the risk associated with it.

Potential for Impact from Petroleum Hydrocarbons from on-Site Sources: A petroleum pipeline crosses the Sites northern corner boundary. This below-grade utility has the potential to impact the Site soil and groundwater with petroleum hydrocarbons. The potential impact pathway is soil and groundwater migration. The identified, on-Site recognized environmental condition's location is depicted on the attached Figure.

Two temporary soil borings, installed around the on-Site petroleum pipeline, will be sampled using dedicated bailers. A soil vapor screening will be performed during the soil boring installation, and a soil sample will be obtained above groundwater or at a depth exhibiting the highest organic vapor concentration. Groundwater depth measurements will be obtained to estimate an inferred, groundwater flow map of the Site.

Soil and groundwater samples obtained will be analyzed for volatile organic compounds USEPA Method 8260. USEPA Method 8260 specifically targets regulated constituents of petroleum hydrocarbons. All Site investigation procedures will be performed in accordance with the published USEPA Region IV guidance documents "EISOPQAM" dated November 2007, and "SESD Field Branches Quality System and Technical Procedures".

Analytical Laboratory

All laboratory analysis will be performed by Analytical Environmental Services, Inc. (NELAP Certification #E87582) at their laboratory in Norcross, Georgia.

Report Submittal

The Phase II Report will be performed under the supervision of, reviewed, signed, and certified by an Environmental Professional, using the Environmental Consultant Signature Page for Phase II Reports. It will summarize with figures and tables all analytical data, including sample depths.

A comparison with all applicable state and federal notification and/or cleanup standards will be provided both in the report and in the tables. The Phase II Report will contain a cost estimate for any necessary environmental remediation, broken down into total estimated costs, with itemized estimated costs for each separate activity. Attached is a cost estimate for the proposed scope of work.

Closure

Thank you for the opportunity to be of service. If you have any questions, please feel free to call.

Sincerely,

One Consulting Group, Inc.



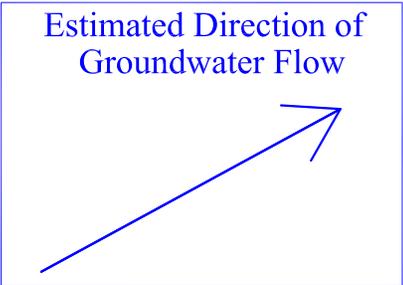
Robert Brawner
Principal

Cc: Jervon Harris, Norsouth Companies
Cassandra Knight, Georgia Department of Community Affairs

Attachments: Petroleum Pipeline and Soil Boring Locations
Project Cost Estimate

Figure 2 Existing Site Plan

Proposed Hearthside at Sugarloaf
 1625 Atkinson Road
 Lawrenceville, Gwinnett County, Georgia
 Project #A2029
 Source: Aerial photo and survey



LEGEND

- Soil Boring
- - - Property Line

PROJECT ESTIMATE

Client: NorSouth Development Company of Georgia, LLC
 Contact: Jervon Harris
 Phone: 678-460-2868
 Email: Jervon@norsouth.com
 Address: 2000 RiverEdge Parkway, Suite 950, Atlanta, Georgia 30328

Date: 5/11/2012
 Proposal No. A2029.02

Project: Modified Phase II Subsurface Investigation

Location: Hearthside at Sugarloaf
 1425 Atkinson Road
 Rome, Floyd County, Georgia 30161

Scope: Mobilize to the Site with rotary auger drilling equipment
 Install two soil borings to groundwater and obtain groundwater sample
 Perform soil vapor screening during soil boring installation
 Obtain soil samples based on vapor screening findings
 Laboratory analyze environmental media as per listed analysis
 Perform a water well receptor survey
 Prepare and submit a report complete with figures and tables to client

