

**ENVIRONMENTAL SITE ASSESSMENT
(PHASE I)**

**BRASELTON COURT
1018 BEAVER DAM ROAD
BRASELTON, BARROW COUNTY, GEORGIA 30548**

ONE GROUP PROJECT #A2028
JUNE 14, 2012

PREPARED FOR:

GEORGIA DEPARTMENT OF COMMUNITY AFFAIRS
60 EXECUTIVE PARK SOUTH, NE
ATLANTA, GEORGIA 30329-2231

AND

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**ENVIRONMENTAL CONSULTANT SIGNATURE PAGE FOR
PHASE I REPORTS**

June 14, 2012

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that, to the best of my professional knowledge and belief, I meet the definition of Environmental Professional as defined in §312.10 of 40 C.F.R. 312.

I have specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. I have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 C.F.R. Part 312.



June 14, 2012

Date

Environmental Professional

We have performed a Phase I Environmental Site Assessment in conformance with the scope and limitation of 40 C.F.R. Part 312 and ASTM E1527-05 of Braselton Court at 1018 Beaver Dam Road, Braselton, Barrow County, Georgia, 30548, the Site. Any exceptions or deletions from this practice are described in Section 2.6 of this report. We certify that the Phase I was performed by a qualified Environmental Professional meeting the requirements set forth in 40 C.F.R. §312.10(b).



June 14, 2012

Date

Principal of Consultant

TABLE OF CONTENTS

1.0 EXECUTIVE SUMMARY	1
1.1 Location and Legal Description of the Property.....	1
1.2 Environmental Concerns and Conclusions	2
1.2.1 On-Site	2
1.2.2 Off-Site	2
1.3 Recommendations.....	2
1.3.1 On-Site	2
1.3.2 Off-Site	2
2.0 INTRODUCTION	3
2.1 Background (including purpose of the Phase I).....	3
2.2 Procedures (including a detailed Scope of Services).....	3
2.3 Significant Assumptions	4
2.4 Qualifications of Personnel/Documentation of qualifications as an “Environmental Professional”	5
2.5 Assessment of Specialized Knowledge or Experience of User and/or “Environmental Professional”	5
2.6 Limitations and Exceptions.....	5
2.7 Special or Additional Conditions or Contract Terms	5
3.0. SITE SETTING	6
3.1. General Description of the Site and Vicinity.....	6
3.1.1. Current Site Use and Description	6
3.1.2. Current Uses of Adjoining Properties.....	6
3.1.3. Description of Structures, Roads, and Other Improvements (including exterior and interior observations)	6
3.2. Hydrogeology	6
3.2.1. Geologic Setting.....	6
3.2.2. Surface Drainage.....	7
3.2.3. Groundwater	7
3.3. Wetlands	7
3.4. Floodplain/Floodway	7
3.5. State Waters	7
3.6. Endangered Species	7
4.0 REGULATORY INFORMATION	8
4.1 Data Review.....	8
4.1.1 Standard Environmental Record Sources	8
4.1.2 Additional Environmental Record Sources	10
4.2 Agency Contacts/Records.....	11
4.2.1 Local Fire Department Official.....	11
4.2.2 State, Local, or Regional Health or Environmental Agency	11
4.2.3 Local Building Permit Agency Official.....	11
4.2.4 Local Groundwater Use Permit Agency Official.....	11
4.3 Interviews.....	11
4.3.1 Current Key Site Manager, Occupants, or Owners of the Property.....	11
4.3.2 Current Owners or Occupants of Neighboring Properties.....	12
4.3.3 past Owners, Occupants, or Operators of the Property.....	12

4.3.4 User(s).....	12
5.0 SITE INFORMATION AND USE.....	13
5.1 Site Reconnaissance Methodology and Limiting Conditions.....	13
5.2 General Site Setting	13
5.3 Assessment of Commonly Known/Reasonably Ascertainable Information.....	13
5.4 Current Site Use.....	13
5.4.1 Storage Tanks.....	13
5.4.2 Hazardous and Petroleum Products Containers/Drums	13
5.4.3 Heating and Cooling	14
5.4.3 Heating and Cooling	14
5.4.4 Solid Waste	14
5.4.5 Sewage Disposal/Septic Tanks	14
5.4.6 Hydraulic Equipment.....	14
5.4.7 Contracted Maintenance Services.....	14
5.4.8 Electrical Equipment/PCBs	14
5.4.9 Water Supply and Wells	14
5.4.10 Drains and Sumps	14
5.4.11 Pits, Ponds, Lagoons, and Surface Waters.....	14
5.4.12 Stressed Vegetation.....	14
5.4.13 Stained Soil or Pavement.....	14
5.4.14 Odors.....	15
5.4.15 Utilities/Roadway Easements	15
5.4.16 Chemical Use.....	15
5.4.17 Water Leaks/Mold/Fungi/Microbial Growth.....	15
5.4.18 Asbestos	15
5.4.19 Lead-Based Paint	15
5.4.20 Lead in Drinking Water	15
5.4.21 Radon	15
5.4.22 Noise	16
5.4.23 Vapor Encroachment Screening	16
5.4.24 Other Site Reconnaissance Issues	17
5.5 Past Site Use	17
5.5.1 Recorded Land Title Records	17
5.5.2 Environmental Liens.....	17
5.5.3 Activity and Use Limitations (a.k.a. Engineering and/or Institutional Controls)	17
5.5.4 Aerial Photographs and Topographic Maps	17
5.5.5 Sanborn Fire Insurance Maps	17
5.5.6 City Directories.....	17
5.5.7 Previous Environmental Studies	18
5.5.8 Other	18
5.6 Current Surrounding Land Use.....	18
5.6.1 North	18
5.6.2 East.....	18
5.6.3 South	18
5.6.4 West	18

5.7 Past Surrounding Land Use	18
5.7.1 North	18
5.7.2 East.....	18
5.7.3 South	18
5.7.4 West	18
5.8 Historic preservation.....	19
6.0 DATA GAPS	20
6.1 Identification of Data Gaps	20
6.2 Sources of Information Consulted to Address Data Gaps	20
6.3 Significance of Data Gaps	20
7.0 ENVIRONMENTAL CONCERNS.....	21
7.1 On-Site	21
7.2 Off-Site	21
8.0 CONCLUSIONS & RECOMMENDATIONS.....	22
8.1 On-Site	22
8.2 Off-Site	22
9.0 DATA REFERENCES	23
10.0 VALUATION REDUCTION.....	25
10.1 Purchase Price.....	25
10.2 Interview of Broker Regarding Market Value	25
10.3 Differential between Purchase Price and Market Value	25
10.4 Environmental Reasons For Any Differential	25

APPENDICES

1.0 EXECUTIVE SUMMARY

1.1 LOCATION AND LEGAL DESCRIPTION OF THE PROPERTY

The subject property, herein referred to as the “Site”, is a 4.874-acre, rectangular parcel located at 1018 Beaver Dam Road, Braselton, Barrow County, Georgia, 30548. Currently vacant, it is owned by the PB Real Estate, LLC. The applicant, Braselton Court, LP, intends to develop and operate the Site as a multi-family (housing for older people) facility.

The Site was first developed from undeveloped farmland in approximately 2005 as a part of a larger, mixed-use development. It is currently vacant, partially developed land.

Legal Description of the Site follows:

All that tract or parcel of land lying and being in G.M.D. 1744 of Barrow County, Georgia in the Town of Braselton and being more particularly described as follows:

To find the True Point of Beginning, begin at the intersection of the Northwesterly right-of-way of Beaver Dam Road (right-of-way varies) and the Northeasterly right-of-way of Ga. State Route 211 (right-of-way varies); THENCE following along the northwesterly right-of-way of Beaver Dam Road North 80 degrees 21 minutes 54 seconds East for a distance of 27.15 feet to a point; THENCE following along a curve to the right having a radius of 749.03 feet an arc length of 194.21 feet being subtended by a chord bearing of North 48 degrees 52 minutes 14 seconds East for a chord distance of 193.66 feet to a point, said point Being The True Point of Beginning; THENCE leaving said right-of-way North 31 degrees 28 minutes 39 seconds West for a distance of 99.19 feet to a point; THENCE North 31 degrees 31 minutes 59 seconds West for a distance of 42.84 feet to a point; THENCE North 36 degrees 09 minutes 28 seconds West for a distance of 129.87 feet to a point; THENCE North 43 degrees 02 minutes 39 seconds West for a distance of 38.28 feet to a point; THENCE North 45 degrees 16 minutes 39 seconds West for a distance of 17.34 feet to a p.k. nail found; THENCE North 52 degrees 00 minutes 53 seconds West for a distance of 44.02 feet to a point; THENCE North 47 degrees 31 minutes 34 seconds East for a distance of 472.12 feet to a point; THENCE South 42 degrees 28 minutes 26 seconds East for a distance of 482.17 feet to a 1/2 inch rebar found on the northwesterly right-of-way of Beaver Dam Road; THENCE along said right-of-way along a curve to the right having a radius of 648.84 feet an arc length of 203.16 feet being subtended by a chord bearing of South 53 degrees 56 minutes 10 seconds West for a distance of 202.33 feet to a point; THENCE South 61 degrees 24 minutes 38 seconds West for a distance of 234.06 feet to a 1/2 inch rebar found; THENCE North 28 degrees 50 minutes 05 seconds West for a distance of 19.97 feet to a 1/2 inch rebar found; THENCE South 60 degrees 01 minutes 22 seconds West for a distance of 24.05 feet to a 1/2 inch rebar found; THENCE along a curve to the left having a radius of 749.03 feet and arc length of 58.98 feet being subtended by a chord bearing of South 58 degrees 33 minutes 15 seconds West for an arc length of 58.96 feet to a 1/2 inch rebar found, said point being the True Point of Beginning.

Said property contains 4.874 acres.

Together with easements benefiting the property (to be determined – access over private access drive, drainage, etc.)

1.2 ENVIRONMENTAL CONCERNS AND CONCLUSIONS

One Group has performed a Phase I ESA in conformance with the scope and limitations of ASTM Designation E 1527-05, Standard Practice for Environmental Site Assessments for the Site. Any exceptions to, or deletions from, this practice are described in Section 2.7 of the report. This assessment has revealed no evidence of *RECOGNIZED ENVIRONMENTAL CONDITIONS* in connection with the Site.

1.2.1 On-Site

No *recognized environmental conditions* were discovered associated with on-Site sources.

1.2.2 Off-Site

No *recognized environmental conditions* were discovered associated with off-Site sources.

1.3 RECOMMENDATIONS

1.3.1 On-Site

One Group recommends no further investigation to determine the presence of *recognized environmental conditions* associated with on-Site sources.

New construction at the Site will require compliance with current USEPA requirements for radon resistant construction techniques, including, but not limited to, ASTM E1465-08 *Standard Practice for Radon Control Options for the Design and Construction of New Low-Rise Residential Buildings*. Confirmation Radon in Air Testing will be performed on all Site structures upon construction completion to verify compliance with DCA requirements.

1.3.2 Off-Site

One Group recommends no further investigation to determine the presence of *recognized environmental conditions* associated with off-Site sources.

2.0 INTRODUCTION

2.1 BACKGROUND (INCLUDING PURPOSE OF THE PHASE I)

Braselton Court, LP (client) retained One Consulting Group, Inc. (One Group) for the purposes of conducting a Phase I Environmental Site Assessment (ESA) at Braselton Court (Site) located at 1018 Beaver Dam Road, Braselton, Barrow County, Georgia. The Site plan and location is presented on Figures 1 and 5 of Appendix A, respectively. Copies of available Site surveys are provided in Appendix A.

The purpose of this ESA is to allow its *user* to satisfy one of the qualifying requirements for *Landowner Liability Protections* under the Comprehensive Environmental Response, Compensation and Liability Act of 1980 (CERCLA), as currently amended and according to the American Society for Testing and Materials (ASTM) “Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process”, Designation: E 1527-05 (standard practice). This ASTM standard is intended to define good commercial and customary practice that constitutes “*all appropriate inquiry* into the previous ownership and uses of the Site” with respect to hazardous substances regulated by CERCLA, and petroleum products. One Group performed this ESA in accordance with the standard practice to identify “*recognized environmental conditions*” which exist in connection with the Site.

This ESA was also performed in accordance with additional non-scope issues as required by the Georgia Department of Community Affairs (DCA) in the most current DCA Affordable Housing Environmental Manual E. This ESA and its additional scope items were performed to ascertain whether the Site is environmentally suitable for construction of multi-family and/or seniors housing.

It is not the purpose of the ESA to determine the presence, degree, or extent of contamination, if any, but rather the potential for contamination. Performance of this ESA is intended to reduce, but not completely eliminate, uncertainty while performing *all appropriate inquiry*.

2.2 PROCEDURES (INCLUDING A DETAILED SCOPE OF SERVICES)

The scope of work for this ESA consisted of, but was not limited to, the following:

- SITE RECONNAISSANCE AND PHYSICAL INSPECTION;
- SITE BACKGROUND AND OPERATING HISTORY REVIEW;
- HISTORICAL RECORDS REVIEW INCLUDING HISTORICAL CITY DIRECTORIES, SANBORN FIRE INSURANCE MAPS, AERIAL PHOTOGRAPHS, ETC.;
- INTERVIEWS WITH INDIVIDUALS KNOWLEDGEABLE ABOUT THE SITE;
- REVIEW OF THE LOCAL GEOLOGY, SOILS, AND HYDROGEOLOGY;
- REVIEW OF THE LOCAL DRAINAGE, TOPOGRAPHY AND FLOOD ZONE;

- IDENTIFICATION OF POLY-CHLORINATED BIPHENYL (PCB) ELECTRICAL EQUIPMENT AND TRANSFORMERS;
- ENVIRONMENTAL DATABASE REVIEW UTILIZING A CONTRACTED SOURCE;
- CONTACT WITH REGULATORY AGENCIES, INCLUDING BUT NOT LIMITED TO THE APPLICABLE STATE ENVIRONMENTAL AGENCY;
- UNDERGROUND STORAGE TANK (UST) AND PETROLEUM PRODUCT SEARCH;
- HAZARDOUS SUBSTANCE, MATERIALS, AND/OR WASTE SEARCH INCLUDING IDENTIFICATION OF LARGE QUANTITY GENERATORS (LQGs), SMALL QUANTITY GENERATORS (SQGs), AND CONDITIONALLY EXEMPT SQGs (CESQGs).

Using readily ascertainable information, One Group performed to the best of our ability, the following items in completion of this ESA:

- Inspected the Site through a walking tour to identify direct evidence (USTs, hazardous waste generation, stained soils, drums, unauthorized dumping, etc.) and indirect evidence (distressed vegetation, barren areas, foul odors, etc.) of environmental issues or concerns.
- Interviewed the Site owner, as well as available tenants, site representatives, neighbors, and local officials, to establish a prior-use history of the subject, adjacent, and adjoining properties.
- Reviewed available maps, photographs, and historical records to establish a prior-use history of the subject, adjacent and adjoining properties.
- Determined the presence and ownership of electrical transformers or other electrical equipment on the Site that could contain PCBs.
- Identified aboveground, underground and/or leaking storage tanks on, adjacent to, and/or within applicable radii of the Site. These efforts included site reconnaissance and reviews of state and local records, described below.
- Identified past and/or present hazardous waste generation on, adjacent to, and/or within applicable radii of the Site. These efforts included site reconnaissance and reviews of state and local records, described below.
- Conducted a review of applicable and accessible environmental databases to identify potential environmental hazards on, or near, the Site. This review complied with the protocol of the standard practice.

Many terms contained in this report are specialized terms with special meanings and significance, as defined in the standard practice. Terms not so defined are to be construed by their common usage and meaning.

2.3 SIGNIFICANT ASSUMPTIONS

The following assumptions were made in preparation of this report:

- Groundwater flow direction – the direction of groundwater flow for the Site is based on a review of the appropriate USGS topographic map and on-Site surface water directional flow observed during the site inspection.

- Regulatory Records – it is assumed that information provided by the subcontracted, commercial service, Environmental Data Resources, Inc., (EDR) to conduct required records searches regarding regulatory status of surrounding facilities is complete and accurate.
- Regulatory Records – it is assumed that public record information obtained from the applicable environmental regulatory agency, the Georgia Environmental Protection Division (EPD), regarding regulatory status of the Site and surrounding facilities is complete and accurate;
- Interviews – it is assumed that information from interviews is true and accurate.

2.4 QUALIFICATIONS OF PERSONNEL/DOCUMENTATION OF QUALIFICATIONS AS AN “ENVIRONMENTAL PROFESSIONAL”

One Group provides environmental consulting services to the real estate, development, legal, lending, and manufacturing industries. Among the firm’s staff and associate professionals are Registered Professional Engineers and Geologists, Certified Hazardous Material Managers, Environmental Scientists, and Construction Specialists. Copies of client letters of reference are provided in Appendix M.

Mr. Robert Brawner, One Group Principal performed this ESA and his resume is provided in Appendix I.

2.5 ASSESSMENT OF SPECIALIZED KNOWLEDGE OR EXPERIENCE OF USER AND/OR “ENVIRONMENTAL PROFESSIONAL”

No user interviewed during this ESA had any specialized knowledge or experience regarding any recognized environmental conditions in connection with the Site.

2.6 LIMITATIONS AND EXCEPTIONS

This report pertains only to the current environmental condition of the premises and relates only to areas readily accessible for inspection. Our compensation for preparing this report is not contingent upon our observations or conclusions. To the best of our knowledge, the statements of fact contained herein, on which we based our opinions, conclusions, and recommendations, are true and correct. Information obtained from third parties, and included in this report, is deemed reliable; however, One Group does not represent or warrant the accuracy of this information. This report is intended for use in its entirety. Braselton Court, LP, The Georgia Department of Community Affairs, and the Georgia Housing and Finance Authority may rely on this report.

2.7 SPECIAL OR ADDITIONAL CONDITIONS OR CONTRACT TERMS

No special or additional conditions or contract terms were applicable to the completion of this ESA. One Group, its employees, assigns, and/or subcontractors, are not affiliated with the owner/developer or buyer or seller of this project.

3.0. SITE SETTING

3.1. GENERAL DESCRIPTION OF THE SITE AND VICINITY

The Site is an approximately 4.874-acre, rectangular parcel located in a predominantly rural area of Barrow County. A survey is provided in Appendix A that depicts the Site (Tract 1) surrounded by several tracts of its parent or master development. It is identified as tax parcel BRO23 23 by the Barrow County Tax Assessor's office. A copy of available tax information is provided in Appendix D.

The topography can best be described as moderately sloping to the southeast towards an on-Site detention pond.

The Site is at 1018 Beaver Dam Road, Braselton, Barrow County, Georgia. It is on the north side of Beaver Dam Road, approximately 1/2 miles south of the intersection of Highway 211 and Interstate 85.

3.1.1. Current Site Use and Description

The Site is currently a vacant, graded parcel with a detention pond, utilities, and civil improvements.

3.1.2. Current Uses of Adjoining Properties

The Site is surrounded on three sides by vacant land. The Site's eastern boundary is bordered by a single family residence. Commercial development is located further to the north.

These areas are discussed in detail in Section 5.6 of this ESA.

3.1.3. Description of Structures, Roads, and Other Improvements (including exterior and interior observations)

The Site is accessed from Beaver Dam Road. A detention pond has been constructed in its southeastern corner, and the Site is serviced by civil improvements.

3.2. HYDROGEOLOGY

According to the 1992 Georgia Groundwater Pollution Susceptibility Map, the Site lies in an area of low susceptibility for the migration of pollutants to drinking water supplies. This area is not considered a most significant groundwater recharge area for Georgia according to the Georgia Geologic Survey, Hydrologic Atlas 20.

3.2.1. Geologic Setting

The Site soils are Cecil sandy clay loam. Underlying bedrock on the Site is classified as granite gneiss biotite (gg4) according to the Geology Map of Georgia (1976). Depth to bedrock on the Site is not known; however, bedrock in this section of the Piedmont is usually less than fifty feet below ground surface (bgs).

3.2.2. Surface Drainage

According to the U.S. Geological Survey Topographic map, 7.5-Minute, Auburn, Georgia Quadrangle, dated 1997; the elevation of the Site is approximately 847 feet above mean sea level, based on the National Geodetic Vertical Datum of 1929. The Topographic Map is presented as Figure 1 of Appendix A.

The Site has a mild downward gradient to the southeast. Drainage for the Site is provided by infiltration and overland flow. The storm water throughout the Site is directed to the on-Site detention pond along its southeast corner.

3.2.3. Groundwater

Surficial, unconfined groundwater is usually less than fifty feet bgs in this area of the Piedmont. Groundwater flow beneath the Site is predominantly controlled by fracture-flow in joints and openings of the underlying bedrock and/or pore spaces in the overlying residual soils. Groundwater flow direction generally follows surface topography down gradient. Unconfined, surficial groundwater likely flows southeast from the Site towards a nearby, unnamed tributary.

3.3. WETLANDS

No wetlands were observed on the Site. The eight-step wetland decision making process was concluded in the first step.

3.4. FLOODPLAIN/FLOODWAY

Floodplains were not observed on the Site. The eight-step floodplain decision making process was concluded in the first step. Flood Zone information for the Site was reviewed online at the Federal Emergency Management Agency (FEMA) website: <http://store.msc.fema.gov/>. The FEMA Flood Insurance Rate Map for Barrow County, Georgia depicts the Site in un-shaded Zone X, areas outside both the 100 and 500 year floods. The FEMA maps do not reflect potential local drainage problems or the ability of the local storm water management system to convey the surface water runoff created by storms or other occurrences.

During the inspection, there were no areas of significant ponding or erosion. Site drainage appears adequate for in its current developed state.

3.5. STATE WATERS

No state waters were observed on the Site.

3.6. ENDANGERED SPECIES

Both the US Fish and Wildlife list of protected species and the Georgia Natural Heritage Inventory Program occurrence lists were reviewed prior to the Site inspection. No on-Site habitats were encountered during this assessment, and due to the agricultural and developed nature of the Site and surrounding area it is unlikely that endangered species would be encountered at the Site. Both government agencies agreed with the above determination.

4.0 REGULATORY INFORMATION

4.1 DATA REVIEW

A review of applicable and accessible federal, state, and local databases was performed to identify if the subject, adjacent, adjoining, and/or nearby properties within a 1-mile radius have had environmental concerns, hazardous substance releases, petroleum product releases, environmental compliance violations, etc.

4.1.1 Standard Environmental Record Sources

4.1.1.1 Sites listed in Section 8.2.1 of ASTM E 1527-05 and in Exhibit B1

SOURCE	SEARCH DISTANCE	# OF SITES	SITE LISTED?
National Priorities List (NPL) – The USEPA’s database of uncontrolled or abandoned hazardous waste sites identified for priority remedial actions under the Superfund program.	1.0 Mile	0	No
CERCLIS – The list of sites compiled by USEPA that USEPA has investigated or is currently investigating for potential hazardous substance contamination for possible inclusion on the NPL.	0.5 Mile	0	No
NFRAP – Former CERCLIS sites where no further remedial action is planned under CERCLA.	1 Mile	0	No
CORRACTS – List of hazardous waste treatment, storage, or disposal facilities and other RCRIS facilities that have been notified by the USEPA to undertake corrective action under RCRA.	1.0 Mile	0	No
DOD – List of federally owned or administered lands that have any area equal to or greater than 640 acres, administered by the Department of Defense.	1 Mile	0	No
RCRA TSD – USEPA list of facilities on which treatment, storage, and/or disposal of hazardous wastes takes place, as defined and regulated by RCRA.	0.5 Mile	0	No
RCRA Generators – USEPA list of those persons or entities that generate hazardous wastes as defined and regulated by RCRA. RCRA large generators (LQGs) are facilities that generate at least 1,000 kg/month of non-acutely hazardous waste or 1 kg/month of acutely hazardous waste. RCRA Small and Very Small generators (SQGs) are facilities that generate less than 1,000 kg/month of non-acutely hazardous waste.	0.25 Mile	0	No

US ENG / US INST CONTROLS – Sites with engineering and institutional controls in place to prevent exposure to onsite contaminants, or to eliminate pathways for regulated substance so enter environmental media or affect human health.	1.0 Mile	0	No
FINDS – This database contains both facility information and identifies other sources that contain more detail.	0.25 Mile	0	No
ERNS – USEPA’s emergency response notification system list of reported CERCLA hazardous substance releases or spills in quantities greater than the reportable quantity, as maintained at the National Response Center.	Site	0	No
TRIS – This database identifies facilities that release toxic chemicals to air, water, and land in reportable quantities under SARA Title III Section 313.	Site	0	NO
SHWS - This database is a comprehensive list of sites that have had a release of hazardous substances and are listed as a State-equivalent CERCLIS site by the Georgia Department of Natural Resources, Environmental Protection Division (EPD).	1.0 Mile	0	No
SWF/LF - Solid Waste/Landfill Facilities database is a list of all permitted active, inactive, in-closure, and industrial solid waste facilities operating in the state provided by the EPD.	0.5 Mile	0	NO
HIST-LF - This database is an inventory of abandoned and/or closed solid waste disposal facilities and landfills in Georgia.	0.5 Mile	0	No
Non-HSI - This database is a comprehensive list of sites that have reportable concentrations of hazardous substances in their soil and/or groundwater. These conditions have been reviewed and given a conditional no further action status by EPD.	0.25 Mile	0	No
UST - The Georgia UST list is a comprehensive list of all registered active and inactive storage tanks in the state provided by the EPD.	0.25 Mile	1	No
LUST - The Georgia leaking UST list is a comprehensive list of all regulated and non-regulated confirmed/suspected releases in the state provided by the EPD.	0.5 Mile	0	No
BROWNFIELDS – This database is an inventory of sites where response actions under the Georgia Hazardous Site Reuse and Redevelopment Act are planned, ongoing, or completed.	0.5 Mile	0	No

The Site was not listed on any of the environmental databases reviewed during this assessment. Hazards associated with petroleum hydrocarbons and hazardous materials were not discovered in association with the Site during the environmental database review.

The listed facilities are not *recognized environmental conditions* based on their distance (>900 feet) from the Site, regulatory status, and/or topographically down-gradient location. Field reconnaissance verified this radius and inclusion of the remaining listed facilities would be unduly burdensome and would not change the determinations made during this inquiry.

4.1.1.2 Orphan/Unmappable Sites

Listed orphan facilities (unmappable due to insufficient data) were cross-referenced with area street names and determined to be outside the ASTM-designated radii of the Site during field reconnaissance. Therefore, orphan and unmappable facilities are not a *recognized environmental condition*. Inclusion of these listed orphan/unmappable listed sites would be unduly burdensome and would not change the determinations made during this inquiry.

4.1.2 Additional Environmental Record Sources

4.1.2.1 Local Brownfield Lists

A local Brownfield Site list was reviewed at EPD Brownfield Program. No Brownfield listings were identified within a one-mile radius of the Site.

4.1.2.2 Local Lists of Landfill/Solid Waste Disposal Sites

No local lists of landfill/solid waste disposal sites were identified during this ESA.

4.1.2.3 Local Lists of Hazardous Waste/Contaminated Sites

No local lists of Hazardous Waste/Contaminated sites were identified during this ESA.

4.1.2.4 Local Lists of Registered Storage Tanks

No local lists of registered storage tanks were identified during this ESA.

4.1.2.5 Local Land Records (for activity and use limitations)

According to the Braselton and Barrow County Planning and Development Department, the Site is currently zoned for multi-family residential use. No record of environmental hazards or land use restrictions was discovered during this assessment.

4.1.2.6 Records of Emergency Release Reports

No records of emergency release reports for the Site were identified during this ESA.

4.1.2.7 Records of Contaminated Public Wells

No record of contaminated public wells was discovered during this ESA.

4.1.2.8 Planning Department Records

According to information provided by the Braselton and Barrow County Planning and Development Department, there are currently no environmental liens or land use restrictions on the Site. No documentation of environmental hazards associated with the Site was discovered during this inquiry.

4.1.2.9 Local/Regional Pollution Control Agency Records

Not applicable.

4.1.2.10 Local/Regional Water Quality Agency Records

The Barrow County Department of Watershed Management was contacted online and a copy of the 2010 Water Quality Report was reviewed. The water supply available to the Site is compliant both USEPA and EPD requirements.

4.1.2.11 Local Electric Utility Companies (for records related to PCBs)

Electrical equipment was not observed on the Site. This section is not applicable.

4.1.2.12 Other

Not applicable.

4.2 AGENCY CONTACTS/RECORDS

4.2.1 Local Fire Department Official

Dana Thornton, Barrow County Fire Marshall, was contacted for recorded information regarding UST installation/removal, chemical hazards, leaks, or spills on or near the Site. According to Mr. Thornton, there have been no reported environmental hazards on or near the Site.

4.2.2 State, Local, or Regional Health or Environmental Agency

The Barrow County Board of Health was contacted for information concerning current or past environmental concerns associated with the Site. There are no records indicating any releases or environmental concerns associated with the Site.

4.2.3 Local Building Permit Agency Official

According to information provided by the Braselton and Barrow County Planning and Development Department, there are currently no environmental liens or land use restrictions on the Site. No documentation of environmental hazards associated with the Site was discovered during this inquiry.

4.2.4 Local Groundwater Use Permit Agency Official

The Barrow County Board of Health was contacted for information concerning groundwater withdrawal wells on the Site. No records concerning the Site were available for review. Further, a review of available USGS well data did not reveal any groundwater withdrawal wells on the Site.

4.3 INTERVIEWS

Interviews with a representative of the ESA user, Site owner, Site key site manager, and individuals knowledgeable about the Site were conducted to identify: the potential for recognized environmental conditions to exist as a result of identified Site usage; the presence, spills or releases of hazardous substances and petroleum products on and in the vicinity of the Site; and other known environmental concerns on and in the vicinity of the Site.

4.3.1 Current Key Site Manager, Occupants, or Owners of the Property

A DCA Owner Environmental Questionnaire was completed by Mr. Andrew Cathlina, representative of the current Site owner, the PB Real Estate, LLC. He was not able to answer several of the questions in this document. However, these items were resolved during this assessment from alternate sources of information discounting this condition as a data gap. Mr. Cathlina also filled out an additional, more specific property questionnaire for the Site provided by One Group. He was not aware of any issue of environmental concern associated with the Site. Mr. Cathlina was not aware of any environmental liens, land use restrictions associated with the Site, or any impairment to the fair market value of the Site due to contamination or an environmental concern.

4.3.2 Current Owners or Occupants of Neighboring Properties

Neighboring property owners were not available for interview during this ESA

4.3.3 past Owners, Occupants, or Operators of the Property

Past owners were not available for review during this ESA.

4.3.4 User(s)

Mr. Jervon Harris, agent for Braselton Court, LP, the user of this ESA, filled out a general property questionnaire to facilitate the completion of this sub-section. This questionnaire is attached in Appendix H.

4.3.4.1 Title Records

Braselton Court, LP contracted Hunter Maclean of Savannah, Georgia to perform a title search and commitment for the Site. These documents are discussed in detail in Section 5.5.

4.3.4.2 Environmental Liens

Braselton Court, LP is not aware of any environmental liens or land use restrictions associated with the Site.

4.3.4.3 Specialized Knowledge of the User

Braselton Court, LP has no specialized knowledge regarding the Site.

4.3.4.4 Commonly Known/Reasonably Ascertainable Information

Braselton Court, LP, the user of this ESA, does not have any knowledge or experience related to the Site or nearby properties.

4.3.4.5 Reason for Performing the Phase I

This assessment was performed as a requirement to obtain financing for acquisition and construction of improvements required for the development of the Site. This assessment was also performed for Braselton Court, LP in order to receive a new allocation of 9% tax credits from the Office of Affordable Housing 2012 Current Funding Round.

4.3.4.6 Relationship of Purchase Price to Fair Market Value (if Property being purchased)

4.3.4.6.1 Purchase Price

No evidence of a discount to the fair market value of the Site due to environmental concerns was discovered or reported by the user during this inquiry.

4.3.4.6.2 Differential between Purchase Price and Market Value

Not applicable.

4.3.4.6.3 Reasons for Any Differential

Not applicable.

5.0 SITE INFORMATION AND USE

5.1 SITE RECONNAISSANCE METHODOLOGY AND LIMITING CONDITIONS

The objective of the site reconnaissance is to obtain information indicating the likelihood of identified *recognized environmental conditions* in connection with the Site. The site reconnaissance was conducted in accord with the principles, requirements, and limitations of the standard practice. The Site reconnaissance was conducted to identify: the potential for recognized environmental conditions to exist as a result of identified Site usage; the presence, spills, or releases of hazardous substances and petroleum products on and in the vicinity of the Site.

Robert Brawner of One Group visited the Site on May 2, 2012, and was unaccompanied during the inspections. The weather during the Site visits was sunny and warm (mid 70 to 80 degrees Fahrenheit), and did not impede the Site observations.

5.2 GENERAL SITE SETTING

The Site is in good condition and environmentally well-maintained. Photographic documentation of the Site is provided in Appendix B.

5.3 ASSESSMENT OF COMMONLY KNOWN/REASONABLY ASCERTAINABLE INFORMATION

There is no commonly known or reasonably ascertainable information regarding potential *recognized environmental conditions* at the Site.

5.4 CURRENT SITE USE

The Site is currently, partially developed land and this use is not considered environmentally significant as it does not represent a contaminant threat to the Site soil and/or groundwater. Therefore, the current Site use is not a *recognized environmental condition*.

5.4.1 Storage Tanks

No evidence of storage tanks was observed on the Site during the inspection.

5.4.2 Hazardous and Petroleum Products Containers/Drums

No evidence of petroleum use, transportation, generation and/or storage was observed during our inspection of the Site.

No evidence of hazardous substance use, transportation, generation and/or storage was observed during our inspection of the Site.

5.4.3 Heating and Cooling

No structures are present on the Site; this section is not applicable.

5.4.3 Heating and Cooling

No structures are present on the Site; this section is not applicable.

5.4.4 Solid Waste

No structures are present on the Site, as it is currently vacant.

No signs of illegal or open dumping of solid waste were visible during Site inspection.

5.4.5 Sewage Disposal/Septic Tanks

Evidence of septic tanks was not observed on-Site during the inspection.

5.4.6 Hydraulic Equipment

Hydraulic equipment was not observed onsite during the inspection.

5.4.7 Contracted Maintenance Services

No structures are present on the Site; this section is not applicable.

5.4.8 Electrical Equipment/PCBs

PCBs are the common name for a class of carcinogenic chemicals used as antioxidants in cooling oils in older electrical transformers. No electrical equipment was observed on the Site. This section is not applicable.

5.4.9 Water Supply and Wells

No water supply wells were observed during the Site inspection.

The Site receives its water supply from Barrow County Water System.

5.4.10 Drains and Sumps

No drains or sumps were observed during the Site inspection.

5.4.11 Pits, Ponds, Lagoons, and Surface Waters

No surface waters were observed on-Site during the inspection. No pits, ponds, or lagoons were observed onsite during the inspection.

5.4.12 Stressed Vegetation

Stressed or stained vegetation was not observed during the Site inspection.

5.4.13 Stained Soil or Pavement

Stained soil and pavement was not observed during the Site inspection.

5.4.14 Odors

Odors were not observed during the Site inspection.

5.4.15 Utilities/Roadway Easements

The Site receives utility services from the following sources:

Electricity:	–	Jackson EMC
Natural Gas:	–	Atlanta Gas Light
Water/Sewer:	–	City of Braselton via Barrow County Water System
Solid Waste:	–	City of Braselton

Evidence of a septic field was not identified on-Site during the inspection.

5.4.16 Chemical Use

Cleaning supplies, chemicals, pesticides, herbicides, fuels, or other hazardous or waste materials were not observed on the Site. The Site is vacant and does not involve the use of hazardous substances.

No evidence of hazardous substance use, transportation, generation and/or storage was observed during our inspection of the Site.

5.4.17 Water Leaks/Mold/Fungi/Microbial Growth

No structures are present on the Site; this section is not applicable.

5.4.18 Asbestos

No structures are present on the Site; this section is not applicable.

5.4.19 Lead-Based Paint

No structures are present on the Site, and there is no evidence of historical structures. This section is not applicable.

5.4.20 Lead in Drinking Water

The Site receives its water supply from the Barrow County Water System. Documentation of its compliance with USEPA and EPD requirements is provided in Appendix O.

No structures are present on the Site; this section is not applicable.

5.4.21 Radon

The Site is located in Barrow County, Georgia which was been assigned a Radon Zone 2 (orange) moderate potential designation as per the Georgia Radon Zones Map published by the USEPA. Zone 2 counties have a predicted average indoor radon screening levels between 2 and 4 pico curies per Liter.

New construction at the Site will require compliance with current USEPA requirements for radon resistant construction techniques, including, but not limited to, ASTM E1465-08 *Standard Practice for Radon Control Options for the Design and Construction of New Low-Rise Residential Buildings*. Confirmation Radon In Air Testing will be performed on all Site structures upon construction completion to verify compliance with DCA requirements.

5.4.22 Noise

Noise sources were evaluated as per the most current DCA Environmental Manual E and included rail, road vehicle noise, and air traffic sources. It was determined if the Site (or any part thereof as measured from the property line) was within radius of the following facility types. Available information follows each facility type.

- (i) five (5) miles of a civil airport
 - Not applicable.
- (ii) fifteen (15) miles of a military airfield
 - Not applicable.
- (iii) 1000 feet of a major highway or busy road with greater than 10,000 average daily traffic count
 - The Site has exposure to Georgia Highway 211.
- (iv) 3000 feet of a railroad or rail line
 - Not applicable.

Available aerial photographs, online search engines, and online mapping software were used to determine distances to the above-referenced facilities. The Site fell within applicable radii of facilities identified as noise sources. However, the identified roadway will not impact the Site noise above 65 decibels. The Site's Noise Assessment is provided in Appendix F.

5.4.23 Vapor Encroachment Screening

No recognized environmental conditions associated with vapor encroachment were identified on the Site. No suspect or known contaminated sites were identified surrounding the Target Property within the approximate minimum search distances, as per the Standard Practice Section 8.3.2. A Vapor Encroachment Condition can be ruled out because a Vapor Encroachment Condition does not or is not likely to exist. Vapor intrusion is unlikely to be an issue of concern in connection with existing or planned structures on the Target Property.

5.4.24 Other Site Reconnaissance Issues

No structures are present on the Site; this section is not applicable.

No further Site reconnaissance issues were observed.

5.5 PAST SITE USE

5.5.1 Recorded Land Title Records

A chain of title search for the Site was prepared by Hunter Maclean Company of Savannah, Georgia. The chain-of-title goes back to 1922, and includes several deed exchanges. No information obtained during the title search indicated the presence of hazardous substances stored or generated at the Site. The chain of title documents the Site's history as vacant land.

5.5.2 Environmental Liens

No record of environmental liens placed on the Site deed and/or title was discovered during this assessment.

5.5.3 Activity and Use Limitations (a.k.a. Engineering and/or Institutional Controls)

No record of activity and use limitations filed on the Site deed or chain of title was discovered during a review of the available title information. The EPD Brownfield Program was contacted and verified that no engineering and/or institutional controls have been proposed or implemented at the Site.

5.5.4 Aerial Photographs and Topographic Maps

Based on the review of aerial photographs alone, no *recognized environmental conditions* were discovered associated with the Site and/or the surrounding area.

5.5.5 Sanborn Fire Insurance Maps

EDR performed a search of Sanborn Fire Insurance Maps for the Site. According to EDR, there is no Sanborn coverage for the Site and surrounding area. In most instances, the lack of map preparation indicates the Site was not incorporated into a city, was in an area for which maps were never prepared, or was undeveloped land prior to construction of the current improvements.

5.5.6 City Directories

Historical directories for the Site were not readily available for the Site and surrounding area. However, this lack of information coupled with a review of aerial photography serves to confirm the lack of development on the Site. Therefore, a lack of historical directories is not considered a data gap in this instance.

5.5.7 Previous Environmental Studies

A previous ESA performed by QORE, Inc. dated November 2, 2005, did not find any *recognized environmental conditions* associated with the Site. A copy of this document is provided in Appendix T.

5.5.8 Other

Not applicable.

5.6 CURRENT SURROUNDING LAND USE

Based on the reconnaissance, the current uses of the area surrounding the Site are not a *recognized environmental condition*.

5.6.1 North

Undeveloped, vacant land associated with the parent, mixed-use development and then industrial development.

5.6.2 East

Single-family, residential development.

5.6.3 South

Beaver Dam Road then undeveloped, agricultural land.

5.6.4 West

Undeveloped, vacant land associated with the parent, mixed-use development and then light, retail development.

5.7 PAST SURROUNDING LAND USE

Based on the historical research, the past uses of the area surrounding the Site are not a *recognized environmental condition*.

5.7.1 North

Undeveloped, agricultural land.

5.7.2 East

Undeveloped, agricultural land.

5.7.3 South

Undeveloped, agricultural land.

5.7.4 West

Undeveloped, agricultural land.

5.8 HISTORIC PRESERVATION

There are no structures on the Site more than fifty years old; it is currently vacant. The Site is not listed on or eligible for listing on the National Register of Historic Places. The Site's area of potential effect does not include an historic district or property, and it is not within or directly adjacent to an historic district or property.

The proposed project will not have an effect upon properties included in or eligible for inclusion in the National Register of Historic Places (hereinafter "National Register") pursuant to Section 800.13 of the historic preservation regulations, 36 CFR Part 800. 36 CFR Part 800 also implements Section 106 of the National Historic Preservation Act, 16 U.S.C. 470f.

6.0 DATA GAPS

Data gaps represent a lack of, or inability to obtain, information required by this practice, despite *good faith* efforts by the *environmental professional* to gather such information. *Data gaps* may result from incompleteness in any of the activities required by ASTM Designation E 1527-05, Standard Practice for Environmental Site Assessments.

6.1 IDENTIFICATION OF DATA GAPS

Data gaps were not encountered during this assessment.

6.2 SOURCES OF INFORMATION CONSULTED TO ADDRESS DATA GAPS

Not applicable.

6.3 SIGNIFICANCE OF DATA GAPS

A *data gap* is only significant if other information and/or professional experience raises reasonable concerns involving the *data gap*. No significant *data gaps* were encountered during this assessment.

7.0 ENVIRONMENTAL CONCERNS

7.1 ON-SITE

No *recognized environmental conditions* were discovered associated with on-Site sources.

7.2 OFF-SITE

No *recognized environmental conditions* were discovered associated with off-Site sources.

8.0 CONCLUSIONS & RECOMMENDATIONS

8.1 ON-SITE

One Group recommends no further investigation to determine the presence of *recognized environmental conditions* associated with on-Site sources.

New construction at the Site will require compliance with current USEPA requirements for radon resistant construction techniques, including, but not limited to, ASTM E1465-08 *Standard Practice for Radon Control Options for the Design and Construction of New Low-Rise Residential Buildings*. Confirmation Radon in Air Testing will be performed on all Site structures upon construction completion to verify compliance with DCA requirements.

8.2 OFF-SITE

One Group recommends no further investigation to determine the presence of *recognized environmental conditions* associated with off-Site sources.

9.0 DATA REFERENCES

Standard Practice

American Society for Testing and Materials
“Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process”, Designation: E 1527-05 dated 2007

Georgia Department of Community Affairs
“Environmental Manual” dated 2012

Georgia Department of Community Affairs
“Quality Assurance Program” dated 2012

Site overview

Land Developers Surveyors, Inc.
Master Site survey dated April 3, 2012

Barrow County Tax Assessors Office online (www.Barrowassessor.com)
Tax parcel information

Google Earth (www.google.earth.com)
General property location map and current aerial

Municipal Government Information

Barrow County Tax Assessors Office
Telephonic interview/facsimile/electronic mail on May 3, 2012
FOIA request: tax parcel information; zoning; land use restrictions; environmental liens

Barrow County Planning, Zoning, Code, Building, and Development Department
Telephonic interview/facsimile/electronic mail on May 3, 2012
FOIA request: outstanding code violations; zoning; land use restrictions; environmental hazards

Barrow County Fire Department
Telephonic interview/facsimile/electronic mail on May 3, 2012
FOIA request: petroleum hydrocarbon and /or hazardous materials; spills or releases; onsite and nearby fire events; and environmental hazards

Barrow County Environmental and/or Health Department
Telephonic interview/facsimile/electronic mail on May 3, 2012
FOIA request: septic system, water wells, and environmental hazards

Physical Setting Review

Environmental Data Resources, Inc
EDR Geocheck® Report dated April 6, 2012

Federal Register Volume 67, No. 10 dated Tuesday January 15, 2002
Surface Water Definitions

Federal Emergency Management Agency (www.fema.gov)
Flood Insurance Rate Map for Barrow County, Georgia
Community Panel Number 1301C0050C, dated December 18, 2009

Georgia Geologic Survey
Geologic Map of Georgia, 1976 reprinted 1997

Georgia Natural Heritage Inventory Program (<http://www.gadnr.org/>)
Endangered Species List and Habitat Search

National Register of Historic Places (www.nps.gov)
Historic Preservation Documentation

Trent, Victoria B., Groundwater Pollution Susceptibility Map of Georgia, Hydrogeologic
Atlas No. 20, 1992

United States Environmental Protection Agency, (www.epa.gov)
Current Georgia Radon Zone Map

United States Fish and Wildlife Service (www.fws.gov)
Endangered Species List
National Wetlands Inventory

United States Geologic Survey
Topographic map, 7.5-Minute, Auburn, Georgia Quadrangle, dated 1997

User Information and Interviews

Jervon Harris (Site agent), Braselton Court, LP
Telephonic interview/facsimile/electronic mail on April 8, 2012
User Questionnaire completed on April 10, 2012

Andrew Cathlina (Site owner), PB Real Estate, LLC
General Property Questionnaire completed on April 26, 2012
Owner Questionnaire and Disclosure completed on April 26, 2012

Historical research

Barrow County Library
Historical city directory search performed on May 15, 2012

Environmental Data Resources, Inc. (www.edrnet.com)
Aerial photograph decade package dated April 6, 2012

Environmental Data Resources, Inc. (www.edrnet.com)
Sanborn fire insurance map package dated April 6, 2012

Environmental Database Review

Environmental Data Resources, Inc
EDR Radius Map™ Report dated April 6, 2012

Georgia Environmental Protection Division, Underground Storage Tank Management Program
Office visit on May 15, 2012
File review: owner registration; compliance files; corrective action files

Georgia Environmental Protection Division, Hazardous Waste Branch
Office visit on May 15, 2012
File review: owner registration; compliance files; corrective action files

10.0 VALUATION REDUCTION

(Unless the specific information is previously provided by User in the User Interview)

10.1 PURCHASE PRICE

Not applicable. This information provided by user in the user interview.

10.2 INTERVIEW OF BROKER REGARDING MARKET VALUE

Not applicable. This information provided by user in the user interview.

10.3 DIFFERENTIAL BETWEEN PURCHASE PRICE AND MARKET VALUE

Not applicable. This information provided by user in the user interview.

10.4 ENVIRONMENTAL REASONS FOR ANY DIFFERENTIAL

Not applicable. This information provided by user in the user interview.