Description	Qty	Units	Rate	Total
<u>Drilling subcontractor (cost + 10%)</u>				
Performed by others	N/A	x	1.10	N/A
<u>Lab Analysis (cost + 10%)</u>				
Soil VOC (EPA Method 8260)	2	x	120.00	240.00
Water VOC (EPA Method 8260)	2	x	120.00	240.00
<u>Personnel</u>				
Principal	4	hours	150.00	600.00
Project Manager	6	hours	85.00	510.00
Project Personnel	12	hours	70.00	840.00
CAD Draftsman	2	hours	52.00	104.00
<u>Project Expenses (Cost +10%)</u>				
Mileage	100	x	0.55	55.00
Photoionization detector	1	day	225.00	225.00
Water level meter	1	day	35.00	35.00

No disposal costs are included in this estimate, as soil and groundwater media generated from drilling are not expected to be hazardous materials at this time.

Project Total \$2,849.00

Terms and conditions listed on the following pages.
 Accepted and Agreed to this 11 Day of May, 2012

NorSouth Development Company of Georgia, LLC

By: _____

Title: _____

Jervon Harris

 VICE PRESIDENT
 DEVELOPMENT

One Consulting Group, Inc.

RS

Certified Hazardous Materials Manager #1349:
 Principal

TERMS AND CONDITIONS (2012)

DEFINITIONS. When used herein, the terms, “we”, “us”, or “our” and “Consultant” refer to One Consulting Group, Inc. and the terms “you”, “your”, “he”, “his”, “it”, and “its” refer to Client.

SERVICES TO BE PROVIDED. One Consulting Group, Inc. and/or its assigns, affiliates, or branches, as an independent contractor and consultant, agrees to provide Client for its sole benefit and exclusive use consulting services set forth in the proposal attached hereto (the “Proposal;” such services described in and/or related to the Proposal, the “Services”). Professional services provided by us will be performed, findings obtained, and recommendations prepared in accordance with generally accepted principles and practices in a manner consistent with the level of care and skill ordinarily exercised by members of the Consultant’s profession currently practicing in the State of Georgia. NO OTHER REPRESENTATION, WARRANTY, GUARANTEE, EXPRESS OR IMPLIED, IS INTENDED. THIS WARRANTY IS IN LIEU OF ALL OTHER WARRANTIES EITHER EXPRESS OR IMPLIED.

RIGHT OF ENTRY. Client grants a right of entry to Consultant, its agents, staff, consultants, and contractors or subcontractors, for the purpose of performing and with the right to perform all acts, studies, and research including without limitation the making of test and evaluations pursuant to the agreed services. Client represents that he has the authority to grant the right of entry to Consultant, and that he possesses all necessary permits and licenses required for continuation of its activities at the site.

ON-SITE PERSONNEL The presence of our field personnel either full- or part-time will be for the purpose of providing observation and field testing of specific aspects of the project. Should a contractor be involved in the project, our work does not include supervision or direction of the actual work of the contractor, his employees or agents, and you are responsible for advising any and all contractors of same. You shall inform the contractor that neither the presence of our field representative nor the observation and testing by us shall excuse the contractor in any way for defects discovered in contractor’s work. It is agreed that we will not be responsible for job or site safety on the project.

BILLING AND PAYMENT. Unless otherwise indicated in our Proposal, our billings will be based on actual accrued time, test costs, and expenses. Client agrees to pay each invoice upon receipt. Should payment not be received within 30 days, the amount due shall bear a service charge of 1 1/2 percent per month (18 percent per year) and all costs of collection, including reasonable attorneys’ fees, if collected by law or through an attorney. If 1 1/2 percent per month exceeds the maximum allowed by law, the charge will automatically be reduced to the maximum legally allowed. If Client has any objections to any invoice or part thereof submitted by Consultant, it shall so advise us in writing giving its reasons within 14 days of receipt of such invoice. If Client objects to any portion of an invoice, Client shall nevertheless timely pay the undisputed amount of such invoice. Client agrees it will not exercise any right of set-off it has under any continuing agreement with Consultant or any right of set-off provided by law or at equity. No deduction shall be made from Consultant’s invoice on account of penalty, liquidated damages, or other sums withheld from payments to contractors or others. Payment of the invoice shall constitute final approval as to all aspects of the work performed to date as well as the necessity thereof. If the project is terminated in whole or in part then Client shall timely pay us for services performed prior to our receiving or issuing written notice of such termination, in addition to our reimbursable expenses and any shut down costs incurred. Shut down costs may, at our sole discretion, include completion of analysis and records necessary to document our files and protect our professional reputation. Client’s obligation to pay for the services performed by Consultant is in no way contingent upon Client’s ability to obtain financing, zoning, approval or governmental or regulatory agencies, final adjudication of lawsuit in which Consultant is not involved, or upon Client’s successful completion of the project. If Client fails to timely pay an invoice, Consultant may at any time, without waiving any other claim against Client and without thereby incurring any liability to Client, suspend or terminate performance of the Services.