APPENDIX A
FIGURES AND MAPS

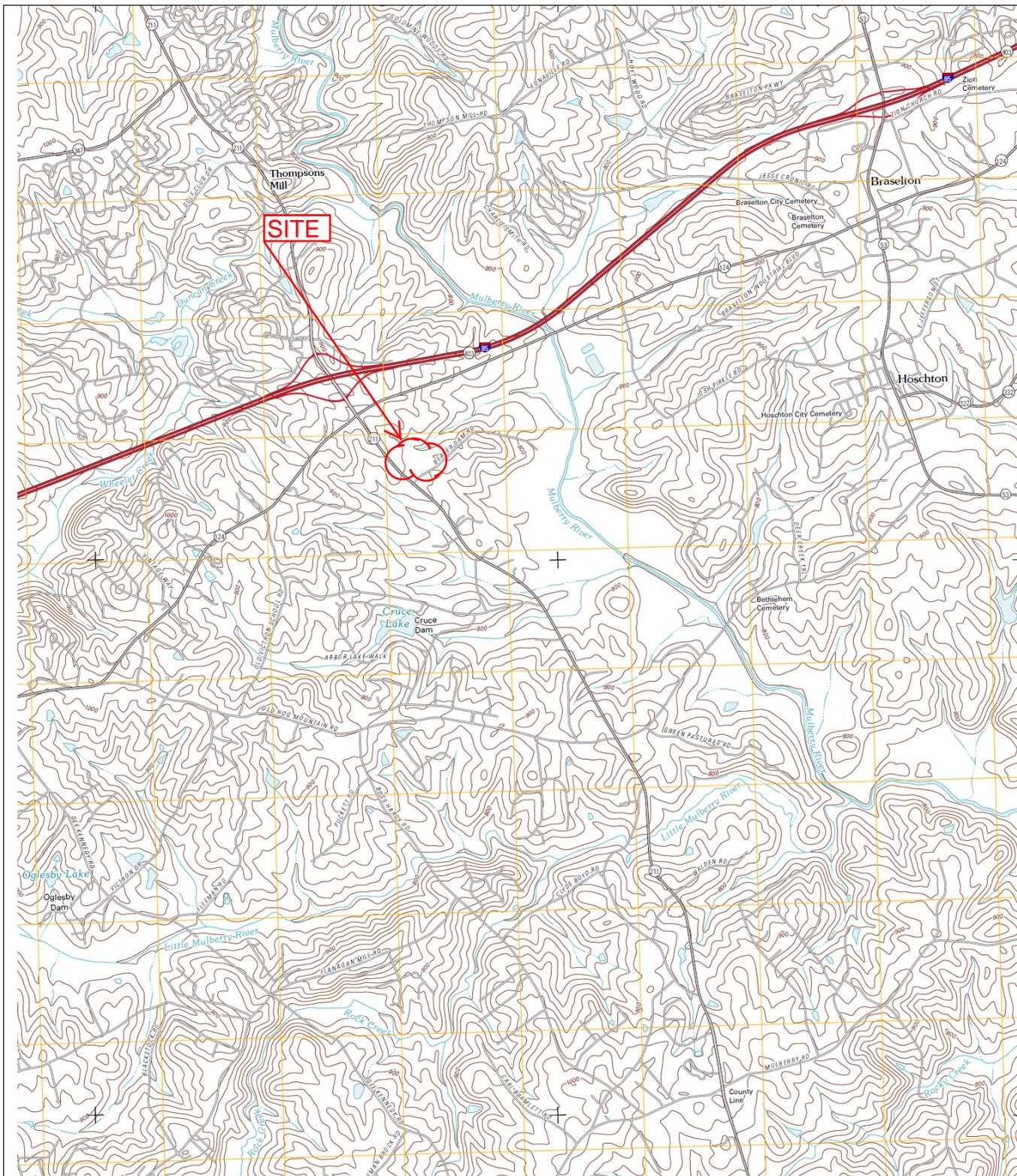
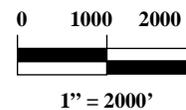


Figure 1 – Topographic Map

Map Date: 2011

**Proposed Braselton Court
Beaver Dam Road & GA HWY 211
Braselton, Barrow County, Georgia**



One Group Project#A2028

Source: USGS Auburn GA Quad, 7.5-Minute, Topo



U.S. Fish and Wildlife Service National Wetlands Inventory

Proposed Braselton Court

Apr 9, 2012

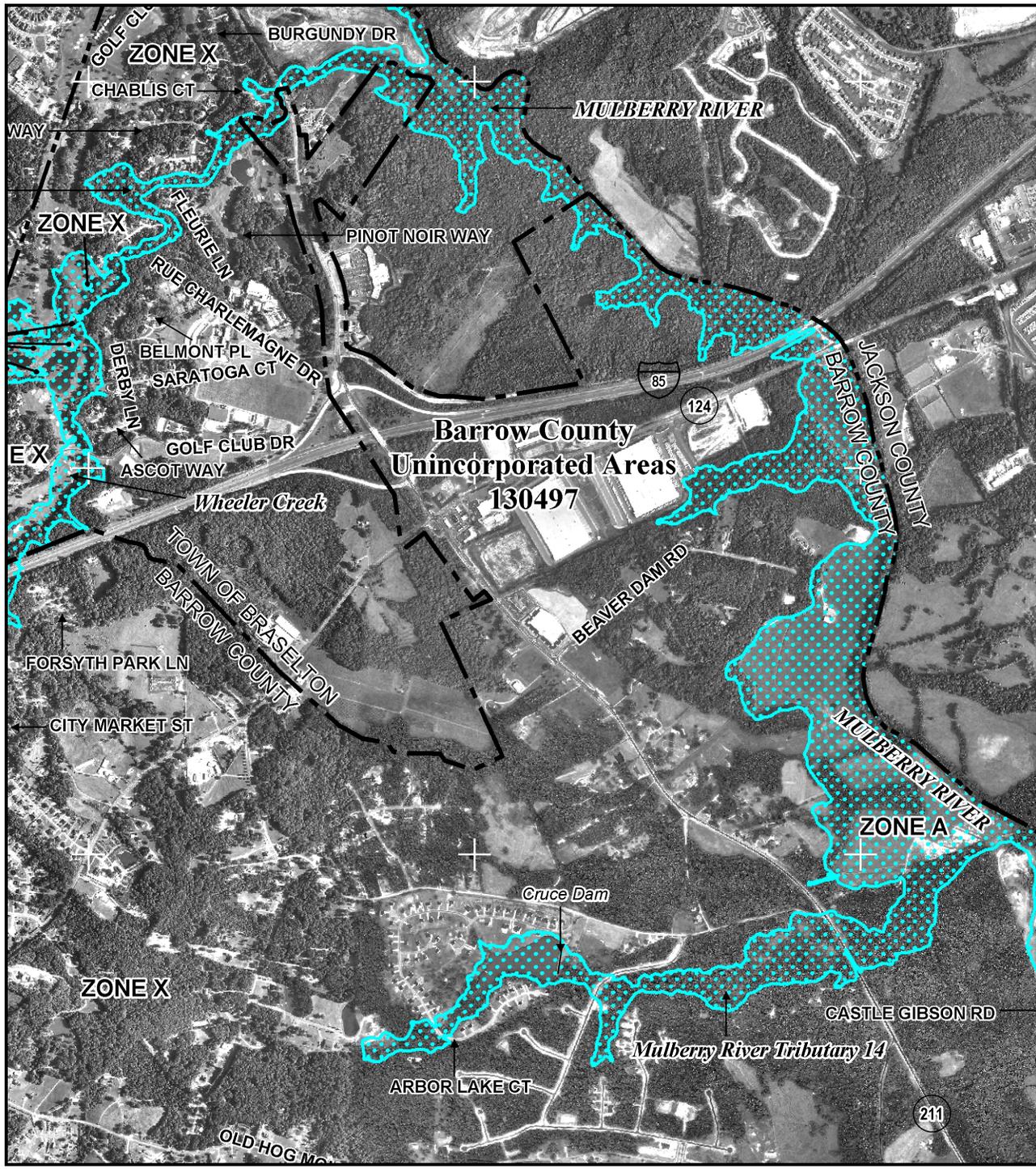


Wetlands

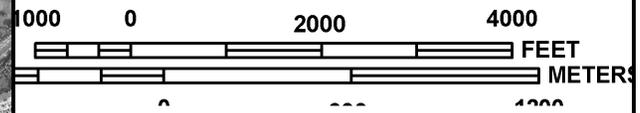
-  Freshwater Emergent
-  Freshwater Forested/Shrub
-  Estuarine and Marine Deepwater
-  Estuarine and Marine
-  Freshwater Pond
-  Lake
-  Riverine
-  Other

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

User Remarks:



MAP SCALE 1" = 2000'



PANEL 0050C

FIRM
FLOOD INSURANCE RATE MAP
BARROW COUNTY,
GEORGIA
AND INCORPORATED AREAS

PANEL 50 OF 175
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
BARROW COUNTY	130497	0050	C
BRASELTON, TOWN OF	130343	0050	C

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.



MAP NUMBER
13013C0050C
EFFECTIVE DATE
DECEMBER 18, 2009

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

Custom Soil Resource Report Soil Map



83° 48' 26"



Map Scale: 1:2,810 if printed on A size (8.5" x 11") sheet.



83° 48' 4"

Custom Soil Resource Report

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Units

Special Point Features

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot
-  Spoil Area
-  Stony Spot

-  Very Stony Spot
-  Wet Spot
-  Other

Special Line Features

-  Gully
-  Short Steep Slope
-  Other

Political Features

-  Cities

Water Features

-  Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

MAP INFORMATION

Map Scale: 1:2,810 if printed on A size (8.5" × 11") sheet.

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for accurate map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: UTM Zone 17N NAD83

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Barrow, Hall, and Jackson Counties, Georgia
 Survey Area Data: Version 8, Sep 7, 2010

Date(s) aerial images were photographed: 9/4/2007

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Barrow, Hall, and Jackson Counties, Georgia (GA606)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
ApB	Appling sandy loam, 2 to 6 percent slopes	17.9	67.9%
CeB	Cecil sandy loam, 2 to 6 percent slopes	2.4	9.0%
CfC2	Cecil sandy clay loam, 6 to 10 percent slopes, eroded	6.1	23.1%
Totals for Area of Interest		26.3	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

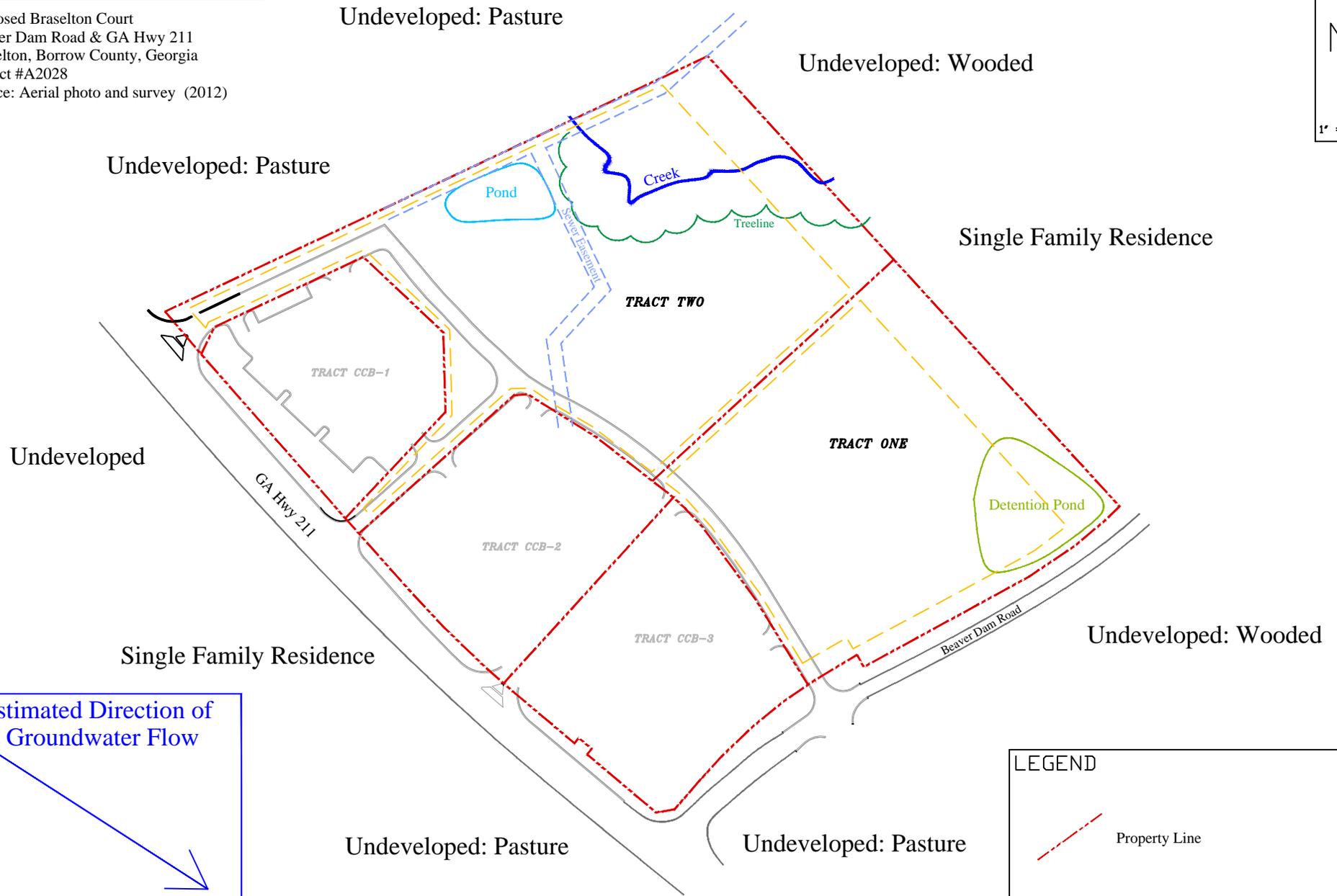
A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments

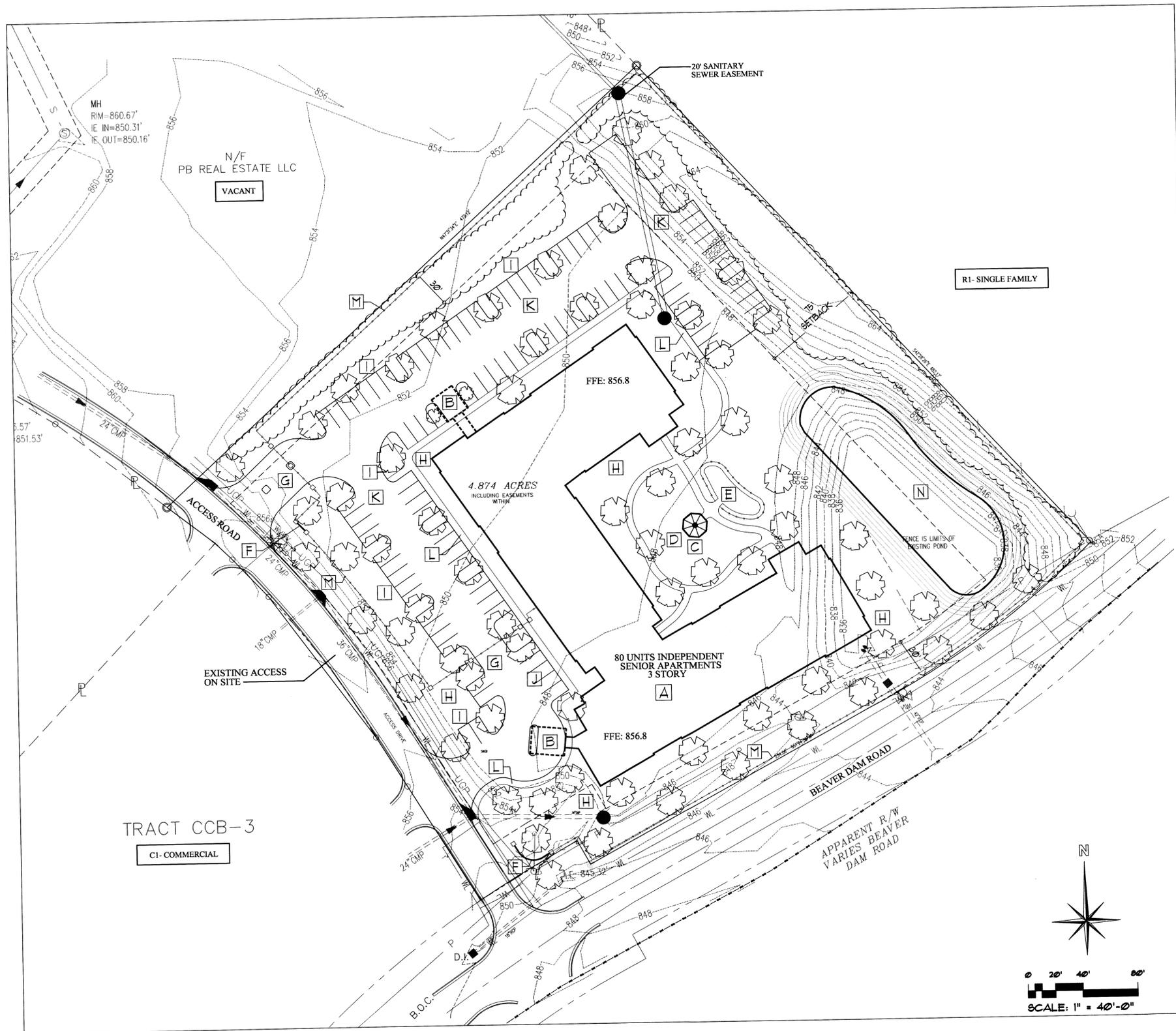
Figure 5 Existing Site Plan

Proposed Braselton Court
 Beaver Dam Road & GA Hwy 211
 Braselton, Borrow County, Georgia
 Project #A2028
 Source: Aerial photo and survey (2012)



LEGEND

-  Property Line
-  Property Line Offset (Varying Distances)



LEGEND	
[A]	SENIOR RESIDENCE APARTMENTS - 3 STORY-80 UNITS
[B]	COVERED ENTRY
[C]	EXTERIOR GATHERING AREA
[D]	COVERED PAVILION WITH PICNIC / BARBEQUE FACILITIES
[E]	ATTRACTIVELY FENCED, COMMUNITY GARDEN W/ POTTING SHED
[F]	SITE ENTRY WITH PERMANENT, ILLUMINATED ENTRY SIGN, DECORATIVE FENCE AND SEASONAL PLANTING
[G]	ENTRY / EXIT DECORATIVE GATES
[H]	RE-VEGETATED GREEN SPACE WITH XERISCAPE LANDSCAPE
[I]	SITE LIGHTING
[J]	PARKING - NOT GATED
[K]	PARKING - GATED
[L]	5' SIDEWALK
[M]	DECORATIVE PERIMETER FENCE
[N]	DETENTION POND
[Tree Symbol]	NEW TREES - 3" MIN. CALIPER
[Cloud Symbol]	EXISTING LANDSCAPE

Design Features...

- Green Building Certifications:
 1. EarthCraft Multi-family Building Program
- Accessibility Standards:
 1. handicap accessible units (5%) = 4.0 units
 2. roll-in showers (2% of 5%) = 1.0 units
 3. hearing and visual impaired units (2%) = 2.0 units
- Exterior Wall Finish (1 required):
 1. exterior wall faces in excess of 40% brick
- Attractive Features (2 required):
 1. covered entry to all buildings and units
 2. durable attractive railing elements at stairs, porches & patios
- Major Building Component Materials and Upgrades (1 required):
 1. fiber cement siding and panels on exterior walls not required to be brick
- Landscaping and Site Design Features (2 required):
 1. site entry locations delineated w/ permanent entry sign
 2. substantial replanting of trees and integrated vegetation (1 tree per 8 units)
- Standard Amenities (3 required):
 1. community room
 2. exterior gathering area (gazebo)
 3. onsite laundry (1 washer & dryer per 25 units = 4.0 sets)
- Standard Amenities for Seniors Projects (3 required):
 1. elevators
 2. interior gathering areas
 3. accessible and adaptable units (100%)
- Additional Site Amenities (2 required):
 1. equipped fitness center
 2. equipped computer center
- Unit Amenities:
 1. HVAC
 2. emergency pull cord system
 3. stove - electric range
 4. powder based stove top fire suppression system
- Sustainability Features for Units:
 1. refrigerator - energy star
 2. dishwasher - energy star
 3. water heaters - energy star qualified homes, version 3
 4. bath fans - energy star connect to light switch
 5. lighting - 80% compact fluorescent
 6. showerheads - less than 2.25 gpm
 7. bathroom faucets - less than 1.5 gpm
 8. kitchen faucets - less than 2.0 gpm
 9. toilets - less than 1.28 gpf

- Green Building Certifications:
 - EarthCraft Multifamily

- Accessibility Standards:
 - 5% Handicap Accessible Units = 4.0 units
 - 2% (part of 5%) equipped w/ roll-in showers = 1.0 units
 - 2% Hearing and Visual Impaired Units = 2.0 units

UNIT MIX & SQUARE FOOTAGES					
Unit Type	Sq. Ft.	1st Flr	2nd Flr	3rd Flr	Total
1 Bedrm/1 Bath	752 s.f.	08	08	08	24
2 Bedrm/2 Bath	1015s.f.	18	19	19	56
Total		26	27	27	80

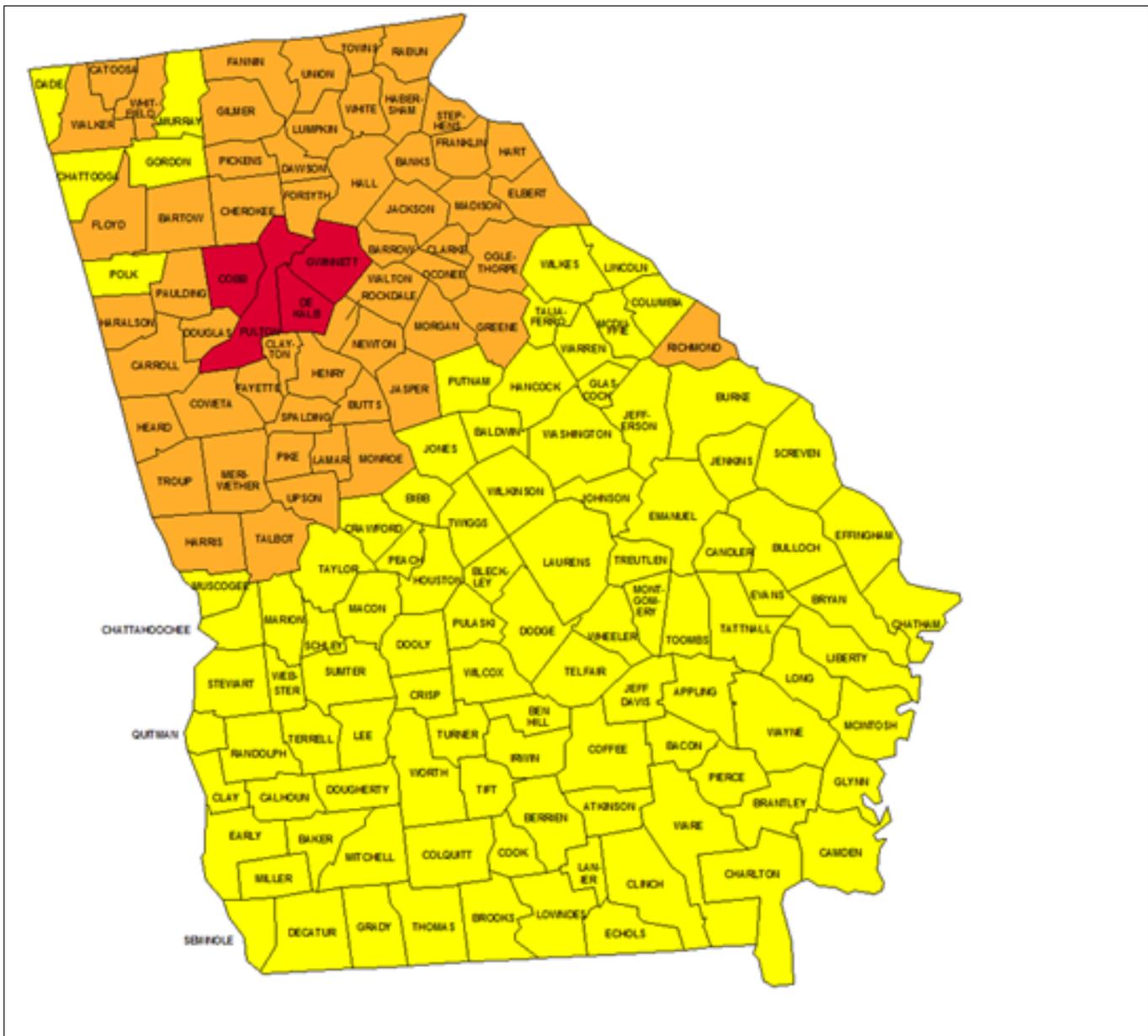
PROJECT DESCRIPTION											
•Project Name/ Address	Braselton Court Senior Residences 1018 Beaver Dam Road Braselton, Georgia										
•Owner	Braselton Court, L.P. 2000 Riveridge Parkway Atlanta, Georgia 30328										
•Developer	Norsouth Development Company of Georgia, LLC 2000 Riveridge Parkway Atlanta, Georgia 30328										
•Tenancy of Project:	Senior (HFOP)										
•Site Data	<ul style="list-style-type: none"> •Number of Buildings: 1 •Number of Units: 80 •Total Square Footage: <table border="1" style="display: inline-table; vertical-align: middle;"> <thead> <tr> <th>Floor</th> <th>Sq. Ft.</th> </tr> </thead> <tbody> <tr> <td>1st Floor</td> <td>34,195s.f.</td> </tr> <tr> <td>2nd Floor</td> <td>34,195 s.f.</td> </tr> <tr> <td>3rd Floor</td> <td>35,195 s.f.</td> </tr> <tr> <td>Total</td> <td>102,586 s.f.</td> </tr> </tbody> </table> 	Floor	Sq. Ft.	1st Floor	34,195s.f.	2nd Floor	34,195 s.f.	3rd Floor	35,195 s.f.	Total	102,586 s.f.
Floor	Sq. Ft.										
1st Floor	34,195s.f.										
2nd Floor	34,195 s.f.										
3rd Floor	35,195 s.f.										
Total	102,586 s.f.										
•Zoning:	O-1 w/ Conditional Use Permit										
•Density:	Proposed: 80 Units (16.43 Units / Acre)										
•Site Acreage:	4.874 acres										
•Parking:	<ul style="list-style-type: none"> Required: 80 Proposed: 90 (4 HANDICAPPED) 										

BRASELTON COURT

1018 BEAVER DAM ROAD
NORSOUTH DEVELOPMENT CO. OF GEORGIA

6-11-2012
SCALE: 1" = 40'-0"
DCA SITE DEVELOPMENT PLAN

FOLEY DESIGN ASSOCIATES ARCHITECTS INC.
1513 Cleveland Avenue Building 100 Suite 102 East Point, Georgia 30344 (404) 761-1299



	Zone 1 counties have a predicted average indoor radon screening level greater than 4 pCi/L (pico curies per liter) (red zones)	Highest Potential
	Zone 2 counties have a predicted average indoor radon screening level between 2 and 4 pCi/L (orange zones)	Moderate Potential
	Zone 3 counties have a predicted average indoor radon screening level less than 2 pCi/L (yellow zones)	Low Potential

Figure 7 – Georgia Radon Zones Map

**Braselton Court
Beaver Dam Road
Braselton, Barrow County, Georgia 30548**



One Group Project#A2028

Source: USEPA (<http://www.epa.gov/radon001/zonemap/georgia.htm>)

LEGEND

QL	ON LINE
W	WALL FOUND
IP	IRON PIN SET (1/2" REBAR)
CP	CONCRETE MONUMENT FOUND
CM	CONCRETE MONUMENT FOUND
BM	BENCHMARK
TM	TEMPORARY BENCHMARK
HT	MARKED TREE
DH	DRILL HOLE
LL	LAND LOT LINE
PL	PROPERTY LINE
CL	CENTERLINE
BL	BUILDING LINE
SL	SEWER LINE
SLE	SANITARY SEWER EASEMENT
CS	CORROGATED METAL PIPE
CS	CONCRETE PIPE
CS	DUCTILE IRON PIPE
CS	POLYETHYLENE GLASS FIBER REINFORCED PLASTIC PIPE
CS	VITRIFIED CLAY PIPE
CS	LIGHT POLE
CS	POWER POLE OR UTILITY POLE
CS	MANHOLE
CS	JUNCTION BOX
CS	HEADWALL
CS	DROP INLET/GRATE INLET
CS	GRATE
CS	FIRE HYDRANT
CS	WATER VALVE
CS	WATER METER
CS	GAS VALVE
CS	EXISTING GROUND ELEVATION
CS	PROPOSED GROUND ELEVATION
CS	EXISTING CONTOUR ELEVATION
CS	PROPOSED CONTOUR ELEVATION
CS	POWERLINE
CS	UNDERGROUND POWER
CS	TELEPHONE LINE
CS	UNDERGROUND TELEPHONE LINE
CS	GAS LINE
CS	CABLE T.V. LINE
CS	UNDERGROUND CABLE T.V. LINE
CS	SANITARY SEWER LINE
CS	WATER LINE / PIPE
CS	IRRIGATION LINE / PIPE
CS	BRANCH / CREEK / STREAM CENTERLINE
CS	STREAM CENTERLINE
CS	FLOOD HAZARD ZONE LIMITS
CS	UNLIMITED ACCESS
CS	STRUCK
CS	NOW OR FORMERLY
CS	BENCH MARK
CS	CONTROL POINT

PUBLIC NOTICE - DRAINAGE

1. THE TOWN OF BRASELTON ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED SUBDIVISION PLAT.
2. STREAM BUFFER EASEMENTS ARE TO REMAIN IN A NATURAL AND UNDISTURBED CONDITION.
3. STRUCTURES ARE NOT ALLOWED IN DRAINAGE EASEMENTS.