DAMAGE AT SUBJECT PROPERTY. We will not be liable for any property damage or bodily injury arising from damage to or interference with property improvements and/or surface or subterranean structures (including, without limitation, pipes, tanks, telephone cables, etc.) which are not called to our attention in writing and correctly shown on plans furnished by the Client in connection with the Services. Client recognizes that the use of exploration and test equipment may unavoidably affect, alter, or damage property improvements, terrain and affect subsurface, vegetation, buildings, structures and equipment in, at, or upon the site. Client accepts the fact that this is inherent to our work and will not hold us liable or responsible for any such effect, alteration, or damage. All laboratory or field equipment contaminated in performing our services and which cannot be reasonably decontaminated shall become the property and responsibility of the Client. All such equipment shall be delivered to Client or disposed of as mutually agreed in writing. Client agrees to pay the fair market value of any such equipment which cannot reasonably be decontaminated.

Client understands that the discovery of certain hazardous substances and conditions and/or the taking of preventative measures relative to these substances and conditions may result in a reduction of the value of the property upon which the substance or condition is found to exist or the preventative measures are taken. Accordingly, Client waives any claim against Consultant and its subcontractors and agrees to defend, indemnify and hold Consultant and its subcontractors harmless from any claim based upon the diminished value of property allegedly arising from the discovery of a hazardous substance or condition or the taking of preventative measures, unless such claim is based on the gross negligence or willful misconduct of Consultant.

PUBLIC LIABILITY/THIRD PARTY MATTERS. Consultant maintains workers’ compensations and employer’s liability for our employees as required by state laws. In addition, we maintain comprehensive general liability insurance with limits of \$2,000,000. A Certificate of Insurance can be supplied evidencing such coverage. We will not be liable or responsible for any loss, damage or liability beyond the amounts limits, coverage, or conditions of such insurance specified above. In the event any third party brings suit or claim for damages against us alleging exposure to or damage from material, elements, or constituents at or from Client’s facility before, during, or after the performance of the Services that are alleged to have resulted in or caused disease or any adverse health condition to any third party or resulting in cost for remedial action, uninhabitability of the property, or other property damage, then, unless solely caused by Consultant’s negligence, Client agrees to defend us in any such suit or claim and pay on our behalf any attorney’s fees, litigation expenses, and costs that arise as part of our defense, and to pay any judgment resulting against us, including any attorney’s fees, costs, and interest thereon. Client will have the right to investigate, negotiate and settle, with our concurrence, any such suit or claim, and we will cooperate in the defense of any such suit or claim.

LIMITATION OF LIABILITY. “LIMITATION BENEFICIARIES” shall mean, collectively and individually, Consultant, Consultant’s partners (general and/or limited), parent, affiliate or subsidiary companies, joint venturers, subcontractors and subconsultants, if any, as well as the liability of the officers, directors, employees, shareholders, partners (general and/or limited), members, managers, representatives, contractors and subcontractors (at all tiers) and agents of all of the foregoing. For the additional consideration of the value of the rights and duties created by this provision, the sufficiency and adequacy thereof being acknowledged hereby by Consultant and Client, Client agrees that the maximum liability of the LIMITATION BENEFICIARIES to Client or any third party due to the any one or more of the LIMITATION BENEFICIARIES’ acts, errors or omissions or breach of the Proposal or these terms and conditions shall be limited by Client to a total maximum aggregate amount of the lesser of (i) the total amount paid by Client to Consultant as of the date such claim shall arise (ii) \$50,000 (U.S.). In addition, Client waives any and all claims for consequential, special or punitive damages against the LIMITATION BENEFICIARIES and agrees to assert only direct damage claims against the LIMITATION BENEFICIARIES, subject in every respect to the quantitative limitation set forth in the preceding sentence. This provision has been negotiated by the parties.