DETENTION POND NOTES:

IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN ANY DETENTION FACILITY FACILITY CONSTRUCTED ON THEIR PROPERTY AND TO ENSURE THE FACILITY IS FREE OF OBSTRUCTION, SILT, OR DEBRIS.

GENERAL/SITE NOTES:

- 1) PROPOSED NAME OF DEVELOPMENT: CENTURY CENTER OF BRASELTON
- 2) PROPERTY OWNER NAME & ADDRESS: PB REAL ESTATE LLC, 3423 PIEDMONT ROAD, SUITE 300, ATLANTA, GA 30305
- 3) APPLICANT/DEVELOPER NAME & ADDRESS: NORSOUTH COMPANIES, 2000 RIVEREDGE PARKWAY, SUITE 950, ATLANTA, GA 30328, PHONE: (770) 850-8280
- 4) THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. BOUNDARY SURVEY DATED 3/20/12. DATUM IS BASED ON GWINNETT COUNTY MONUMENT G-213.
- 5) PROPERTY USE TO BE IN ACCORDANCE WITH THE O-I ZONING.
- 6) PROPERTY LOCATED IN G.M.D. 1744 OF BARROW COUNTY. TRACT ONE IS 4.874 AC. AND TRACT TWO IS 6.529 AC.
- 7) PROPERTY ZONED O-I.
- 8) EXISTING WATER, SANITARY SEWER, STORM LINES, AND STORMWATER DETENTIONS SYSTEMS IN PLACE AND LOCATED ON PLAN. WATER PROVIDED BY TOWN OF BRASELTON.

OWNERS ACKNOWLEDGMENT AND DECLARATION
(STATE OF GEORGIA)
(COUNTY OF BARROW, TOWN OF BRASELTON)

THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY AND DEKATE ACKNOWLEDGMENT AND DECLARATION TO THE USE OF THE PUBLIC FOREVER ALL STREETS, SEWER COLLECTORS, LIFT STATIONS, DRAINS, EASEMENTS, AND OTHER PUBLIC FACILITIES AND APPURTENANCES THEREON SHOWN

SIGNATURE OF SUBDIVIDER _____ DATE _____
NAME OF SUBDIVIDER _____
SIGNATURE OF OWNER _____ DATE _____
NAME OF OWNER _____

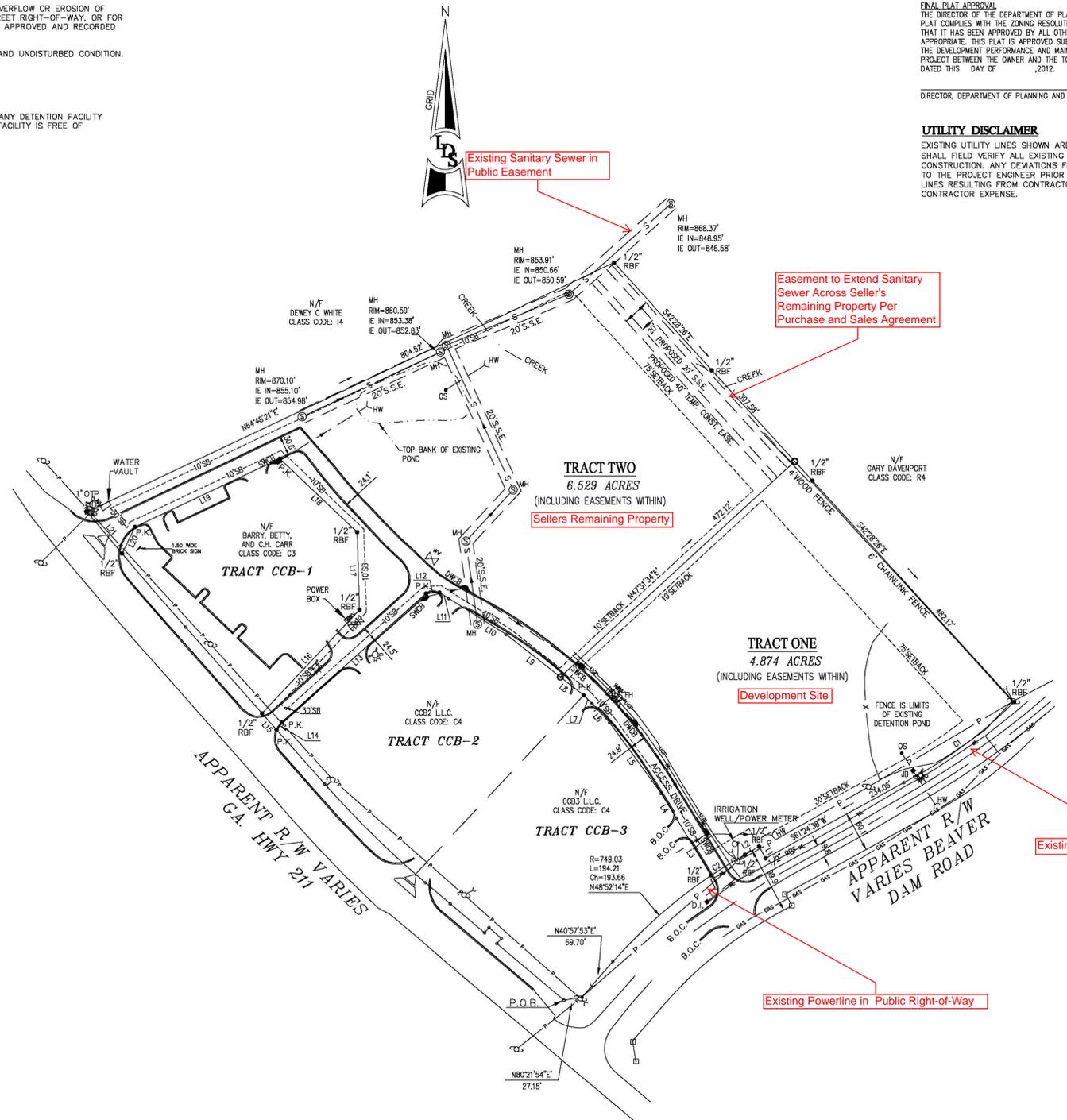
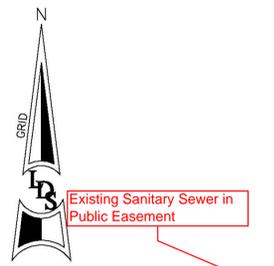
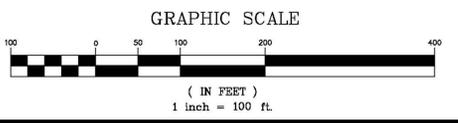
THE TERM "CERTIFICATION" OR TO "CERTIFY" RELATING TO LAND SURVEYING SERVICES SHALL MEAN A SIGNED STATEMENT BASED UPON FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION.

THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED IN THE CERTIFICATE HEREON. SAID CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

OWNER / DEVELOPER:
NORSOUTH COMPANIES
200 RIVEREDGE PARKWAY, SUITE 950
ATLANTA, GA 30328
PHONE: (770) 850-8280
CONTACT: JERVON HARRIS

SURVEYOR:
LAND DEVELOPMENT SURVEYING, INC.
P.O. BOX 2050
DACULA, GA 30019
PHONE: (770) 682-8206
CONTACT: LEE JAY JOHNSON



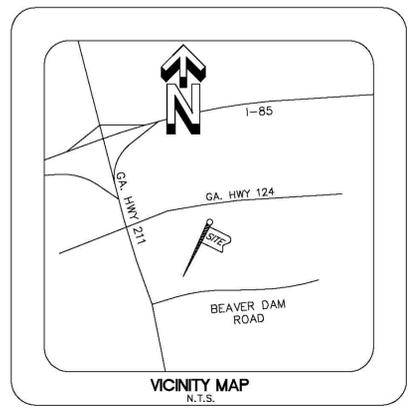
FINAL PLAT APPROVAL

THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT CERTIFIES THAT THIS PLAT COMPLES WITH THE ZONING RESOLUTION AND THE DEVELOPMENT REGULATIONS, AND THAT IT HAS BEEN APPROVED BY ALL OTHER OPERATIONAL TOWN DEPARTMENTS, AS APPROPRIATE. THIS PLAT IS APPROVED SUBJECT TO THE PROVISIONS AND REQUIREMENTS OF THE DEVELOPMENT PERFORMANCE AND MAINTENANCE AGREEMENT EXECUTED FOR THIS PROJECT BETWEEN THE OWNER AND THE TOWN OF BRASELTON, DATED THIS DAY OF _____, 2012.

DIRECTOR, DEPARTMENT OF PLANNING AND DEVELOPMENT

UTILITY DISCLAIMER

EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION. ANY DEVIATIONS FROM THE DESIGN LOCATIONS SHALL BE REPORTED TO THE PROJECT ENGINEER PRIOR TO CONSTRUCTION. DAMAGE TO EXISTING UTILITY LINES RESULTING FROM CONTRACTOR NEGLIGENCE SHALL BE REPAIRED AT CONTRACTOR EXPENSE.



LINE TABLE

LINE	LENGTH	BEARING
L1	19.97	N28°50'05"W
L2	24.05	S60°01'22"W
L3	99.19	N31°28'39"W
L4	42.84	N31°31'59"W
L5	129.87	N36°09'28"W
L6	38.28	N43°02'39"W
L7	17.34	N45°16'39"W
L8	44.02	N52°00'53"W
L9	102.17	N52°00'53"W
L10	100.27	N58°00'01"W
L11	16.52	N57°24'10"W
L12	20.07	S85°44'28"W
L13	286.74	S48°17'32"W
L14	13.10	S36°11'55"W
L15	32.32	N41°41'10"W
L16	210.65	N43°20'49"E
L17	114.72	N01°39'10"W
L18	158.34	N46°39'10"W
L19	237.57	S64°48'31"W
L20	43.46	S25°52'45"W
L21	80.48	N40°10'48"W

CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD	BEARING
C1	203.16	648.84	202.33	S53°56'10"W
C2	58.98	749.03	58.96	S98°33'15"W

REFERENCES

- 1) DEED BOOK 1554 PAGE 781-195
- 2) PB.10, PG.391
- 3) PB.25, PG.207

FINAL SURVEYOR'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AS TO THE PROPERTY LINES AND ALL IMPROVEMENT SHOWN THEREON, AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST, AND THEIR LOCATION, SIZE, TYPE, AND MATERIAL ARE CORRECTLY SHOWN. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN _____ FEET AND AN ANGULAR ERROR OF _____ PER ANGLE POINT, AND WAS ADJUSTED USING LEAST SQUARE _____ RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN _____ FEET, AND CONTAINS A TOTAL OF _____ ACRES. THE EQUIPMENT USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS HEREIN WAS _____ TOPCON GTS 323.

FLOOD STATEMENT

NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN A DESIGNATED FLOOD HAZARD AREA AND IS DEPICTED AS ZONE AE ON F.I.R.M. PANEL NO. 13013C0050C DATED 12/18/2009.

1 of 1	DATE	NO	DESCRIPTION	PRELIMINARY FINAL PLAT FOR: SHEET TITLE	FIELD	DRAWN	CHECKED
	4/3/12						
	DATE						
	12-119						
	JOB NUMBER						

REGISTERED GEORGIA LAND SURVEYOR

REG. NO. 2846 DATE OF EXPIRATION: 12-31-12

**NORSOUTH COMPANIES
CENTURY CENTER
OF BRASELTON**

LOCATED IN GMD 1744 BARROW COUNTY GEORGIA
TOWN OF BRASELTON SCALE 1"=100'

**Land Development
Surveyors, Inc.**

2146 JONES PHILLIPS ROAD
DACULA, GA 30019
(770) 682-8206
(770) 682-1440 Fax
LDSURVEY@BELL.SOUTH.NET

APPENDIX B

PHOTOGRAPHS

**(INCLUDING DATE AND DESCRIPTION OF VIEW
PRESENTED)**



Photo #1 – May 2, 2012

View of Site frontage along Beaver Dam Road, detention pond evident

South to northeast view



Photo #2 – May 2, 2012

View of Site frontage along Beaver Dam Road

South to northwest view



Photo #3 – May 2, 2012

On-Site detention pond on east corner

South to north view



Photo #4 – May 2, 2012

Site view along center, adjacent commercial development evident

East to west view



Photo #5 – May 2, 2012

Site view along center, adjacent commercial development evident

West to east view



Photo #6 – May 2, 2012

Site view along center, adjacent single-family residence evident

West to east view



Photo #7 – May 2, 2012

Site view along center

South to north view



Photo #8 – May 2, 2012

Site view along center, access drive evident

East to west view



Photo #9 – May 2, 2012

Site frontage along Beaver Dam Road

East to west view



Photo #10 – May 2, 2012

Site frontage along Beaver Dam Road

East to west view



Photo #11 – May 2, 2012

Vacant, undeveloped land to the south

North to south view



Photo #12 – May 2, 2012

Light commercial and medical development
to the north

South to north view



Photo #13 – May 2, 2012

Single-family residence to the east

South to north view



Photo #14 – May 2, 2012

Access road to the west then undeveloped land

East to west view



Photo #15 – May 2, 2012

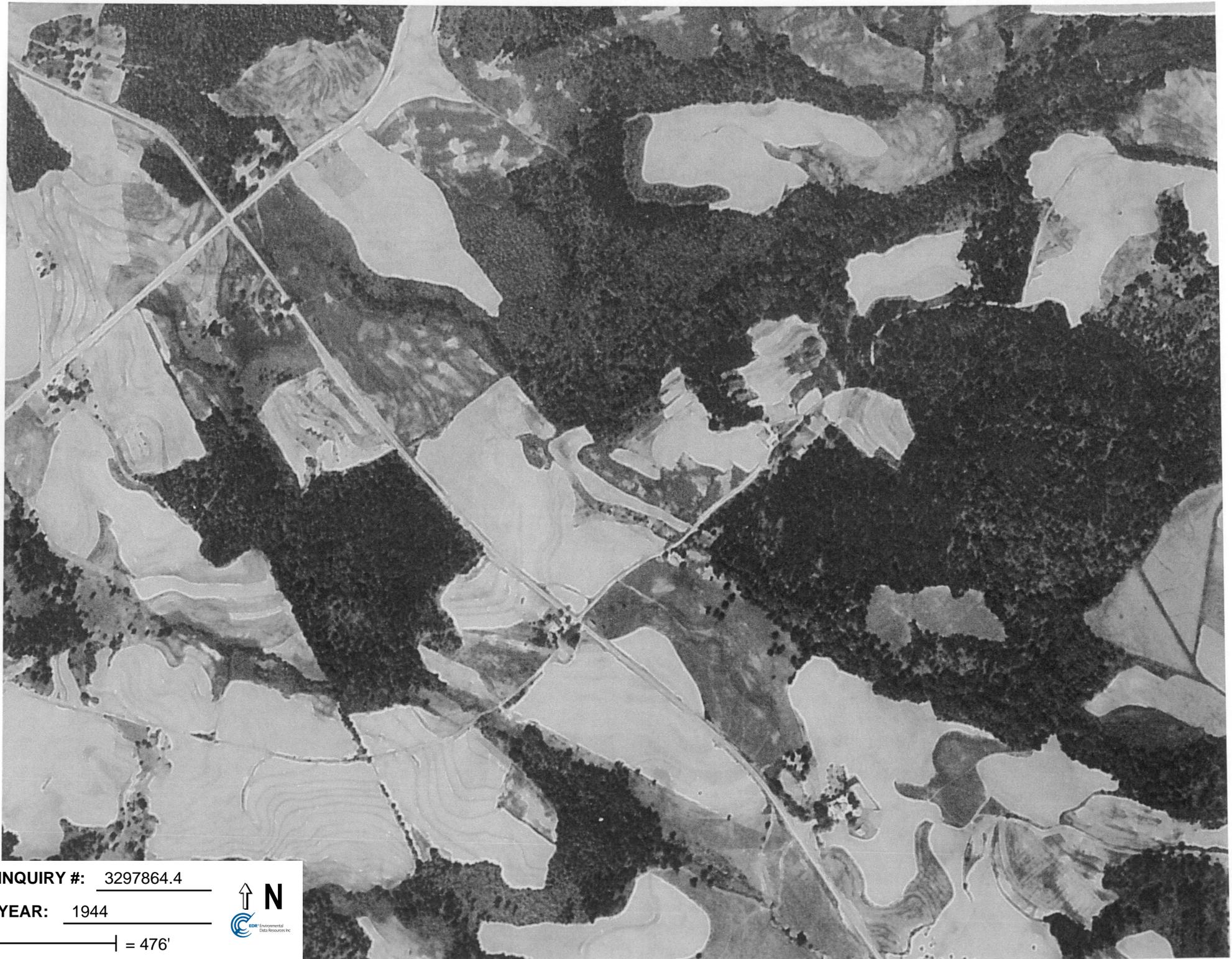
Nearby above-ground storage tank on PETCO Distribution warehouse to the north

North to south view

APPENDIX C

HISTORICAL RESEARCH DOCUMENTATION

**(AERIAL MAPS, FIRE INSURANCE MAPS, HISTORICAL
TOPOGRAPHICAL MAPS)**



INQUIRY #: 3297864.4

YEAR: 1944

| = 476'





INQUIRY #: 3297864.4

YEAR: 1951

 = 476'





INQUIRY #: 3297864.4

YEAR: 1955

 = 476'





INQUIRY #: 3297864.4

YEAR: 1960

| = 476'





INQUIRY #: 3297864.4

YEAR: 1967

 = 476'



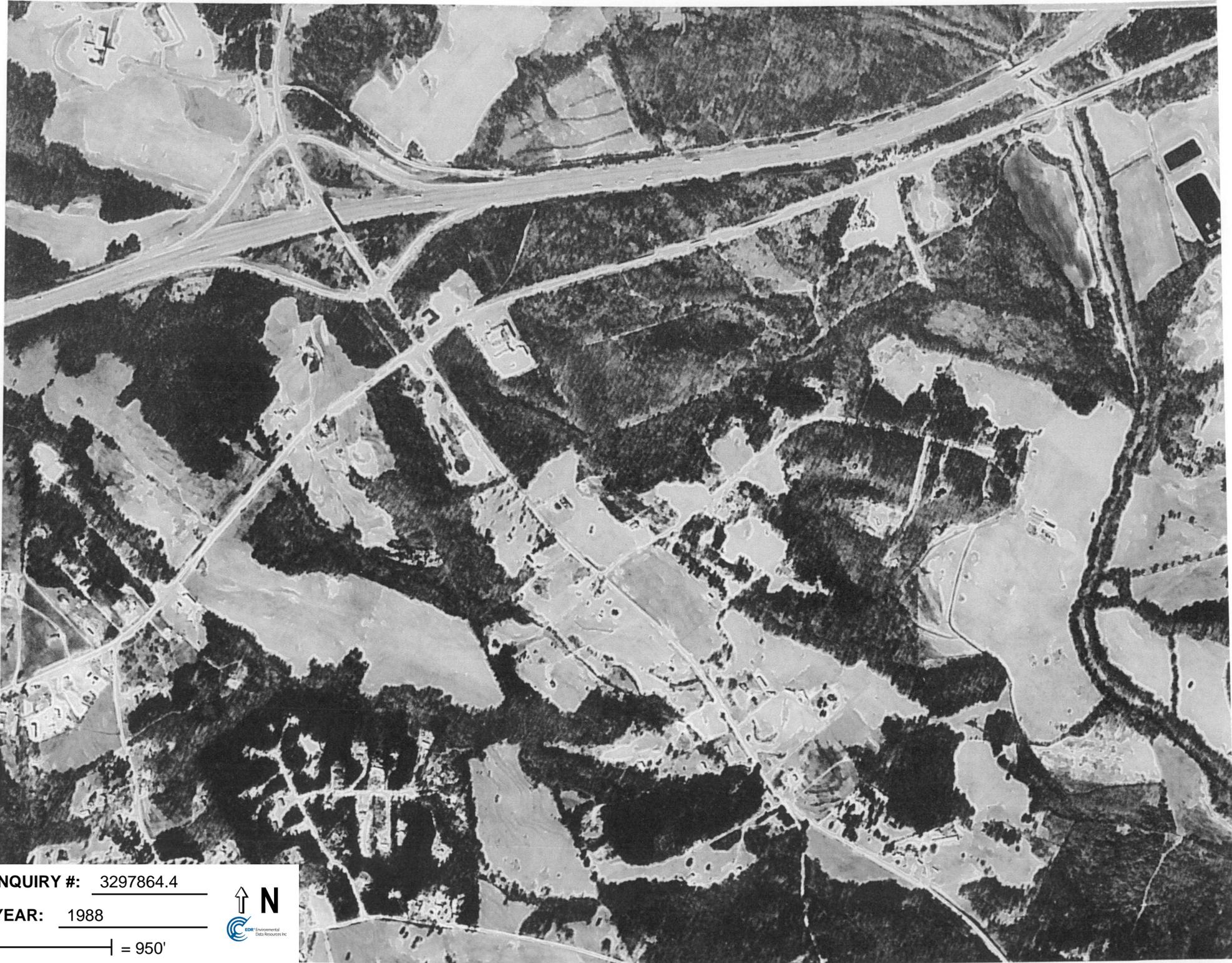


INQUIRY #: 3297864.4

YEAR: 1973

— = 476'





INQUIRY #: 3297864.4

YEAR: 1988

 = 950'





INQUIRY #: 3297864.4

YEAR: 1993

| = 500'





INQUIRY #: 3297864.4

YEAR: 2005

| = 500'





INQUIRY #: 3297864.4

YEAR: 2006

 = 500'





INQUIRY #: 3297864.4

YEAR: 2007

 = 500'



Certified Sanborn® Map Report

4/06/12

Site Name:

Proposed Braselton Court
Deaver Dam Road
Hoschton, GA 30548

Client Name:

One Consulting Group, Inc.
P. O. Box 54382
Atlanta, GA 30308



EDR Inquiry # 3297864.3

Contact: Brawner

The complete Sanborn Library collection has been searched by EDR, and fire insurance maps covering the target property location provided by One Consulting Group, Inc. were identified for the years listed below. The certified Sanborn Library search results in this report can be authenticated by visiting www.edrnet.com/sanborn and entering the certification number. Only Environmental Data Resources Inc. (EDR) is authorized to grant rights for commercial reproduction of maps by Sanborn Library LLC, the copyright holder for the collection.

Certified Sanborn Results:

Site Name: Proposed Braselton Court
Address: Deaver Dam Road
City, State, Zip: Hoschton, GA 30548
Cross Street:
P.O. # A2028.01
Project: A2028.01
Certification # 7979-44B6-B9AB



Sanborn® Library search results
Certification # 7979-44B6-B9AB

UNMAPPED PROPERTY

This report certifies that the complete holdings of the Sanborn Library, LLC collection have been searched based on client supplied target property information, and fire insurance maps covering the target property were not found.