SAMPLING HANDLING AND RETENTION. Generally, test samples or specimens are consumed or substantially altered during the conduct of tests and Consultant, at its sole discretion, will dispose of any remaining residue upon completion of tests, unless otherwise mutually agreed in writing between the parties. Client recognizes and agrees that we are acting as a bailee and at no time assume title to said waste.

HAZARDOUS SUBSTANCES OR CONSTITUENTS. Client agrees to advise us in writing before execution of the Proposal of any known or suspected hazardous substances or any condition existing in, on, or near the site, included but not limited to known or suspected hazardous substances or conditions which may present a potential danger to human health, the environment, or equipment. Consultant's performance of the Services shall be conditioned upon the accuracy of such Client-furnished information. During our performance of the Services, Client agrees to provide continuing information relating to the project to us in writing as it comes to the attention of Client. By virtue of entering into the Proposal or of providing services thereunder, we do not assume control or responsibility for the site or the person in charge of the site, or undertake responsibility for reporting to any federal, state, or local public agencies and conditions at the site that may present a potential danger to public health, safety, or the environment. Client agrees to notify the appropriate federal, state, or local public agencies as required by law, or otherwise to disclose in a timely manner, any information that may be necessary to prevent any danger to health, safety, or the environment. In connection with hazardous waste, Client agrees to the maximum extent permitted by law to defend, hold harmless and indemnify Consultant from and against any and all claims and liabilities resulting from: (a) Client's violation of any federal, state, or local statute, regulation, or ordinance relating to the disposal of hazardous substances or constituents; (b) Client's undertaking of or arrangement for the handling, removal, treatment, storage, transportation, or disposal of hazardous substances or constituents found or identified at the site; (c) Changed conditions or hazardous substances or constituents introduced at the site by Client or third persons before or after the completion of services herein; (d) Allegations that Consultant is a handler, generator, operator, treater, storer, transporter, or disposer under the Resource Conservation and Recovery Act of 1976 as amended, or any other similar Federal, state, or local regulations or law.

UNFORESEEN OCCURRENCES. If, during the performance of the Services, any unforeseen hazardous substances or constituents or other unforeseen conditions or occurrences are encountered which, in our sole judgment significantly affect or may affect the Services, the risk involved in providing the Services, or the recommended scope of Services, we will make reasonable efforts to notify Client thereof. Subsequent to that notification, Consultant may: (a) if practicable, in its sole judgment, complete the original scope of services in accordance with the procedures originally intended in the Proposal; (b) agree with Client to modify the scope of services and the estimate of charges to include study of the previously unforeseen condition or occurrences, such revision to be in writing and signed by the parties and incorporated herein; or (c) terminate the Services effective on the date specified by us in writing. Consultant shall not be responsible or liable for delays caused by circumstances beyond Consultant's control, including without limitation, acts of God, acts and/or omissions of federal, state or local governmental authorities and regulatory agencies, acts of Client and its contractors, strikes, riots, civil unrest, terrorism, and war.

DOCUMENTS. Consultant will furnish Client the agreed upon written reports and supporting documents. These instruments of services are furnished for Client's exclusive internal use and reliance, use of Client's counsel, use of Client's qualified bidders (design services only) and for regulatory submittal in connection with the project or the Services, but not for advertising or other type of distribution, and are subject to the following:

(a) All documents generated by Consultant under the Proposal and/or relating to the Services shall remain the sole property of Client. Any unauthorized use or distribution of Consultant's work shall be at Client's and recipient's sole risk. Consultant may retain a confidential file copy of its work product and related documents.