The Sanborn Library includes more than 1.2 million Sanborn fire insurance maps, which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

The Sanborn Library LLC Since 1866™

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APPENDIX D

**DOCUMENTATION FROM TITLE COMPANY/TITLE
PROFESSIONAL**

**(RECORDED LAND TITLE RECORDS, RECORDS OF
ENVIRONMENTAL LIENS AND ACTIVITY AND USE
LIMITATIONS, AND LEGAL DESCRIPTION)**

Exhibit "A"

LEGAL DESCRIPTION

All that tract or parcel of land lying and being in G.M.D. 1744 of Barrow County, Georgia in the Town of Braselton and being more particularly described as follows:

To find the True Point of Beginning, begin at the intersection of the Northwesterly right-of-way of Beaver Dam Road (right-of-way varies) and the Northeasterly right-of-way of Ga. State Route 211 (right-of-way varies); THENCE following along the northwesterly right-of-way of Beaver Dam Road North 80 degrees 21 minutes 54 seconds East for a distance of 27.15 feet to a point; THENCE following along a curve to the right having a radius of 749.03 feet an arc length of 194.21 feet being subtended by a chord bearing of North 48 degrees 52 minutes 14 seconds East for a chord distance of 193.66 feet to a point, said point Being The True Point of Beginning; THENCE leaving said right-of-way North 31 degrees 28 minutes 39 seconds West for a distance of 99.19 feet to a point; THENCE North 31 degrees 31 minutes 59 seconds West for a distance of 42.84 feet to a point; THENCE North 36 degrees 09 minutes 28 seconds West for a distance of 129.87 feet to a point; THENCE North 43 degrees 02 minutes 39 seconds West for a distance of 38.28 feet to a point; THENCE North 45 degrees 16 minutes 39 seconds West for a distance of 17.34 feet to a p.k. nail found; THENCE North 52 degrees 00 minutes 53 seconds West for a distance of 44.02 feet to a point; THENCE North 47 degrees 31 minutes 34 seconds East for a distance of 472.12 feet to a point; THENCE South 42 degrees 28 minutes 26 seconds East for a distance of 482.17 feet to a 1/2 inch rebar found on the northwesterly right-of-way of Beaver Dam Road; THENCE along said right-of-way along a curve to the right having a radius of 648.84 feet an arc length of 203.16 feet being subtended by a chord bearing of South 53 degrees 56 minutes 10 seconds West for a distance of 202.33 feet to a point; THENCE South 61 degrees 24 minutes 38 seconds West for a distance of 234.06 feet to a 1/2 inch rebar found; THENCE North 28 degrees 50 minutes 05 seconds West for a distance of 19.97 feet to a 1/2 inch rebar found; THENCE South 60 degrees 01 minutes 22 seconds West for a distance of 24.05 feet to a 1/2 inch rebar found; THENCE along a curve to the left having a radius of 749.03 feet and arc length of 58.98 feet being subtended by a chord bearing of South 58 degrees 33 minutes 15 seconds West for an arc length of 58.96 feet to a 1/2 inch rebar found, said point being the True Point of Beginning.

Said property contains 4.874 acres.

Together with easements benefiting the property (to be determined – access over private access drive, drainage, etc.)



HunterMaclean

HunterMaclean

Attorneys at Law

200 E. Saint Julian Street

Post Office Box 9848

Savannah, GA 31412-0048

MARY ANN BELL

Phone 912.236.0261

Fax 912.234.9296

www.huntermaclean.com

mbell@huntermaclean.com

June 4, 2012

Jervon Harris
Vice President - Development Operations
Norsouth Development Company
2000 Riveredge Parkway
Suite 950
Atlanta, GA 30328

RE: Braselton Court
Town of Braselton, 1744th G.M. District, Barrow County, Georgia

Dear Jervon:

Attached please find the full Chain of Title for the above referenced project.

We have caused a full search of the Barrow County property records to be conducted in connection with the project, and we have also caused the title to the property to be updated through a current date of May 15, 2012 at 8:00 a.m. Based on our review of said search which contains the results of a full examination of the title to the project property and our review of the title update, no environmental liens or special use restrictions affecting the property were discovered during said title examination.

Please do not hesitate to call me if you have any questions or if you require anything further.

Very truly yours,

Mary Ann Bell
Legal Assistant

/mab

**BRASELTON COURT
DEEDS IN CHAIN OF TITLE**

BARROW COUNTY, GA

**through May 15, 2012
at 8:00 a.m.**

PARCEL 1 – TAX PARCEL NO. 023-020

1. Deed from Century Center at Braselton, LLC to PB Real Estate LLC dated November 2, 2010 and recorded in Deed Book 1554, Page 781, Barrow County records.
2. Deed from William Lawson and Martha Lawson to Century Center at Braselton, LLC dated November 22, 2005 and recorded in Deed Book 1140, Page 504, Barrow County records.
3. Deed from A. R. Kenyon and William P. Kenyon, individually and A. R. Kenyon and William P. Kenyon as Attorneys in Fact for Mary Kenyon Rhew, Cecilia M. Kenyon, Elizabeth K. Dalton and Hollie G. Kenyon, Sole Heir and Executrix of the Estate of John E. Kenyon to William Lawson and Martha Lawson dated November 20, 1981 and recorded in Deed Book 33, Page 572, Barrow County records.
4. Deed from Mrs. Desma P. Kenyon to John E. Kenyon, Mrs. Mary K. Rhew, A. R. Kenyon, Cecilia M. Kenyon, Wm. P. Kenyon and Mrs. Elizabeth K. Dalton dated March 7, 1950 and recorded in Deed Book MM, Page 374, Barrow County records.
5. Probate – Estate of R. J. Pentecost – Probate in Solemn Form conveyance to Mrs. Demsa P. Kenyon dated October, 1922.

PARCEL 2 – TAX PARCEL NO. 023-023

1. Deed from Century Center at Braselton, LLC to PB Real Estate LLC dated November 2, 2010 and recorded in Deed Book 1554, Page 781, Barrow County records.
2. Deed from William Walley and Connie Walley to Century Center at Braselton, LLC dated December 22, 2005 and recorded in Deed Book 1140, Page 511, Barrow County records.
3. Deed from Connie P. Walley to Connie P. Walley and William Walley dated March 25, 1998 and recorded in Deed Book 410, Page 322, Barrow County records.
4. Deed from Thomas E. Davis to Connie P. Walley dated January 29, 1987 and recorded in Deed Book 82, Page 570, Barrow County records.

5. Deed from Nancy Cabot Oliver to Thomas E. Davis dated January 29, 1987 and recorded in Deed Book 82, Page 569, Barrow County records.
6. Deed from Robert W. Masters to Nancy Cabot Oliver fka Nancy Cabot dated March 11, 1985 and recorded in Deed Book 58, Page 208, Barrow County records.
7. Deed from Nancy Cabot to Robert W. Masters dated January 23, 1984 and recorded in Deed Book 47, Page 324, Barrow County records.
8. Deed from A. R. Kenyon and William P. Kenyon, individually and A. R. Kenyon and William P. Kenyon as Attorneys in Fact for Mary Kenyon Rhew, Cecilia M. Kenyon, Elizabeth K. Dalton and Hollie G. Kenyon, Sole Heir and Executrix of the Estate of John E. Kenyon dated January 26, 1983 and recorded in Deed Book 40, Page 469, Barrow County records.
9. Deed from Mrs. Desma P. Kenyon to John E. Kenyon, Mrs. Mary K. Rhew, A. R. Kenyon, Cecilia M. Kenyon, Wm. P. Kenyon and Mrs. Elizabeth K. Dalton dated March 7, 1950 and recorded in Deed Book MM, Page 374, Barrow County records.
10. Probate – Estate of R. J. Pentecost – Probate in Solemn Form conveyance to Mrs. Demsa P. Kenyon dated October, 1922.

dated November 22, 2005 and recorded in Deed Book 1140, Page 504, Barrow County records.

3. Deed from A. R. Kenyon and William P. Kenyon, individually and A. R. Kenyon and William P. Kenyon as Attorneys in Fact for Mary Kenyon Rhew, Cecilia M. Kenyon, Elizabeth K. Dalton and Hollie G. Kenyon, Sole Heir and Executrix of the Estate of John E. Kenyon to William Lawson and Martha Lawson dated November 20, 1981 and recorded in Deed Book 33, Page 572, Barrow County records.
4. Deed from Mrs. Desma P. Kenyon to John E. Kenyon, Mrs. Mary K. Rhew, A. R. Kenyon, Cecilia M. Kenyon, Wm. P. Kenyon and Mrs. Elizabeth K. Dalton dated March 7, 1950 and recorded in Deed Book MM, Page 374, Barrow County records.

5. Probate – Estate of R. J. Pentecost – Probate in Solemn Form conveyance to Mrs. Demsa P. Kenyon dated October, 1922.

**CHICAGO TITLE INSURANCE COMPANY
A.L.T.A. COMMITMENT
SCHEDULE A**

Commitment Number 88-162/80000-81205

1. Effective Date: April 15, 2012
at 8:00 a.m.

2. Policy or Policies to be issued: Amount

ALTA Owner's Policy with Georgia modifications (6/17/2006): \$TBD

Proposed Insured:

Braselton Court, L.P.

ALTA Loan Policy with Georgia modifications (6/17/2006): \$TBD

Proposed Insured:

TBD, its successors and/or assigns, as their interests may appear

3. The estate or interest in the land described or referred to in this Commitment is:

Fee Simple

4. Title to the insured estate or interest in the land is at the Effective Date hereof vested in:

PB Real Estate, LLC

5. The land referred to in this Commitment is described as follows:

See Exhibit "A" Attached

Issued by:

O&M TITLE COMPANY, INC.

200 East St. Julian Street

P.O. Box 9848 (31412)

Savannah, GA 31401

(912) 236-0261

Authorized Signatory

NOTE: This Commitment consists of insert pages labeled in Schedule A, Schedule B-Section 1, and Schedule B-Section 2. This Commitment is of no force and effect unless all schedules are included, along with any Rider pages incorporated by reference in the insert pages.

**CHICAGO TITLE INSURANCE COMPANY
A.L.T.A. COMMITMENT
SCHEDULE B - SECTION 1**

Commitment Number: 88-162/80000-81205

The following are the requirements to be complied with:

1. Instrument(s) creating the estate or interest to be insured must be approved, executed and filed for record, to wit:
 - (a) Warranty Deed from PB Real Estate LLC to Braselton Court, L.P.

2. Payment of the full consideration to, or for the account of, the grantors or mortgagors.

3. Payment of all taxes, charges, assessments, levied and assessed against subject premises, which are due and payable.

4. Satisfactory evidence should be had that improvements and/or repairs or alterations thereto are completed; that contractor, subcontractor, labor and materialmen are all paid.

5. The following must be furnished in form and substance satisfactory to the Company to delete or amend (in accordance with the facts established) the Standard Exceptions set forth on Schedule B-Section 2:
 - A. As to Standard Exception Number 3: Receipt of satisfactory proof in affidavit form establishing who is in possession of Subject Property.

 - B. As to Standard Exception Numbers 6 and 7: Receipt of a current accurate survey and surveyor's inspection report on Subject Property.

 - C. As to Standard Exception Number 4: Satisfactory evidence should be had that improvements and/or repairs or alterations thereto are completed; that contractors, subcontractors, laborers and materialmen are paid in full.

 - D. As to Standard Exception Number 5: Receipt of satisfactory proof of payment of all taxes, charges, assessments, levied and assessed against subject property, which are due and payable, together with an affidavit from the owner of Subject Property as of the effective date of insured instrument, stating that all taxes, charges, assessments, levied and assessed against Subject Property which are due and payable have been paid, and that said owner has no knowledge of any pending assessments.

6. Cancellation and quitclaim of that Residential Deed to Secure Debt and Security Agreement from William Lawson and Martha Lawson to The Brand Banking Company dated February 28, 1998 and recorded in Deed Book 404, Page 499, Barrow County records.

7. Plat of the property to be filed in the Barrow County records.

8. Certificate of Existence (Good Standing) for PB Real Estate LLC.

9. Proof satisfactory to the Company that PB Real Estate LLC has duly authorized the conveyance of the property and that the individual(s) executing instruments on behalf of PB Real Estate LLC are authorized to do so.

10. Certificate of Existence (Good Standing) for Braselton Court, L.P.
11. Proof satisfactory to the Company that Braselton Court, L.P. has duly authorized the conveyance of a security interest in the property and that the individual(s) executing instruments on behalf of Braselton Court, L.P. are authorized to do so.

**CHICAGO TITLE INSURANCE COMPANY
A.L.T.A. COMMITMENT
SCHEDULE B - SECTION 2**

Commitment Number: 88-162/80000-81205

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims, or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.
2. All taxes for the year 2012 and subsequent years, not yet due and payable.

STANDARD EXCEPTIONS

3. Rights or claims of parties in possession not shown by the public records.
4. Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
5. Taxes or special assessments which are not shown as existing liens by the public records.
6. Encroachments, overlaps, boundary line disputes, and any other matters which would be disclosed by an accurate survey and inspection of the premises.
7. Easements, or claims of easements, not shown by the public records.

SPECIAL EXCEPTIONS

8. Such state of facts as shown on that plat recorded in Plat Book 10, Page 391, Barrow County records.
9. Right of Way Deed from Charles E. Thomas to the Department of Transportation dated May 9, 1997 and recorded in Deed Book 364, Page 212, Barrow County records.
10. Easement from William A. Lawson to Jackson Electric Membership Corporation dated August 19, 1997 and recorded in Deed Book 382, Page 375, Barrow County records.
11. Easement from Connie Walley to Jackson Electric Membership Corporation dated August 20, 1997 and recorded in Deed Book 382, Page 376, Barrow County records.
12. Easement from Charles Thomas to Jackson Electric Membership Corporation dated August 21, 1997 and recorded in Deed Book 382, Page 377, Barrow County records.
13. Right of Way Deed from James A. Craft and Mitchell A. Starnes, M.D. to the Department of Transportation dated October 14, 1997 and recorded in Deed Book 386, Page 45, Barrow County records.

14. Right of Way Deed from William Lawson and Martha Lawson to the Department of Transportation dated November 20, 1997 and recorded in Deed Book 390, Page 149, Barrow County records.
15. Right of Way Deed from Connie P. Walley to the Department of Transportation dated January 8, 1998 and recorded in Deed Book 396, Page 497, Barrow County records.
16. Easement from James A. Craft and Mitchell A. Starnes to Jackson Electric Membership Corporation dated June 27, 1998 and recorded in Deed Book 400, Page 342, Barrow County records.
17. Sanitary Sewer Dedication Agreement by and between Century Center at Braselton, LLC and the Town of Braselton dated June 15, 2008 and recorded in Deed Book 1468, Page 846, Barrow County records.
18. Water Meter Easement Agreement by and between Century Center at Braselton, LLC and CCB3, LLC, dated June 15, 2009 and recorded in Deed Book 1469, Page 1, Barrow County records.
19. Sanitary Sewer Easement Agreement by and between Century Center at Braselton, LLC and CCB2, LLC, dated June 15, 2009 and recorded in Deed Book 1469, Page 6, Barrow County records.

Exhibit "A"

LEGAL DESCRIPTION

All that tract or parcel of land lying and being in G.M.D. 1744 of Barrow County, Georgia in the Town of Braselton and being more particularly described as follows:

To find the True Point of Beginning, begin at the intersection of the Northwesterly right-of-way of Beaver Dam Road (right-of-way varies) and the Northeasterly right-of-way of Ga. State Route 211 (right-of-way varies); THENCE following along the northwesterly right-of-way of Beaver Dam Road North 80 degrees 21 minutes 54 seconds East for a distance of 27.15 feet to a point; THENCE following along a curve to the right having a radius of 749.03 feet an arc length of 194.21 feet being subtended by a chord bearing of North 48 degrees 52 minutes 14 seconds East for a chord distance of 193.66 feet to a point, said point Being The True Point of Beginning; THENCE leaving said right-of-way North 31 degrees 28 minutes 39 seconds West for a distance of 99.19 feet to a point; THENCE North 31 degrees 31 minutes 59 seconds West for a distance of 42.84 feet to a point; THENCE North 36 degrees 09 minutes 28 seconds West for a distance of 129.87 feet to a point; THENCE North 43 degrees 02 minutes 39 seconds West for a distance of 38.28 feet to a point; THENCE North 45 degrees 16 minutes 39 seconds West for a distance of 17.34 feet to a p.k. nail found; THENCE North 52 degrees 00 minutes 53 seconds West for a distance of 44.02 feet to a point; THENCE North 47 degrees 31 minutes 34 seconds East for a distance of 472.12 feet to a point; THENCE South 42 degrees 28 minutes 26 seconds East for a distance of 482.17 feet to a 1/2 inch rebar found on the northwesterly right-of-way of Beaver Dam Road; THENCE along said right-of-way along a curve to the right having a radius of 648.84 feet an arc length of 203.16 feet being subtended by a chord bearing of South 53 degrees 56 minutes 10 seconds West for a distance of 202.33 feet to a point; THENCE South 61 degrees 24 minutes 38 seconds West for a distance of 234.06 feet to a 1/2 inch rebar found; THENCE North 28 degrees 50 minutes 05 seconds West for a distance of 19.97 feet to a 1/2 inch rebar found; THENCE South 60 degrees 01 minutes 22 seconds West for a distance of 24.05 feet to a 1/2 inch rebar found; THENCE along a curve to the left having a radius of 749.03 feet and arc length of 58.98 feet being subtended by a chord bearing of South 58 degrees 33 minutes 15 seconds West for an arc length of 58.96 feet to a 1/2 inch rebar found, said point being the True Point of Beginning.

Said property contains 4.874 acres.

Together with easements benefiting the property (to be determined – access over private access drive, drainage, etc.)



Deed Doc: FCD

Recorded 01/31/2011 02:49PM

Georgia Transfer Tax Paid : \$0.00

R.E. MCINTYRE PT&I Number: 0072011000236

Clerk Superior Court, BARROW County, Ga.

Ex 01554 Pg 0781-0795

Receipt # 384393

FILED
SUPERIOR COURT
BARROW COUNTY, GA

2011 JAN 31 PM 1:26

CLERK OF SUPERIOR COURT

STATE OF GEORGIA
COUNTY OF BARROW

Please Return Document To:
Mark L. Golder
Siegel & Golder, P.C.
One Premier Plaza, Suite 690
5605 Glenridge Drive
Atlanta, Georgia 30342

DEED UNDER POWER OF SALE

Please Cross-Reference:

Deed to Secure Debt and Security Agreement Recorded in Deed Book 1140, Page 0527, Barrow County, Georgia Records

First Modification to Real Estate Construction Note, Acquisition and Development Loan Agreement and Deed to Secure Debt and Security Agreement Recorded in Deed Book 1209, Page 702, aforesaid Records

Second Modification to Real Estate Construction Note, Acquisition and Development Loan Agreement and Deed to Secure Debt and Security Agreement Recorded in Deed Book 1388, Page 0834, aforesaid Records

Third Modification to Real Estate Construction Note and Acquisition and Development Loan Agreement Recorded in Deed Book 01460, Pages 0471-0474, aforesaid Records

Fourth Modification of Deed to Secure
Debt and Security Agreement Recorded in
Deed Book 01517, Pages 0473-0474,
aforesaid Records

THIS INDENTURE is made effective as of the 2nd day of November, 2010 by and between Century Center at Braselton, LLC ("Grantor") and PB REAL ESTATE, LLC ("Grantee").

WITNESSETH:

WHEREAS, Grantor did execute and deliver to The PrivateBank and Trust Company, a bank organized under the laws of the State of Illinois, formerly known as The PrivateBank, formerly known as The Piedmont Bank of Georgia ("PrivateBank") that certain Deed to Secure Debt and Security Agreement dated December 22, 2005, conveying all those tracts or parcels of land lying and being in the 1744th District G.M., County of Barrow, State of Georgia, and being more particularly described as follows:

(EXHIBIT A-1)

ALL THAT TRACT OR PARCEL of land lying and being in the 1744th District G. M., State of Georgia, County of Barrow, encompassing 4.69 acres and being more particularly described and delineated according to a plat and survey prepared by Borders and Associates, certified by Paul E. Borders, Georgia Registered Survey No. 1995, dated November 27, 1981, entitled "Survey for Oscar W. South, Jr.," said plat being of record in the Office of the Clerk of Superior Court of Barrow County, in Plat Book 25, Page 207; which said plat and the recording thereof are by reference hereto incorporated herein for a more complete and detailed description.

(EXHIBIT A-2)

ALL THAT TRACT OR PARCEL of land lying and being in the 1744th District G. M., State of Georgia, County of Barrow, encompassing 8.83 acres and being more particularly described and delineated according to a plat and survey prepared by Borders and Associates, certified by Paul E. Borders, Georgia Registered Survey No. 1995, dated April 11, 1986, entitled "Survey for Thomas M. Phelps and Cheryle S. Phelps," said plat being of

record in the Office of the Clerk of Superior Court of Barrow County, in Plat Book 26, Page 2; which said plat and the recording thereof are by reference hereto incorporated herein for a more complete and detailed description.

(EXHIBIT A-3)

ALL THAT TRACT OR PARCEL of land, together with all improvements thereon, lying and being in GMD No. 1744 of Barrow County, Georgia, and being more particularly described as Tract 13 in a plat of survey prepared by Borders and Associates, dated October 12, 1981, revised November 13, 1981, and titled "Survey of Kenyon Farms Phase I," said plat being recorded in Plat Book 10, Page 391 of the Barrow County Plat Records and the description contained therein is incorporated herein by reference.

(EXHIBIT A-4)

Legal Description (4.603 acres) Tract 3

ALL THAT TRACT OR PARCEL of land lying and being in the 1744th G.M. District of Barrow County, Georgia, and being more particularly described as follows: COMMENCE at a concrete monument located at the western intersection of State Route No. 211 (a variable width Right-of-Way) and Beaver Dam Drive (a variable width Right-of-Way), thence along said State Route No. 211 the following courses and distances: N 49° 26' 36" W 130.01 feet to a concrete monument found; thence N 40° 23' 12" E 10.24 feet to a concrete monument found; thence N 49° 03' 02" W 24.29 feet to a concrete monument found; thence S 40° 31' 17" W 10.00 feet to a concrete monument found; thence N 49° 28' 43" W 67.09 feet to an iron pin set and the POINT OF BEGINNING; from said Point of Beginning, thence along said right of way line the following courses and distances: N 49° 28' 43" W 47.86 feet to a concrete monument found; thence along the arc of a curve to the right for a distance of 209.21 feet (curve having a radius of 1477.89 feet and a chord distance of 209.04 feet on a bearing of N 45° 17' 10" W) to a concrete monument found; thence N 41° 15' 35" W 7.18 feet to an iron pin set; thence leaving said right-of-way line N 59° 09' 24" E 853.26 feet to an iron pin found; thence S 42° 02' 44" E 221.73 feet to an iron pin found; thence S 56° 34' 26" W 828.44 feet to an iron pin set and the Point of Beginning. Said property contains 4.603 acres and is shown as Tract No. 3 on Plat entitled "Survey for Gray Properties," dated July 6, 2004, prepared by Paul E. Borders, Georgia Registered Land Surveyor No. 1995.

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(EXHIBIT A-5)

ALL THAT TRACT OR PARCEL of land lying and being in the 1744th District, G. M., State of Georgia, County of Barrow, and being identified as Tract Number 12, containing 4.18 acres, as shown by that certain plat of survey prepared by Borders and Associates, certified by Paul E. Borders, Georgia Registered Land Surveyor No. 1995, dated October 12, 1981, revised November 13, 1981, and revised February 17, 1982, entitled "Survey of Kenyan Farms, Phase I", said plat being of record in the Office of the Superior Court of Barrow County, Georgia, and recorded in Plat Book 10, Page 391, Barrow County, Georgia Records, which Plat is incorporated by reference herein and made a part hereof.

LESS AND EXCEPT that portion of the property conveyed by Right of Way Deed dated January 8, 1998 and recorded in Deed Book 396, Page 497, Barrow County, Georgia Records.