(b) If Client desires to release, or for Consultant to provide, our report(s) to a third party not described above for that party's reliance, Consultant may permit such release provided all sums due Consultant have been paid in full and we receive written acceptance from such third party to be bound by acceptable terms and conditions similar to those contained herein (e.g. Secondary Client Agreement). Reports provided for disclosure of information only will not require separate agreement. Client acknowledges and agrees to inform such third party that Consultant's report(s) reflects conditions only at the time of the study and may not reflect conditions at a later time. Client further acknowledges that such request for release creates a potential conflict of interest for Consultant and by this request Client waives any such claim if Consultant complies with the request.

(c) Client agrees that all documents furnished to Client or Client's agents or designees, if not paid for, will be returned upon demand and will not be used by Client or any other entity for any purpose whatsoever. Client further agrees that documents produced by Consultant pursuant to the Proposal will not be used for any project not expressly provided for in the Proposal without Consultant's prior written approval.

(d) Client shall furnish documents or information reasonably within Client's control and deemed necessary by Consultant for proper performance of the Services. Consultant, without further investigation or inquiry, may rely upon Client-provided documents in performing the Services, and Consultant assumes no responsibility or liability for their accuracy. Client provided documents will remain the property of Client, but Consultant may retain one confidential file copy as needed to support our report.

INTEGRATION. These Terms and Conditions are incorporated into and integrated with the Proposal. If there exist any conflict between the terms of the Proposal and these terms and conditions, then the terms contained in the Proposal shall control.

CLAIMS. If Client brings a claim against us for any matter arising out of or related to the Proposal, Client shall pay all our costs, including, without limitation, our personnel-related costs, attorneys' fees, court costs, and other claim-related expenses, including without limitation, costs, fees, and expenses of experts if we are the prevailing party. Client agrees that for the purposes of this provision it has failed to prove its claim when judgment in litigation is for a sum of money less than that sum offered by us to resolve the matter without litigation.

GENERAL. In the event that any provision herein shall be deemed invalid or unenforceable, the other provisions hereof shall remain in full force and effect, and binding upon Consultant, Client and their respective successors and assigns. All obligations arising prior to the termination of our engagement under the Proposal and all provisions of hereof allocating responsibility or liability between Client and Consultant shall survive the completion of the Services and the termination of our engagement under the Proposal. The Proposal, these terms and conditions, and any and all documents attached hereto and which are incorporated herein constitute the entire agreement between Consultant and Client and cannot be changed except by a written instrument agreed upon by both parties. Headings are provided for convenience purposes only and have no legal effect or intent. The Proposal shall be governed in all aspects by the laws of the State of Georgia. Any disputes arising out of the Proposal shall be brought exclusively in the state or federal courts in Fulton County, Georgia, and Client waives all objections regarding venue or jurisdiction.

APPENDIX VII

ENVIRONMENTAL CONSULTANT SIGNATURE PAGE

**ENVIRONMENTAL CONSULTANT SIGNATURE PAGE FOR
PHASE II REPORTS**

June 14, 2012

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that, to the best of my professional knowledge and belief, I meet the definition of Environmental Professional as defined in § 312.10 of 40 C.F.R. 312.

I have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property.

June 14, 2012

Date



Environmental Professional

We have performed a Phase II Site Investigation of the Proposed Hearthside at Sugarloaf, 1625 Atkinson Road, Lawrenceville, Gwinnett County, Georgia 30043 in conformance with our Scope of Services (attached) and the current DCA Environmental Manual and in a professional manner in accordance with the practices, procedures and standards prevailing among nationally recognized first class environmental consulting firms. Any deviation from our Scope of Services is described in the "Scope of Work" Section of the Phase II Report. We certify that the Phase II was performed by a qualified Environmental Professional meeting the requirements set forth in 40 C.F.R. § 312.10(b).

June 14, 2012

Date



Principal of Consultant

June 14, 2012

Date



Professional Geologist