(EXHIBIT A-6)

Legal Description (3.904 acres) Tract 4

ALL THAT TRACT OR PARCEL of land lying and being in the 1744th G. M. District of Barrow County, Georgia and being more particularly described as follows: BEGINNING at a concrete monument located at the western intersection of State Route No. 211 (a variable width Right-of-Way) and Beaver Dam Drive (a variable width Right-of-Way), from said Point of Beginning, thence along said State Route No. 211 the following courses and distances: N 49°26'36" W 130.01 feet to concrete monument found; thence N 40°23'12" E 10.24 feet to a concrete monument found; thence N 49°03'02" W 24.29 feet to a concrete monument found; thence S 40°31'17" W 10.00 feet to a concrete monument found; thence N 49°28'43" W 67.09 feet to an iron pin set; thence leaving said right-of-way line N 56°34'26" E 828.44 feet to an iron pin found; thence S 42°02'44" E 221.73 feet to an iron pin found on the right-of-way line of said Beaver Dam Drive; thence along said right-of-way line the following courses and distances: S 47°47'00" W 11.60 feet to a point; thence along the arc of a curve to the right for a distance of 191.69 feet (curve having a radius of 785.42 feet and a chord distance of 191.21 feet on a bearing of S 54°46'30" W) to a point; thence S 61°50'03" W 233.78 feet to a concrete monument found; thence N 28°18'04" W 20.10 feet to a concrete monument found; thence S 60°29'34" W 24.36 feet to a concrete monument found; thence along the arc of a curve to the left for a distance of 253.27 feet (curve having a radius of 724.09 feet and a chord distance of 251.98 feet on a bearing of S

51°34'51" W) to a concrete monument found; thence S 41°23'28" W 69.70 feet to a concrete monument found; thence S 80°47'29" W 27.15 feet to a concrete monument found and the Point of Beginning. Said property contains 3.904 acres and is shown as Tract No. 4 on Plat entitled "Survey for Gray Properties," dated July 6, 2004, prepared by Paul E. Borders, Georgia Registered Land Surveyor No. 1995.

(EXHIBIT A-7)

ALL THAT TRACT OR PARCEL of land, together with all improvements thereon, lying and being in the 1744th G.M. District of Barrow County, Georgia, and being more particularly described as Tract 14 in a plat of survey prepared by Borders and Associates, dated October 12, 1981, revised November 13, 1981, and titled "Survey of Kenyon Farms Phase I," said plat being recorded in Plat Book 10, Page 391 of the Barrow County, Georgia Records and the description contained therein is incorporated herein by reference.

(EXHIBIT A-8)

Legal Description (4.665 acres) Tract 2

ALL THAT TRACT OR PARCEL of land lying and being in the 1744th G. M. District of Barrow County, Georgia and being more particularly described as follows: COMMENCE at a concrete monument located at the western intersection of State Route No. 211 (a variable width Right-of-Way) and Beaver Dam Drive (a variable width Right-of-Way), thence along said State Route No. 211 the following courses and distances: N 49°26'36" W 130.01 feet to concrete monument found; thence N 40°23'12" E 10.24 feet to a concrete monument found; thence N 49°03'02" W 24.29 feet to a concrete monument found; thence S 40°31'17" W 10.00 feet to a concrete monument found; thence N 49°28'43" W 67.09 feet to an iron pin set; thence N 49°28'43" W 47.86 feet to a concrete monument found; thence along the arc of a curve to the right for a distance of 209.21 feet (curve having a radius of 1477.89 feet and a chord distance of 209.04 feet on a bearing of N 45° 17' 10" W) to a concrete monument found; thence N 41° 15' 35" W 7.18 feet to an iron pin set and the POINT OF BEGINNING; from said Point of Beginning, thence continuing along said right-of-way line N 41° 15' 35" W 264.12 feet to an iron pin found; thence leaving said right-of-way line N 61°58'37" E 858.97 feet to an iron pin found; thence S 42°02'44" E 221.73 feet to an iron pin found; thence S 59° 09'24" W 853.26 feet to an iron pin set and the Point of Beginning. Said property contains 4.665 acres and is shown as Tract No. 2 on Plat entitled "Survey for Gray Properties," dated July 6, 2004, prepared by Paul E. Borders, Georgia Registered Land Surveyor No. 1995.

(EXHIBIT A-9)

ALL THAT TRACT OR PARCEL of land lying and being in GMD 1744, Barrow County, Georgia, being Tract No. 1, 4.576 acres, as shown on a survey for Gray Properties, dated July 6, 2004, prepared by Paul E. Borders, Georgia Registered Land Surveyor, and being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, begin at a concrete monument found at the mitered intersection of the western right of way of Beaver Dam Drive (20' pavement) (right of way varies) and the northern right of way of State Route No. 211 (right of way varies); running thence along the northern right of way of State Route No. 211 North $49^{\circ} 26' 36''$ W 130.01 feet to a concrete monument found; thence continuing along said right of way N $40^{\circ} 23' 12''$ E 10.24 feet to a concrete monument found; thence continuing along said right of way N $49^{\circ} 03' 02''$ W 24.29 feet to a concrete monument found; thence continuing along said right of way S $40^{\circ} 31' 17''$ W 10.00 feet to a concrete monument found; thence continuing along said right of way N $49^{\circ} 28' 43''$ W 67.09 feet to an iron pin set; thence continuing along said right of way N $49^{\circ} 28' 43''$ W 47.86 feet to a concrete monument found; thence continuing along said right of way a curve having an arc distance of 209.21 feet, a radius of 1477.89 feet, being subtended by a chord bearing and distance of N $45^{\circ} 17' 10''$ W 209.04 feet to a concrete monument found; thence continuing along said right of way N $41^{\circ} 15' 35''$ W 7.18 feet to an iron pin set; thence continuing along said right of way N $41^{\circ} 15' 35''$ W 264.12 feet to an iron pin found and the TRUE POINT OF BEGINNING, thence continuing along said right of way N $41^{\circ} 15' 35''$ W 38.93 feet to a concrete monument found; thence continuing along said right of way a curve having an arc distance of 224.43 feet, a radius of 5679.58 feet, being subtended by a chord bearing and distance of N $40^{\circ} 03' 59''$ W 224.42 feet to a concrete monument found; thence leaving said right of way N $65^{\circ} 14' 30''$ E 864.12 feet to an iron pin set; thence S $42^{\circ} 02' 44''$ E 214.55 feet to an iron pin found; thence S $61^{\circ} 58' 37''$ W 858.97 feet to the TRUE POINT OF BEGINNING.

LESS AND EXCEPT THE FOLLOWING:

ALL THAT TRACT OR PARCEL of land lying and being in the 1744th G.M. District of Barrow County, Georgia and being more particularly described as follows: COMMENCING at a concrete monument located at the intersection of the northwesterly right of way of Beaver Dam Drive (variable right of way) and the northeasterly right of way of State Route 211 (variable right of way), thence along said State Route 211 N $49^{\circ} 26' 36''$

W a distance of 130.01 feet to a concrete monument; thence N 40°23'12" E a distance of 10.24 feet to a concrete monument, thence N 49° 03' 02" W a distance of 24.29 feet to a concrete monument; thence S 40° 31' 17" W a distance of 10.00 feet to a concrete monument; thence N 49° 28' 43" W a distance of 67.09 feet to an iron pin found; thence N 49°28'43" W a distance of 47.86 feet to a right of way monument; thence along the arc of a curve to the right a distance of 209.21 feet (said curve having a radius of 1477.89 feet and a chord of N 45° 17' 10" W a distance of 209.04 feet) to an iron pin found; thence N 41° 15' 35" W a distance of 7.18 feet to an iron pin found; thence N 41°15'35" W a distance of 132.84 feet to an iron pin set and THE POINT OF BEGINNING; thence N 41°15'35" W a distance of 170.21 feet to an iron pin set; thence along the arc of a curve to the right a distance of 144.43 feet (said curve having a radius of 5679.58 feet and a chord of N 40°28'11" W a distance of 144.43 feet) to an iron pin set; thence leaving the right of way of State Route 211, n 26°18'44" E a distance of 43.64 feet to an iron pin set; thence N 65°14'30" E a distance of 237.57 feet to an iron pin set; thence S 46°13'11" E a distance of 158.34 feet to an iron pin; thence S 01°13'11" E a distance of 114.72 feet to an iron pin set; thence S 43°46'48" W a distance of 210.80 feet to an iron pin set and the POINT OF BEGINNING. Said property contains 1.774 acres and is shown as Tract 1 on Plat entitled "Boundary Survey for CCBI, LLC; Piedmont Bank of Georgia and Fidelity National Title Insurance Company of New York," dated January 27, 2006, prepared by Transportation Systems and Design, Inc., Job No. 0601.06.

LESS AND EXCEPT THE FOLLOWING:

ALL THAT TRACT OR PARCEL of land situate lying and being in the 1744th Georgia Militia District, Barrow County, Georgia, containing 2.227 acres, designated CCB-2, LLC, as shown on survey for Century Center Braselton, LLC, prepared by Monte C. Bruner, Registered Surveyor, dated February 15, 2007, and being more particularly described according to said Bruner Survey as follows:

TO ARRIVE AT THE TRUE POINT OF BEGINNING, COMMENCE at a point at the southwest end of the miter at the intersection of the northwesterly right of way of Beaver Dam Road (right of way varies) and the northeasterly right of way of State Route 211 (100-foot right of way); thence along the northeasterly right of way of State Route 211 N 49°26'36" W for a distance of 130.01 feet to a right of way monument; thence continuing along said right of way N 40°23'12" E for a distance of 10.24 feet to a right of way monument; thence N 49° 03' 02" W for a distance of 24.29 feet to a right of way monument; thence continuing along said right of way S 40° 31' 17" W for a distance of 10.00 feet; thence continuing along said right of way N 49° 28' 43" W for a distance of 114.95 feet to a right of

way monument; thence continuing along said right of way a chord distance of N 48°58'8" W 19.23 feet to a point which point is the THE TRUE POINT OF BEGINNING; thence from said true point of beginning and continuing along said right of way a chord distance N 44°54'49" W 189.85 feet to a right of way monument; thence continuing along said right of way N 41°15'35" W 107.41 feet to a point; thence leaving said right of way and continuing a chord distance N 36° 38'48" E 13.20 feet to a point; thence N 48°44'25" E 286.74 feet to a point; thence a chord distance n 86°11'21" E 20.07 feet to a point; thence a chord distance S 56°57'17" E 16.52 feet to a point; thence S 57°32'51" E 100.29 feet to a point; thence a chord distance S 51°34'00" E 146.19 feet to a point; thence S 43°46'48" W 363.60 feet to the TRUE POINT OF BEGINNING.

LESS AND EXCEPT THE FOLLOWING:

ALL THAT TRACT OR PARCEL of land lying and being in the 1744th Georgia Militia District, Barrow County, Georgia, containing 2.312 acres, designated CCB-3, LLC, as shown on survey for Century Center Braselton, LLC, prepared by Monte C. Bruner, Registered Surveyor, dated February 15, 2007, and being more particularly described according to said Bruner Survey as follows:

COMMENCE at a point at the southwest end of the miter at the intersection of the northwesterly right of way of Beaver Dam Road (right of way varies) and the northeasterly right of way of State Route 211 (100-foot right of way); thence running along the northeasterly right of way of State Route 211 N 49°26'36" W for a distance of 130.01 feet to a right of way monument; thence continuing along said right of way N 40°23'12" E for a distance of 10.24 feet to a right of way monument, thence N 49° 03' 02" W for a distance of 24.29 feet to a right of way monument; thence continuing along said right of way S 40° 31' 17" W for a distance of 10.00 feet; thence continuing along said right of way N 49° 28' 43" W for a distance of 114.95 feet to a right of way monument; thence continuing along said right of way a chord distance of N 48°58'8" W 19.23 feet to a point; thence leaving the northerly right of way and continuing N 43°46'48" E 363.60 feet to a point; thence a chord distance S 44° 51'4" E 17.34 feet to a point; thence a chord distance S 42°37'4" E 38.28 feet to a point; thence a chord distance S 35°43'53" E 129.87 feet to a point; thence S 31°6'24" E 42.84 feet to a point; thence S 31°3'00" E 99.14 feet to a point located along the northwesterly right of way of Beaver Dam Road; thence along the northwesterly right of way of Beaver Dam Road, a chord distance S 49°20'2" W 193.89 feet to a right of way monument; thence continuing along said right of way S 41°23'28" W 69.70 feet to a right of way monument; thence S 80°47'29" W 27.15 feet to the POINT OF BEGINNING.

LESS AND EXCEPT THE FOLLOWING:

ALL THAT TRACT OR PARCEL of land lying and being in the 1744th District, G.M. of Barrow County, Georgia and being more particularly described as follows:

Beginning at a concrete monument located at the eastern intersection of State Route No. 211 (a variable width right-of-way) and Beaver Dam Drive (a variable width right-of-way), thence from said point of beginning; go along the right-of-way of Beaver Dam Drive the following courses and distances:

N 08°22'26" W 29.45 feet to a concrete monument; thence N 41°00'04" E 69.90 feet to a concrete monument; thence along the arc of a curve to the right for a distance of 216.93 feet (curve having a radius of 624.09 feet and a chord distance of 215.84 feet and a bearing of N 51°29'47" E) to a concrete monument; thence N 61°59'21" E 25.24 feet to a concrete monument; thence N 27°59'13" W 20.08 feet to a concrete monument; thence N 61°57'58" E 150.95 feet to an iron pin found on the right-of-way of Beaver Dam Drive; thence leaving the right-of-way of Beaver Dam Drive go S 46°29'42" E 759.17 feet to a six inch wooden fence post; thence S 48°03'03" W 447.34 feet to an iron pin set on the right-of-way of State Route No. 211; thence along the right-of-way of State Route No. 211 the following courses and distances: N 46°50'24" W 28.39 feet to a concrete monument; thence along the arc of a curve to the left for a distance of 340.14 (curve having a radius of 7,689.44 feet and a chord distance of 340.11 feet and a bearing of N 48°08'35" W) to a concrete monument; thence N 49°17'56" W 396.36 feet to a concrete monument and the Point of Beginning. Said property contains 8.285 acres and is shown as Tract No. 5 on Plat entitled "survey for Gray Properties" dated July 6, 2004, prepared by Paul E. Borders, Georgia Registered Land Surveyor No. 1955.

TOGETHER with all buildings, structures, and other improvements now or hereafter located on said property, or any part and parcel thereof; and

TOGETHER with all rights, title, and interest of Grantor in and to the minerals, flowers, shrubs, crops, trees, timber, and other emblements now or hereafter on said property or above the same or any part or parcel thereof; and

TOGETHER with any and all awards or payments, including interest thereon, and the right to receive the same, as a result of (a) the exercise of the right of eminent domain, (b) the alteration of the grade of any street, or (c) any other injury to, taking of, or decrease in the value of, the property, to the extent of all amounts which may be secured by this deed at the date of receipt of any such award or payment by Grantee and of the reasonable attorneys' fees, costs, and disbursements incurred by Grantee in connection with the collection of such award or payment; and

TOGETHER with all and singular the tenements, hereditaments, easements, and appurtenances thereunto belonging or in any wise appertaining, and the reversion or reversions, remainder and remainders, rents, issues, and profits thereof; and also all the estate, right, title, interest, claim, and demand whatsoever of Grantor of in, and to the same and of, in, and to every part and parcel thereof; and

TOGETHER with all fittings and fixtures, whether actually or constructively attached to said property and including all machinery equipment, apparatus, inventory, materials, and all trade, domestic, and ornamental fixtures, appliances, and articles of personal property of every kind and nature whatsoever, now or hereafter located in, upon, or under said property or any part thereof or stored to be used in connection with any improvements constructed or installed on the said property and used or usable in connection with any present or future operation of said property and now owned or hereafter acquired by Grantor (hereinafter collectively called "Equipment"); all leases and use agreements of all machinery, apparatus, equipment, and other personal property of Grantor in the categories hereinabove set forth, under which Grantor is the lessee of, or entitled to use such items, and all deposits made therefore; all additions to

and renewals or replacements of all of the foregoing and all proceeds and profits of all of the foregoing; and

TOGETHER with any and all rents which are now due or may hereafter become due by reason of the renting, leasing, and bailment of the property, the improvements thereon and Equipment (all referred to as "Property").

WHEREAS, such Deed to Secure Debt and Security Agreement was recorded on January 4, 2006 in Deed Book 1140, Page 0527, Barrow County, Georgia records, modified by that certain First Modification to Real Estate Construction Note, Acquisition and Development Loan Agreement and Deed to Secure Debt and Security Agreement dated July 20, 2006 and recorded in Deed Book 1209, Page 702, aforesaid records, further modified by that certain Second Modification to Real Estate Construction Note, Acquisition and Development Loan Agreement and Deed to Secure Debt and Security Agreement dated March 13, 2008 and recorded in Deed Book 1388, Page 0834, aforesaid records, cross referenced in that certain Third Modification to Real Estate Construction Note and Acquisition and Development Loan Agreement dated April 29, 2009 and recorded in Deed Book 01460, Pages 0471-0474, aforesaid records, further modified by that certain Fourth Modification of Deed to Secure Debt and Security Agreement dated April 30, 2010 and recorded in Deed Book 01517, Pages 0473-0474, aforesaid records (hereinafter called the "Deed to Secure Debt");

WHEREAS, Grantor executed a Real Estate Construction Note ("Note") dated December 22, 2005 in the total principal sum of Four Million Three Hundred Thousand (\$4,300,000.00) Dollars, with interest thereon as set forth therein, which Note and all

modifications are secured by the Deed to Secure Debt (such indebtedness being hereinafter called the "Indebtedness");

WHEREAS, the Deed to Secure Debt contained a power of sale in favor of PrivateBank in the event the Indebtedness secured by the Deed to Secure Debt should not be paid according to the terms of the instrument evidencing such Indebtedness and the Deed to Secure Debt;

WHEREAS, the power of sale contained in the Deed to Secure Debt authorized PrivateBank to sell and dispose of the Property at public auction, at the usual place for conducting sales at the Courthouse in Barrow County, Georgia, to the highest bidder for cash, after first advertising the time, terms and place of such sale by publishing a notice thereof once a week for four (4) weeks preceding such sale in a newspaper in which sheriff's advertisements are published in such county, all other notice being waived by Grantor;

WHEREAS, the power of sale contained in the Deed to Secure Debt also authorized PrivateBank, its agents, representatives, successors or assigns to bid and purchase at any such sale and authorized PrivateBank to execute and deliver to the purchaser of the Property any such sale a sufficient conveyance of the Property in fee simple, which conveyance is authorized to contain recitals as to the happening of the default under the Deed to Secure Debt upon which the execution of the power of sale granted in the Deed to Secure Debt depends;

WHEREAS, the Deed to Secure Debt contained provisions constituting and appointing PrivateBank or its successors and assigns as agent and attorney-in-fact to make such recitals, sale and conveyance;

WHEREAS, Grantor covenanted and agreed in the Deed to Secure Debt that such recitals should be binding and conclusive upon Grantor and that the conveyance made by PrivateBank, or its assigns, should be effectual to bar all right, title, interest, equity of redemption and all other exemptions that Grantor or its successors in interest may have had in and to the Property and that all the acts of PrivateBank as Grantor's attorney-in-fact were thereby ratified;

WHEREAS, the Note went into default under the terms of the Note and the Deed to Secure Debt and PrivateBank declared the entire Indebtedness secured by the Deed To Secure Debt immediately due and payable, but such amount was not paid;

WHEREAS, in accordance with the power of sale contained in the Deed to Secure Debt, the Property was advertised for sale once a week for the four (4) consecutive weeks immediately preceding the week of the sale, the advertisements being contained in the *Barrow County News*, a newspaper published in Barrow County, Georgia in which advertisements of sheriff's sales are published, and the advertisement so published on October 6, 13, 20 and 27, 2010 recited notice of the time, place and terms of such sale; and

WHEREAS, no further notice was required due to the non-residential character of the Property advertised for foreclosure under O.C.G.A. § 44-14-162.2; and

WHEREAS, PrivateBank, acting as agent and attorney-in-fact for Grantor, sold the Property, in accordance with the terms of the Deed to Secure Debt, at public sale before the

courthouse door in Barrow County, Georgia (the same being the usual place for conducting sales at said courthouse), on November 2, 2010, at 12:20 o'clock p.m., during the legal hours for sale, and at such time and place, and on such day PB Real Estate, LLC was the highest bidder, having bid for the Property the sum of \$2,015,980.04 in cash, and the Property was thereupon knocked down and sold to PB Real Estate, LLC.

NOW, THEREFORE, for and in consideration of the sum bid at public auction, in hand paid at and before the sealing and delivery of this indenture, the receipt of which is hereby acknowledged by Grantor, through PrivateBank as Grantor's agent and attorney-in-fact, grants, bargains, sells and conveys all of Grantor's rights, title, interest and equity in and to the Property unto Grantee.

TO HAVE AND TO HOLD the Property, together with all and singular the rights, members and appurtenances thereof, to the Property being, belonging or in any wise appertaining to the only proper use, benefit and behoof of Grantee, forever, in fee simple, subject to:

1. All, if any, unpaid taxes and assessments which are liens against the Property;
2. All other, if any, prior easements, covenants, restrictions, encumbrances, or other matters of record to which the Deed to Secure Debt was junior in priority; and
3. All, if any, matters affecting the Property which would be disclosed by an accurate survey and inspection of the Property.

IN WITNESS WHEREOF, this Deed Under Power of Sale has been duly signed and sealed by Grantor, acting by and through PrivateBank as Grantor's agent and attorney-in-fact, effective the day and year first written above.

Century Center at Braselton, LLC, by and through its agent and attorney-in-fact, The PrivateBank and Trust Company, a bank organized under the laws of the State of Illinois, formerly known as The PrivateBank, formerly known as The Piedmont Bank of Georgia

By: *C. Walter Hill* (SEAL)

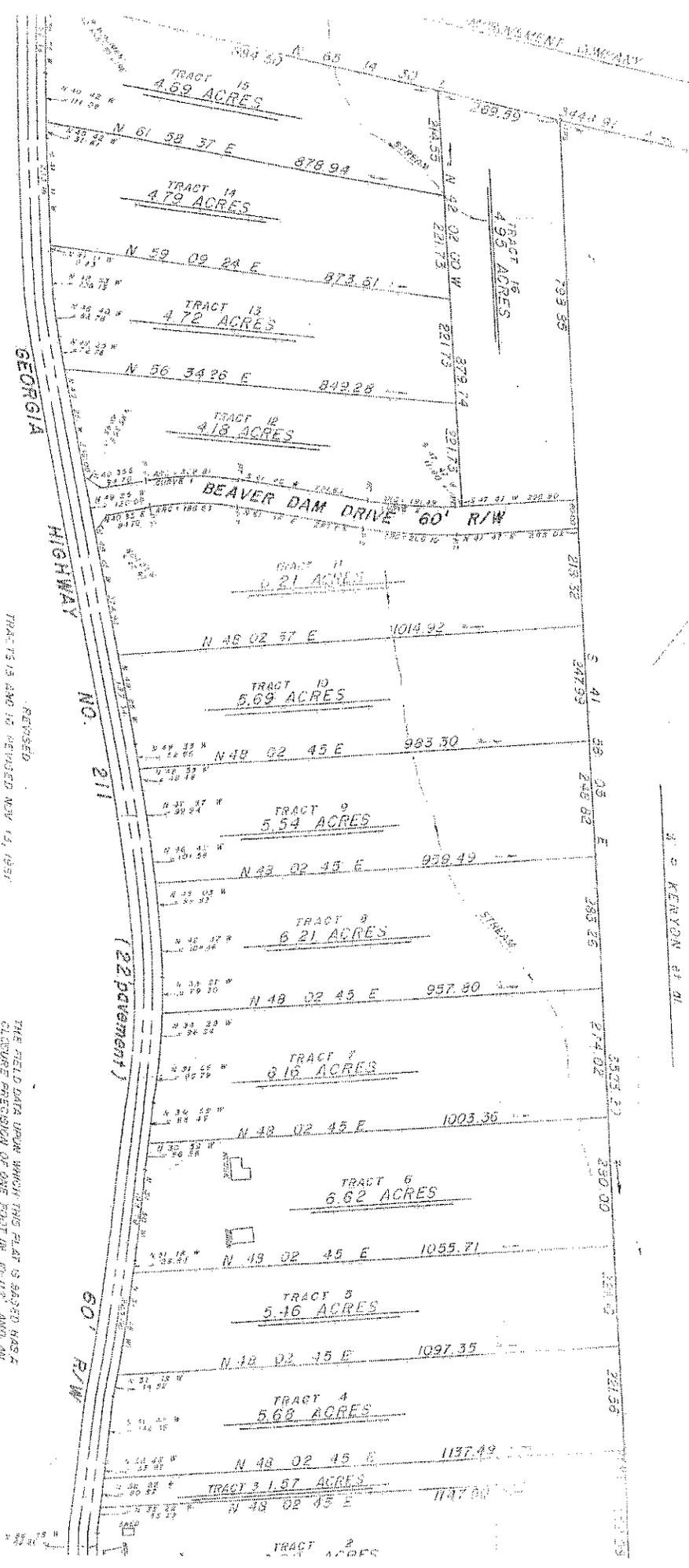
Title: Managing Director

Signed, sealed and delivered in the presence of:

Ryan
Unofficial Witness

Rachel N. Weston
Notary Public





NOTE
IRON PINS SET ON ALL CORNERS UNLESS OTHERWISE NOTED



REMOVED
TRACT 15 AND 16 REVISION MAY 14, 1951
REVISED
TRACTS 11 AND 12 REVISION FEB. 17, 1952

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A
CLOSEURE ERROR OF ONE FOOT IN 10,112 AND AN
ANGULAR ERROR OF 2" PER ANGLE POINT AND WAS
ADJUSTED USING THE COMPASS RULE
THIS PLAT HAS BEEN CALCULATED FOR CLOSEURE AND
IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN
152,562

EQUIPMENT USED: 10" THEODOLITE AND ELECTRONIC
DISTANCE MEASURING DEVICE

John V. Kendall Johnson

17-20-51

GEORGIA DEPARTMENT OF TRANSPORTATION
P. O. BOX 1057, GAINESVILLE, GA 30503-1057
RIGHT OF WAY DEED

FILED
MAY 15 11:57
CLERK

GEORGIA, BARROW COUNTY

PROJECT NO. STP-8911(6)
P.I. NO. 132320

THIS CONVEYANCE made and executed the 9th day of May, 1997.

WITNESSETH that Charles E. Thomas, the undersigned, (hereinafter referred to as GRANTOR), is the owner of a tract of land in Barrow County through which improvements on State Route 211, known as Project No. STP-0911(6), has been laid out by the Department of Transportation being more particularly described in a map and drawing of said road in the office of the Department of Transportation, No. 2 Capitol Square, Atlanta, Georgia, to which reference is hereby made.

NOW, THEREFORE, in consideration of the benefit to said property by the construction and maintenance of said road, and in consideration of ONE DOLLAR (\$1.00), in hand paid, the receipt whereof is hereby acknowledged, Grantor does hereby grant, sell and convey to said Department of Transportation, and their successors in office so much land as to make a right of way for said road as surveyed, being more particularly described as follows:

All that tract or parcel of land lying and being in the 1744th Georgia Militia District of Barrow County, Georgia, and being more particularly described on Exhibit 'A' attached hereto and made a part hereto by this reference.

Said right of way is hereby conveyed, consisting of 0.121 acres, more or less, as shown colored yellow on the plat of the property prepared by the Department of Transportation, dated April 29, 1996; revised September 4, 1996, said plat attached hereto and made a part of this deed as Exhibit 'B'.

For the same consideration Grantor hereby conveys and relinquishes to the Department of Transportation all rights of access between the limited access highway and approaches thereto on the above numbered highway project and Grantor's remaining real property from which said right of way is taken except at such points as designated and shown on the attached plat prepared by the Department of Transportation.

TO HAVE AND TO HOLD the said conveyed premises in fee simple and any rights Grantor has or may have in and to existing public rights of way are hereby quitclaimed and conveyed unto the Department of Transportation.

Grantor hereby warrants that Grantor has the right to sell and convey said land and bind himself, his heirs, executors and administrators forever to defend by virtue of these presents.

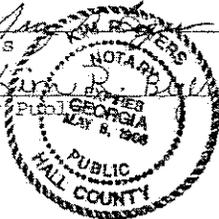
IN WITNESSETH WHEREOF, Grantor has hereunto set his hand and seal the day above written.

Signed, Sealed and Delivered
this 9th day of MAY,
19 97, in the presence of:

Charles E. Thomas (L.S.)
Charles E. Thomas

Witness

Notary Public



Parcel No. 50

DOT 118
REV. 08/90

EXHIBIT A

PROJECT NO.: STP-0911(6) Barrow County
P. I. NO.: 132220
PARCEL NO.: 50
TAKE: 0.121 acres
DATE OF R/W PLANS: April 29, 1996
REVISION DATE: September 4, 1996

All that tract or parcel of land lying and being in the
1744th Georgia Militia District of Barrow County, Georgia,
being more particularly described as follows:

Beginning at a point 30.00 feet right of and opposite
Station 48+31.43 on the centerline of State Route 211
on Georgia Highway Project No. STP-0911(6)
From the Point of Beginning.
Thence N 37-40'00"W for 34.324 feet to a point on the boundary.
Thence N 00-00'00"E for 0.000 feet to the beginning of a curve,
said curve having central angle 002-18'48", radius 5699.577 feet, chord
bearing N 36-30'36"W, and chord distance 230.107 feet. Along the
said curve for an arc distance of 230.123 feet to the end of the curve.
Thence N 00-00'00"E for 0.000 feet to a point on the boundary.
Thence N 68-50'38"E for 20.632 feet to a point on the boundary.
Thence N 00-00'00"E for 0.000 feet to the beginning of a curve,
said curve having central angle 002-15'44", radius 5679.577 feet, chord
bearing S 36-32'08"E, and chord distance 224.241 feet. Along the
said curve for an arc distance of 224.255 feet to the end of the curve.
Thence N 00-00'00"E for 0.000 feet to a point on the boundary.
Thence S 37-40'00"E for 39.035 feet to a point on the boundary.
Thence S 65-35'17"W for 20.547 feet to the Point of Beginning.
Containing 0.121 acres more or less.

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JACKSON ELECTRIC MEMBERSHIP CORPORATION

06498

FILED
SUPERIOR COURT
BARROW COUNTY, GA.
RIGHT-OF-WAY EASEMENT
97 SEP 26 AM 11:47
GLORIA H. WALL, CLERK

FOR OFFICE USE ONLY	
W.O. #	
Location #	922-22-25-01-01
Consumer Name	
(Printed)	WILLIAM A. LAWSON

GEORGIA

BARROW, COUNTY

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, for a good and valuable consideration, the receipt whereof is hereby acknowledged, do(es) hereby grant unto Jackson Electric Membership Corporation, a corporation (hereinafter called the "Corporation"), whose post office address is Post Office Box 38, Jefferson, Georgia, 30549, and to its successors and assigns, the right to enter upon the lands of the undersigned, situated in the County of BARROW, State of Georgia, and more particularly described as follows:

All that certain tract or parcel of land at MAP 60 - PARCEL 1B

situated, lying and being in the 1744 G.M.D., County of BARROW, State of Georgia, containing 4.72 acres, more or less, located 3 miles in a WESTERNLY direction from the Town of BASELTON, and being bounded now or formerly as follows: On the North by DAVENPORT CRAFT; on the East by DAVENPORT CRAFT; on the South by WALLEY; and on the West by S.R. 211; together with

the right to construct, reconstruct, operate and maintain continuously upon and under said lands and adjoining roads, said lines for transmitting electric current, with poles, wires, transformers, service pedestals, and other necessary apparatus, fixtures and appliances, (exhibit B, if applicable) including the right to attach communication wires on said poles, or under said land with necessary appliances; together with the right at all times to enter upon said premises for the purpose of inspecting said lines, making repairs, renewals, alterations and extension thereon, thereunder, thereto or therefrom; together with the right to cut and keep clear of said overhead or underground lines, transformers, fixtures and appliances, all trees, shrubbery and other obstructions that may now or hereafter in any way interfere or be likely to interfere with the proper operations of said overhead or underground lines, transformers, fixtures and appliances; also the right of ingress and egress over said land to and from said lines. Any timber cut on said lands by or for said Company shall remain the property of the owner of said timber. Any additional conditions are set forth on exhibit A. The minimum right-of-way width granted on either side of said line shall be 15 feet for overhead lines; and 10 feet for underground cables.

The undersigned agrees(s) that all poles, wires and other facilities, including all electrical distribution equipment, installed on the above described premises at the Corporation's expense shall remain the property of the Corporation, removable at the option of the Corporation at any time without notice to the undersigned.

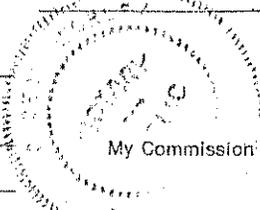
The Corporation shall not be liable for, or bound by any statement, agreement or understanding not herein expressed.

IN WITNESS WHEREOF, the undersigned has (have) set his (their) hand(s) and seal(s) this 19 day of August, 1997.

William A. Lawson (L.S.)
Signed, Sealed and Delivered in the presence of: _____ (L.S.)

Billy J. Lewis
Unofficial Witness

C. Cecil Worley
Notary Public
County, Georgia Banks



My Commission Expires Oct. 8, 2000

JACKSON ELECTRIC MEMBERSHIP CORPORATION 06499

FILED
SUPERIOR COURT
BARROW COUNTY, GA.
RIGHT OF WAY EASEMENT

FOR OFFICE USE ONLY	
W.O. #	
Location #	
Consumer Name	
(Printed)	CONNIE WALLEY

GEORGIA
97 SEP 26 AM 11:47
GLORIA M. WALL, CLERK

BARROW COUNTY

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, for a good and valuable consideration, the receipt whereof is hereby acknowledged, do(es) hereby grant unto Jackson Electric Membership Corporation, a corporation (hereinafter called the "Corporation"), whose post office address is Post Office Box 38, Jefferson, Georgia, 30549, and to its successors and assigns, the right to enter upon the lands of the undersigned, situated in the County of BARROW, State of Georgia, and more particularly described as follows:

All that certain tract or parcel of land at MAP 60 PARCEL 19 situated, lying and being in the 1744 G.M.D., County of BARROW, State of Georgia, containing _____ acres, more or less, located 3 miles in a WESTERNLY direction from the Town of BRASELTON, and being bounded now or formerly as follows: On the North by LAWSON on the East by DAVENPORT; on the South by BEAVER DAM RD.; and on the West by S.R. 211; together with the right to construct, reconstruct, operate and maintain continuously upon and under said lands and adjoining roads, said lines for transmitting electric current, with poles, wires, transformers, service pedestals, and other necessary apparatus, fixtures and appliances, (exhibit B, if applicable) including the right to attach communication wires on said poles, or under said land with necessary appliances; together with the right at all times to enter upon said premises for the purpose of inspecting said lines, making repairs, renewals, alterations and extension thereon, thereunder, thereto or therefrom; together with the right to cut and keep clear of said overhead or underground lines, transformers, fixtures and appliances, all trees, shrubbery and other obstructions that may now or hereafter in any way interfere or be likely to interfere with the proper operations of said overhead or underground lines, transformers, fixtures and appliances; also the right of ingress and egress over said land to and from said lines. Any timber cut on said lands by or for said Company shall remain the property of the owner of said timber. Any additional conditions are set forth on exhibit A. The minimum right-of-way width granted on either side of said line shall be 15 feet for overhead lines; and 10 feet for underground cables.

The undersigned agrees(s) that all poles, wires and other facilities, including all electrical distribution equipment, installed on the above described premises at the Corporation's expense shall remain the property of the Corporation, removable at the option of the Corporation at any time without notice to the undersigned.

The Corporation shall not be liable for, or bound by any statement, agreement or understanding not herein expressed.

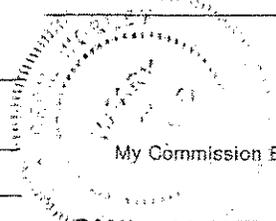
IN WITNESS WHEREOF, the undersigned has (have) set his (their) hand(s) and seal(s) this 20 day of August, 1997.

Connie Walley (L.S.)

Signed, Sealed and Delivered in the presence of:

Billy Davis (L.S.)
Unofficial Witness

C. Cecil Worley
Notary Public
County, Georgia Banks



My Commission Expires Oct 8, 2000

BOOK 382 PAGE 226

JACKSON ELECTRIC MEMBERSHIP CORPORATION

06501

FILED
SUPERIOR COURT
RIGHT-OF-WAY EASEMENT

97 SEP 26 AM 11:47

GEORGIA

GLORIA M. WALL, CLERK

BARROW COUNTY

FOR OFFICE USE ONLY	
W.O. #	
Location #	
Consumer Name	
(Printed)	<u>CHARLES THOMAS</u>

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, for a good and valuable consideration, the receipt whereof is hereby acknowledged, do(es) hereby grant unto Jackson Electric Membership Corporation, a corporation (hereinafter called the "Corporation"), whose post office address is Post Office Box 38, Jefferson, Georgia, 30549, and to its successors and assigns, the right to enter upon the lands of the undersigned, situated in the County of BARROW, State of Georgia, and more particularly described as follows:

All that certain tract or parcel of land at TAX MAP 6 situated, lying and being in the PARCEL 16 G.M.D., County of BARROW State of Georgia, containing 4.69 acres, more or less, located 3 miles in a WESTERNLY direction from the Town of BRASELTON, and being bounded now or formerly as follows: On the North by P.O.T. RIGHT-OF-WAY on the East by DAVENPORT; on the South by CRAFT; and on the West by S.R. 211; together with the right to construct, reconstruct, operate and maintain continuously upon and under said lands and adjoining roads, said lines for transmitting electric current, with poles, wires, transformers, service pedestals, and other necessary apparatus, fixtures and appliances, (exhibit B, if applicable) including the right to attach communication wires on said poles, or under said land with necessary appliances; together with the right at all times to enter upon said premises for the purpose of inspecting said lines, making repairs, renewals, alterations and extension thereon, thereunder, thereto or therefrom; together with the right to cut and keep clear of said overhead or underground lines, transformers, fixtures and appliances, all trees, shrubbery and other obstructions that may now or hereafter in any way interfere or be likely to interfere with the proper operations of said overhead or underground lines, transformers, fixtures and appliances; also the right of ingress and egress over said land to and from said lines. Any timber cut on said lands by or for said Company shall remain the property of the owner of said timber. Any additional conditions are set forth on exhibit A. The minimum right-of-way width granted on either side of said line shall be 15 feet for overhead lines; and 10 feet for underground cables.

The undersigned agrees(s) that all poles, wires and other facilities, including all electrical distribution equipment, installed on the above described premises at The Corporation's expense shall remain the property of the Corporation, removable at the option of the Corporation at any time without notice to the undersigned.

The Corporation shall not be liable for, or bound by any statement, agreement or understanding not herein expressed.

IN WITNESS WHEREOF, the undersigned has (have) set his (their) hand(s) and seal(s) this 21 day of August, 1997.

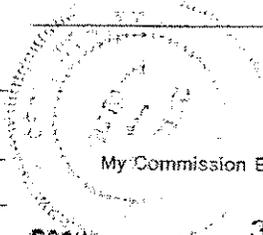
X Charles Thomas (S.)

Signed, Sealed and Delivered in the presence of:

Billy Reis
Unofficial Witness

C. Cecil Worley
Notary Public

County, Georgia BANKS



BOOK 382 PAGE 377

GEORGIA DEPARTMENT OF TRANSPORTATION
P. O. BOX 1057, GAINESVILLE, GA 30503-1057
RIGHT OF WAY DEED

GEORGIA, BARROW COUNTY

PROJECT NO. STP-0911(6)
P.I. NO. 132220

THIS CONVEYANCE made and executed the 14th day of October, 19 97.

WITNESSETH that JAMES A. CRAFT and MITCHELL A. STARNES, M.D., the undersigned, (hereinafter referred to as GRANTOR), is the owner of a tract of land in Barrow County through which improvements on State Route 211, known as Project No. STP-0911(6), has been laid out by the Department of Transportation being more particularly described in a map and drawing of said road in the office of the Department of Transportation, No. 2 Capitol Square, Atlanta, Georgia, to which reference is hereby made.

NOW, THEREFORE, in consideration of the benefit to said property by the construction and maintenance of said road, and in consideration of ONE DOLLAR (\$1.00), in hand paid, the receipt whereof is hereby acknowledged, Grantor does hereby grant, sell and convey to said Department of Transportation, and their successors in office so much land as to make a right of way for said road as surveyed, being more particularly described as follows:

All that tract or parcel of land lying and being in the 1744th Georgia Militia District of Barrow County, Georgia, and being more particularly described on Exhibit 'A' attached hereto and made a part hereto by this reference.

Said right of way is hereby conveyed, consisting of 0.122 acres, more or less, as shown colored yellow on the plat of the property prepared by the Department of Transportation, dated April 29, 1996; revised May 22, 1997, said plat attached hereto and made a part of this deed as Exhibit 'B'.

For the same consideration Grantor hereby conveys and relinquishes to the Department of Transportation all rights of access between the limited access highway and approaches thereto on the above numbered highway project and Grantor's remaining real property from which said right of way is taken except at such points as designated and shown on the attached plat prepared by the Department of Transportation.

TO HAVE AND TO HOLD the said conveyed premises in fee simple and any rights Grantor has or may have in and to existing public rights of way are hereby quitclaimed and conveyed unto the Department of Transportation.

Grantor hereby warrants that Grantor has the right to sell and convey said land and bind himself, his heirs, executors and administrators forever to defend by virtue of these presents.

IN WITNESSETH WHEREOF, Grantor has hereunto set his hand and seal the day above written.

Signed, Sealed and Delivered
this 14th day of October
19 97, in the presence of:

[Signature]
Witness

[Signature]
Notary Public

Notary Public, Fulton County, Georgia
My Commission Expires February 23, 1998

[Signature]
James A. Craft

[Signature]
Mitchell A. Starnes, M.D.

RECORDED
INDEXED
OCT 22 AM 10:44
CLERK
GA.

Parcel No. 48

DOT 118
REV. 08/90

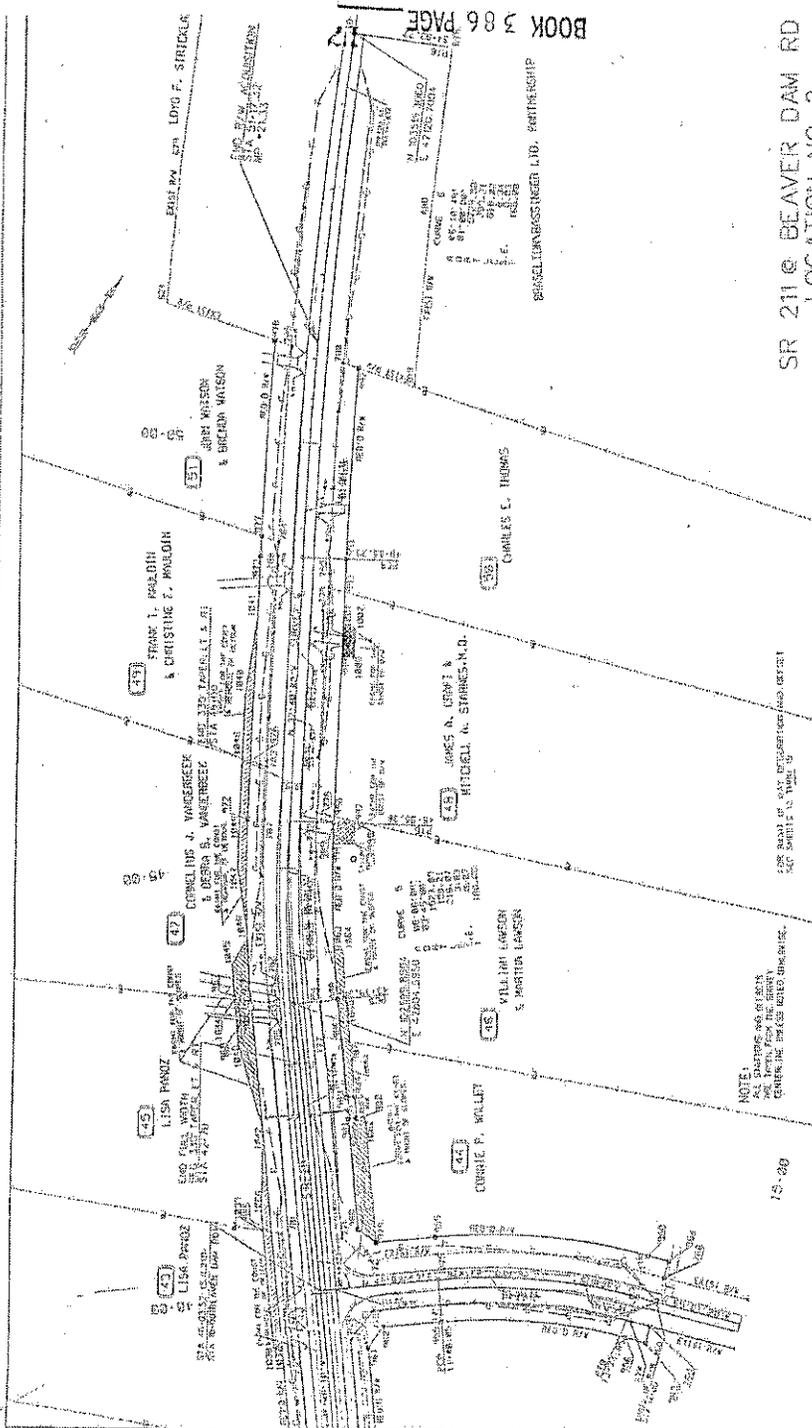
EXHIBIT A

PROJECT NO.: STP-0911(6) Barrow County
P. I. NO.: 132220
PARCEL NO.: 48
TAKE: 0.122 Acres
DATE OF R/W PLANS: April 29, 1996
REVISION DATE: May 22, 1997

All that tract or parcel of land lying and being in the 1744th Georgia Militia District of Barrow County, Georgia, being more particularly described as follows:

Beginning at a point 30.00 feet right of and opposite Station 45+66.28 on the centerline of State Route 211 on Georgia Highway Project No. STP-0911(6) From the Point of Beginning.
Thence N 37-40'00"W for 265.152 feet to a point on the boundary.
Thence N 65-35'17"E for 20.547 feet to a point on the boundary.
Thence S 37-40'00"E for 264.124 feet to a point on the boundary.
Thence S 62-46'03"W for 20.336 feet to the Point of Beginning.
Containing 0.122 acres more or less.

ALSO granted is the right to enter upon my land for the purpose of constructing a driveway within the driveway easement area shown colored pink on the attached plat.



BOOK 386 PAGE 112

SR 211 @ BEAVER DAM RD
LOCATION NO 2

EXISTING PROPERTY LINE PROPOSED PROPERTY LINE CONSTRUCTION LIMIT EASEMENT FOR CONCRETE PIPE EASEMENT FOR CONCRETE PIPE	DATE OF SURVEY DATE OF RECORD DATE OF RECORD DATE OF RECORD	DATE OF SURVEY DATE OF RECORD DATE OF RECORD DATE OF RECORD	DATE OF SURVEY DATE OF RECORD DATE OF RECORD DATE OF RECORD	DATE OF SURVEY DATE OF RECORD DATE OF RECORD DATE OF RECORD	DATE OF SURVEY DATE OF RECORD DATE OF RECORD DATE OF RECORD
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EXHIBIT (B)

GEORGIA, BARROW COUNTY

PROJECT NO. STP-0911(6)
P.I. NO. 1302 AM 8:45

THIS CONVEYANCE made and executed this 20th day of NOVEMBER 1997.

WITNESSETH that WILLIAM LAWSON and MARTHA LAWSON, the undersigned, (hereinafter referred to as GRANTOR), is the owner of a tract of land in Barrow County through which improvements on State Route 211, known as Project No. STP-0911(6), has been laid out by the Department of Transportation being more particularly described in a map and drawing of said road in the office of the Department of Transportation, No. 2 Capitol Square, Atlanta, Georgia, to which reference is hereby made.

NOW, THEREFORE, in consideration of the benefit to said property by the construction and maintenance of said road, and in consideration of ONE DOLLAR (\$1.00), in hand paid, the receipt whereof is hereby acknowledged, Grantor does hereby grant, sell and convey to said Department of Transportation, and their successors in office so much land as to make a right of way for said road as surveyed, being more particularly described as follows:

All that tract or parcel of land lying and being in the 1744th Georgia Militia District of Barrow County, Georgia, and being more particularly described on Exhibit 'A' attached hereto and made a part hereto by this reference.

Said right of way is hereby conveyed, consisting of 0.122 acres, more or less, as shown colored yellow on the plat of the property prepared by the Department of Transportation, dated April 29, 1996; revised November 13, 1997, said plat attached hereto and made a part of this deed as Exhibit 'B'.

For the same consideration Grantor hereby conveys and relinquishes to the Department of Transportation all rights of access between the limited access highway and approaches thereto on the above numbered highway project and Grantor's remaining real property from which said right of way is taken except at such points as designated and shown on the attached plat prepared by the Department of Transportation.

TO HAVE AND TO HOLD the said conveyed premises in fee simple and any rights Grantor has or may have in and to existing public rights of way are hereby quitclaimed and conveyed unto the Department of Transportation.

Grantor hereby warrants that Grantor has the right to sell and convey said land and bind himself, his heirs, executors and administrators forever to defend by virtue of these presents.

IN WITNESSETH WHEREOF, Grantor has hereunto set his hand and seal the day above written.

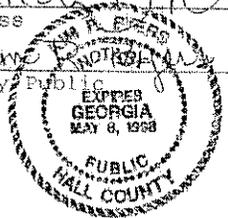
Signed, Sealed and Delivered
this 20th day of NOVEMBER,
19 97, in the presence of:

William Lawson (L.S.)
William Lawson

Witness
Kim [Signature]

Martha Lawson (L.S.)
Martha Lawson

Notary Public
Kim [Signature]



Parcel No. 46

DOT 118
REV. 08/90

EXHIBIT A

PROJECT NO.: STP-0911(6) Barrow County
P. I. NO.: 132220
PARCEL NO.: 46
TAKE: 0.122 Acres
DATE OF R/W PLANS: April 29, 1996
REVISION DATE: November 13, 1997

All that tract or parcel of land lying and being in the 1744th Georgia Militia District of Barrow County, Georgia, being more particularly described as follows:

Beginning at a point 30.00 feet right of and opposite Station 42+96.98 on the centerline of State Route 211 on Georgia Highway Project No. STP-0911(6)
From the Point of Beginning.
Thence N 45-46'10"W for 42.318 feet to a point on the boundary.
Thence N 00-00'00"E for 0.000 feet to the beginning of a curve, said curve having central angle 008-06'09", radius 1497.887 feet, chord bearing N 41-43'04"W, and chord distance 211.648 feet. Along the said curve for an arc distance of 211.824 feet to the end of the curve.
Thence N 00-00'00"E for 0.000 feet to a point on the boundary.
Thence N 37-40'00"W for 10.914 feet to a point on the boundary.
Thence N 63-46'03"E for 20.336 feet to a point on the boundary.
Thence S 37-40'00"E for 7.231 feet to a point on the boundary.
Thence N 00-00'00"E for 0.000 feet to the beginning of a curve, said curve having central angle 008-06'09", radius 1477.887 feet, chord bearing S 41-43'04"E, and chord distance 208.822 feet. Along the said curve for an arc distance of 208.996 feet to the end of the curve.
Thence N 00-00'00"E for 0.000 feet to a point on the boundary.
Thence S 45-46'10"E for 48.035 feet to a point on the boundary.
Thence S 60-11'00"W for 20.801 feet to the Point of Beginning.
Containing 0.122 acres more or less.

ALSO granted is the right to enter upon my land for the purpose of constructing a driveway within the driveway easement area shown colored pink on the attached plat.

GEORGIA, BARROW COUNTY 2:28

PROJECT NO. STP-0911(6)
P.I. NO. 132220

GLORIA M. WALL, CLERK

THIS CONVEYANCE made and executed the 8th day of January, 19 98.

WITNESSETH that CONNIE F. WALLEY, the undersigned, (hereinafter referred to as GRANTOR), is the owner of a tract of land in Barrow County through which improvements on State Route 211, known as Project No. STP-0911(6), has been laid out by the Department of Transportation being more particularly described in a map and drawing of said road in the office of the Department of Transportation, No. 2 Capitol Square, Atlanta, Georgia, to which reference is hereby made.

NOW, THEREFORE, in consideration of the benefit to said property by the construction and maintenance of said road, and in consideration of ONE DOLLAR (\$1.00), in hand paid, the receipt whereof is hereby acknowledged, Grantor does hereby grant, sell and convey to said Department of Transportation, and their successors in office so much land as to make a right of way for said road as surveyed, being more particularly described as follows:

All that tract or parcel of land lying and being in the 1744th Georgia Militia District of Barrow County, Georgia, and being more particularly described on Exhibit 'A' attached hereto and made a part hereto by this reference.

Said right of way is hereby conveyed, consisting of 0.287 acres, more or less, as shown colored yellow on the plat of the property prepared by the Department of Transportation, dated April 29, 1996; revised October 6, 1997, said plat attached hereto and made a part of this deed as Exhibit 'B'.

For the same consideration Grantor hereby conveys and relinquishes to the Department of Transportation all rights of access between the limited access highway and approaches thereto on the above numbered highway project and Grantor's remaining real property from which said right of way is taken except at such points as designated and shown on the attached plat prepared by the Department of Transportation.

TO HAVE AND TO HOLD the said conveyed premises in fee simple and any rights Grantor has or may have in and to existing public rights of way are hereby quitclaimed and conveyed unto the Department of Transportation.

Grantor hereby warrants that Grantor has the right to sell and convey said land and bind himself, his heirs, executors and administrators forever to defend by virtue of these presents.

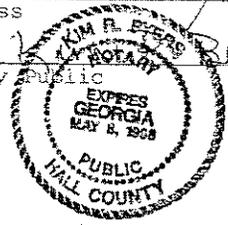
IN WITNESSETH WHEREOF, Grantor has hereunto set his hand and seal the day above written.

Signed, Sealed and Delivered
this 8th day of January,
19 98, in the presence of:

Connie F. Walley (L.S.)
Connie P. Walley

Robert L. C... ..
Witness

Kim R. P... ..
Notary Public



Parcel No. 44

DOT 118
REV. 08/90

BOOK 396 PAGE 497

EXHIBIT A

PROJECT NO.: STP-0911(6) Barrow County
P. I. NO.: 132220
PARCEL NO.: 44
TAKE: 0.287 Acres
DATE OF R/W PLANS: April 29, 1996
REVISION DATE: October 6, 1997

All that tract or parcel of land lying and being in the 1744th Georgia Militia District of Barrow County, Georgia, being more particularly described as follows:

Beginning at a point 30.00 feet left of and opposite Station 14+00.00 on the centerline of Beaver Dam Road on Georgia Highway Project No. STP-0911(6) From the Point of Beginning.
Thence S 65-01'20"W for 25.146 feet to a point on the boundary.
Thence N 00-00'00"E for 0.000 feet to the beginning of a curve, said curve having central angle 019-57'26", radius 704.090 feet, chord bearing S 55-02'36"W, and chord distance 244.009 feet. Along the said curve for an arc distance of 245.247 feet to the end of the curve.
Thence N 00-00'00"E for 0.000 feet to a point on the boundary.
Thence S 45-03'53"W for 79.738 feet to a point on the boundary.
Thence S 87-47'06"W for 42.429 feet to a point on the boundary.
Thence N 45-46'10"W for 235.079 feet to a point on the boundary.
Thence N 60-11'00"E for 20.801 feet to a point on the boundary.
Thence S 45-46'10"E for 66.261 feet to a point on the boundary.
Thence N 44-13'50"E for 10.000 feet to a point on the boundary.
Thence S 45-46'10"E for 25.000 feet to a point on the boundary.
Thence S 44-13'50"W for 10.000 feet to a point on the boundary.
Thence S 45-46'10"E for 130.000 feet to a point on the boundary.
Thence N 84-22'48"E for 13.083 feet to a point on the boundary.
Thence N 84-22'48"E for 14.025 feet to a point on the boundary.
Thence N 45-03'53"E for 70.057 feet to a point on the boundary.
Thence N 00-00'00"E for 0.000 feet to the beginning of a curve, said curve having central angle 019-57'26", radius 724.090 feet, chord bearing N 55-02'36"E, and chord distance 250.940 feet. Along the said curve for an arc distance of 252.213 feet to the end of the curve.
Thence N 00-00'00"E for 0.000 feet to a point on the boundary.
Thence N 65-01'20"E for 25.146 feet to a point on the boundary.
Thence S 24-58'40"E for 20.000 feet to the Point of Beginning.
Containing 0.287 acres more or less.

ALSO granted is the right to construct and maintain over and upon my land any embankments, cuts and slopes as may be deemed proper by the Georgia Department of Transportation to support or accommodate the improvement of said road within the area shown colored orange on the attached plat.

JACKSON ELECTRIC MEMBERSHIP CORPORATION

JACKSON EMC
P. O. BOX 38
JEFFERSON, GA 30549-0038

RIGHT-OF-WAY EASEMENT

FOR OFFICE USE ONLY	
W.O. #	0-5949
Location #	522-2620-01-00
Consumer Name	
(Printed)	JAMES A. CRAFT

MITCHELL A. STARVES

GEORGIA

BARROW COUNTY

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, for a good and valuable consideration, the receipt whereof is hereby acknowledged, do(es) hereby grant unto Jackson Electric Membership Corporation, a corporation (hereinafter called the "Corporation"), whose post office address is Post Office Box 38, Jefferson, Georgia, 30549, and to its successors and assigns, the right to enter upon the lands of the undersigned, situated in the County of BARROW, State of Georgia, and more particularly described as follows:

All that certain tract or parcel of land at TAX MAP 60
PARCEL 17 situated, lying and being in the 1744 G.M.D., County of BARROW, State of Georgia, containing 4.79 acres, more or less, located 3 miles in a WESTERNLY direction from the Town of BRASELTON, and being bounded now or formerly as follows: On the North by CHARLES THOMAS; on the East by DAVENPORT; on the South by LAWSON; and on the West by SR 211; together with the right to construct, reconstruct, operate and maintain continuously upon and under said lands and adjoining roads, said lines for transmitting electric current, with poles, wires, transformers, service pedestals, and other necessary apparatus, fixtures and appliances, (exhibit B, if applicable) including the right to attach communication wires on said poles, or under said land with necessary appliances; together with the right at all times to enter upon said premises for the purpose of inspecting said lines, making repairs, renewals, alterations and extension thereon, thereunder, thereto or therefrom; together with the right to cut and keep clear of said overhead or underground lines, transformers, fixtures and appliances, all trees, shrubbery and other obstructions that may now or hereafter in any way interfere or be likely to interfere with the proper operations of said overhead or underground lines, transformers, fixtures and appliances; also the right of ingress and egress over said land to and from said lines. Any timber cut on said lands by or for said Company shall remain the property of the owner of said timber. Any additional conditions are set forth on exhibit A. The minimum right-of-way width granted on either side of said line shall be 15 feet for overhead lines; and 10 feet for underground cables.

The undersigned agrees(s) that all poles, wires and other facilities, including all electrical distribution equipment, installed on the above described premises at the Corporation's expense shall remain the property of the Corporation, removable at the option of the Corporation at any time without notice to the undersigned.

The Corporation shall not be liable for, or bound by any statement, agreement or understanding not herein expressed.

IN WITNESS WHEREOF, the undersigned has (have) set his (their) hand(s) and seal(s) this 27 day of June, 19 98

James A. Craft (LS)
Mitchell A. Starves (LS)

Signed, Sealed and Delivered in the presence of:

Cliff Worley
Public Witness

Crystal K. Sisk
Notary Public

County, Georgia Franklin

FILED
SUPERIOR COURT
FRANKLIN COUNTY, GA.
98 FEB -9 AM 9:32
CLERK

Notary Public, Franklin County, Georgia
My Commission Expires March 27, 1999

My Commission Expires _____

Town of Braselton Sewer Dedication Agreement



5

Deed Doc: AGKE
Recorded 06/17/2009 04:39PM
Georgia Intangible Tax Paid: \$0.00
R.B. MCINTYRE PT61 Number:
Clerk Superior Court, BARROW County, Ga.
BOOK 1468 Pg 0846-0850
Receipt # 248759

**SANITARY SEWER
DEDICATION AGREEMENT**

THIS DEDICATION AGREEMENT, made this 15 day of June, 2009, between CENTURY CENTER AT BRASELTON, LLC, a Georgia limited liability company, CCB2, LLC, a Georgia limited liability company and CCB3, LLC, a Georgia limited liability company (collectively, "Owner") and the TOWN OF BRASELTON, GEORGIA, a public body corporate and politic, hereinafter referred to as the TOWN.

WHEREAS, in accordance with the terms of Town Policy and Ordinances concerning Sewer facilities in the TOWN, the Owner agreed that in connection with its development of a subdivision (or project) known as: Century Center at Braselton and related projects (GMD # _____) located in Barrow County, Georgia (the "Property") it would construct the necessary sanitary sewer lines and appurtenances as shown on the attached plans (hereinafter referred to collectively as the "Sewer Improvements"), and

WHEREAS, the plans for the Sewer Improvements have been approved by the TOWN, and

WHEREAS, the Owner has constructed or will construct the Sewer Improvements at its expense, and

WHEREAS, the TOWN has agreed to accept the portion of the Sewer Improvements located within the sanitary sewer easement areas indicated on the attached plans (the "Facilities") which have been installed prior to the date hereof, without cost, as of the date of this Agreement, and

WHEREAS, the TOWN by accepting title to the aforesaid Facilities which have been installed prior to the date hereof agrees to maintain same in good order and repair and integrate the Facilities which have been installed prior to the date hereof into its public system, accepting full responsibility for all maintenance, operational and other costs.

NOW, THEREFORE, THIS AGREEMENT WITNESSETH: That for and in consideration of the sum of One Dollar (\$1.00) paid by the parties hereto to each other, receipt of which is hereby acknowledged; and of the premises, the mutual covenants and agreements herein undertaken, the said parties hereto agree as follows:

1. That the Owner by execution of this Agreement, does hereby convey title to said Facilities which have been installed prior to the date hereof to the TOWN free and clear of all mortgages or deeds to secure debt other than those for which consents or subordinations have been obtained, and does further agree that it will execute any and all deeds reasonably necessary to convey to the TOWN all easements for the Facilities and does further agree to grant such further easements for sanitary sewer on the Property, without charge, as may be determined by the TOWN in its reasonable discretion, at

Town of Braselton Sewer Dedication Agreement

locations reasonably approved by Owner, in order to provide the entire Property with sanitary sewer service by the TOWN. TOWN will notify (either in writing or verbally) the applicable Owner at least two (2) business days prior to any entry on the applicable Property of such Owner for the purposes of installing, maintaining, repairing, replacing, altering, relocating or removing any of the Facilities, provided, however, no such notice shall be required in the event that TOWN reasonably determines that immediate entry is required in connection with an emergency or exigent circumstances.

2. That the Owner by execution of this Agreement, does hereby warranty all sanitary sewer piping and appurtenances thereof, for a period of 18 months for materials and installation defects.

3. That the Owner agrees to supply to the TOWN all readily available information concerning the testing and operation of the Facilities and warranties concerning the equipment in connection with this Agreement.

4. From and after date of the signing of this Agreement by the TOWN, the TOWN shall be entitled to collect all fees of any nature for the operation of the Facilities which have been installed prior to the date hereof on the Property and agrees to become fully responsible for the maintenance of the Facilities and service to the existing users of the Facilities which have been installed prior to the date hereof. Notwithstanding the foregoing, it is expressly agreed that Owner shall have the right to construct additional sewer lines on the Property in connection with Owner's development of the Property and shall have the right to tap in to the Facilities, subject, however, to Owner's compliance with applicable laws, ordinances and regulations in connection therewith.

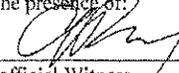
5. Each Owner hereby warrants that it is the sole owner of said Facilities located on its Property which have been installed prior to the date hereof and that there are no outstanding mortgages or deeds to secure debt outstanding against the same other than those for which consents or subordinations have been obtained, and does further indemnify and hold harmless the said TOWN against any and all claims in any manner relating to the Owner's ownership, installation, or cost of the pipes and equipment covered by this Agreement with respect to the period prior to the date hereof.

6. The parties to this Agreement mutually agree that it shall be binding upon their respective heirs, personal representatives, successors or assigns.

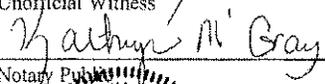


Town of Braselton Sewer Dedication Agreement

Signed, sealed and delivered
in the presence of:

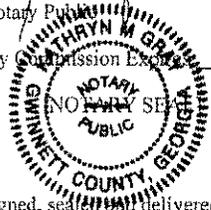


Unofficial Witness



Notary Public

My Commission Expires: 10/29/2012



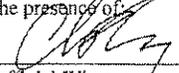
OWNER:

CENTURY CENTER AT BRASELTON,
LLC, a Georgia limited liability company

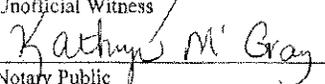
By: 

Jon R. "Dick" Gray, Manager

Signed, sealed and delivered
in the presence of:

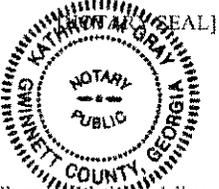


Unofficial Witness



Notary Public

My Commission Expires: 10/29/2012



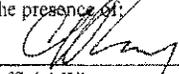
OWNER:

CCB2 , LLC, a Georgia limited liability
company

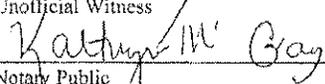
By: 

Jon R. "Dick" Gray, Manager

Signed, sealed and delivered
in the presence of:



Unofficial Witness



Notary Public

My Commission Expires: 10/29/2012



OWNER:

CCB3 , LLC, a Georgia limited liability
company

By: 

Jon R. "Dick" Gray, Manager

Town of Braselton Sewer Dedication Agreement

Below to be completed by the Town of Braselton.

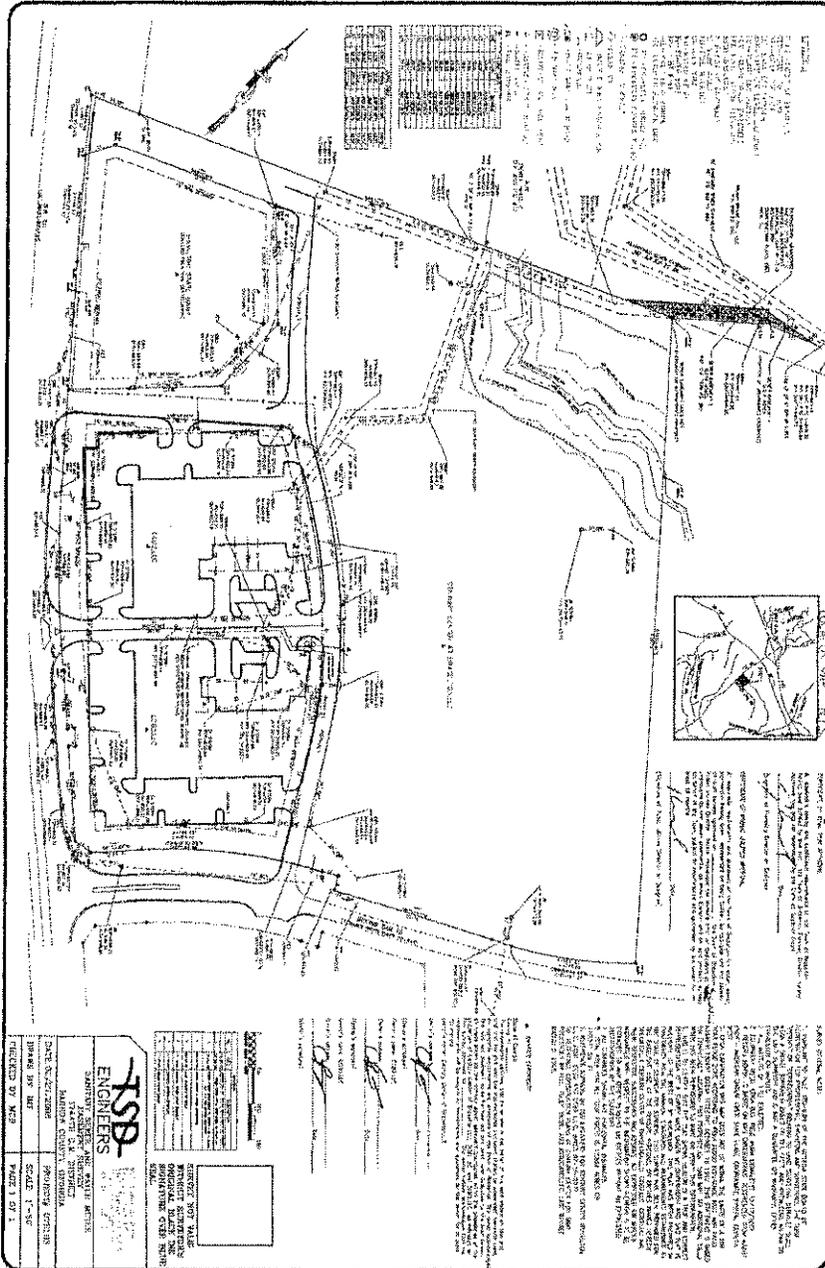
ATTEST: TOWN OF BRASELTON, GEORGIA

[Signature]
Town Manager

STATE OF GEORGIA, COUNTY OF Jackson, TO WIT:
I HEREBY CERTIFY, that on this 15 day of June, 2009, before me, the
subscriber, a Notary Public of the State and County aforesaid, personally
appeared Jennifer Dees,
Manager of the TOWN OF BRASELTON, GEORGIA, and duly acknowledged the
foregoing Agreement to be the act of said body corporate.

WITNESSE my hand and Notarial Seal.
[Signature]
Notary Public
My commission expires: 8/13/2011

~~2011~~



[Handwritten signature]

Town of Braselton-Water Easement Agreement

Doc: AGRE
Recorded 06/17/2009 04:59PM
Georgia Intangible Tax Paid: \$0.00
MCINTYRE PT61 Number:
Superior Court, BARROW County, Ga.
Pg 0001-0005
Receipt # 246759

51

WATER METER EASEMENT AGREEMENT

THIS AGREEMENT is made this 15 day of ^{June} ~~November~~, 2009, by and between CENTURY CENTER AT BRASELTON, LLC, a Georgia limited liability company, CCB2, LLC, a Georgia limited liability company and CCB3, LLC, a Georgia limited liability company (collectively, "Grantor"), and the Town of Braselton, Georgia ("Town").

WITNESSETH, that in consideration of the sum of one dollar (\$1.00), the receipt of which is hereby acknowledged, the Grantor does hereby grant and convey to Town an easement(s) (the "Easements") as more particularly described and indicated as follows: **WATER METER EASEMENTS SHOWN ON ATTACHED DRAWINGS DATED 2/17/2009 PREPARED BY TSD ENGINEERS, PROJECT #0710.03** (the "Drawings") for the installation, maintenance, repair, operation and inspection of one or more water meters (collectively, the "Facilities") on the land of the Grantor shown on the Drawings (the "Property").

- AND the Grantor covenants and agrees with the Town as follows:
- First:** At no time shall Grantor charge Town for the use of the Easement(s) by Town under this Agreement or for the privilege of exercising the rights granted under this Agreement.
 - Second:** Town, its agents, and employees shall have the right of access from a private or public road to the easement(s) over the Property.
 - Third:** Town shall have such rights and privileges as may be reasonable for the full enjoyment or use of the Easement(s) herein granted, including the right to cut down and clear away bushes or trees within the Easement area which may, in the Town's reasonable discretion, interfere with the exercise of Town's rights.
 - Fourth:** Grantor, for itself and its lessees, successors, successors-in-title and assigns reserves (a) the right to relocate the Easement area from time to time in connection with any further development or redevelopment of the Property (subject, however, to Grantor's compliance with applicable laws, ordinances and regulations in connection therewith) and (b) the right to terminate this Easement in the event that Grantor is no longer using the Town's water service for the Property, provide, however, that in connection with any such relocation or termination, the Town shall have the right to access the Property to relocate and/or remove, as applicable, the Facilities.
 - Fifth:** Town agrees to maintain the Facilities within the Easement(s) in good order and repair at its sole cost and expense. Town will notify (either in writing or verbally) the applicable Grantor at least two (2) business days prior to any entry on the applicable Property of such Grantor for the purposes of installing, maintaining, repairing, replacing, altering, relocating or removing any of the Facilities, provided, however, no such notice shall be required (i) in connection with regularly scheduled meter readings and (ii) in the event that Town reasonably determines that immediate entry is required in connection with an emergency or exigent circumstances.

Town of Braselton-Water Easement Agreement

Each Grantor warrants that it is seized of its respective portion of the Property subject to the Easement(s) and has the right to convey the Easement(s); that there are no mortgages or deeds to secure debt other than those for which consents or subordinations have been obtained or will be promptly obtained by Grantor; that Town shall have quiet enjoyment of the Easement(s); and that Grantor shall execute such further assurances as may be reasonably required with respect to the matters set forth herein.

This Agreement and the covenants contained herein shall run with the land and shall bind the Grantor and the Grantor's heirs, executors, administrators, successors and assigns, and shall bind all present and subsequent owners of the subject Property.



Town of Braselton-Water Easement Agreement

WITNESS our hands and seals:

Signed, sealed and delivered
in the presence of:

Unofficial Witness

Notary Public

My Commission Expires: 10/29/2012

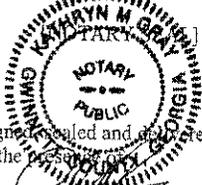


Signed, sealed and delivered
in the presence of:

Unofficial Witness

Notary Public

My Commission Expires: 10/29/2012

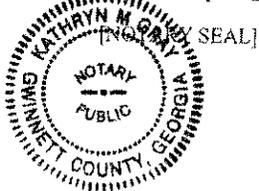


Signed, sealed and delivered
in the presence of:

Unofficial Witness

Notary Public

My Commission Expires: 10/29/2012



GRANTOR:

CENTURY CENTER AT BRASELTON,
LLC, a Georgia limited liability company

By:

Jon R. "Dick" Gray, Manager

GRANTOR:

CCB2 , LLC, a Georgia limited liability
company

By:

Jon R. "Dick" Gray, Manager

GRANTOR:

CCB3 , LLC, a Georgia limited liability
company

By:

Jon R. "Dick" Gray, Manager

Town of Braselton-Water Easement Agreement

Below to be completed by the Town of Braselton

Approved for Acceptance: Approved as to Legal Sufficiency:



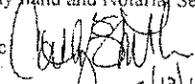
Planning Director

ATTEST: TOWN OF BRASELTON, GEORGIA

I hereby certify, that on this 15 day of June, 2009, before me, the Subscriber, a Notary Public of the State and County aforesaid, personally appeared Kevin Keller and acknowledged the foregoing easement to be his/her _____ duly authorized act.

As witness my hand and Notarial Seal.

Notary Public



My commission expires:

2/13/11



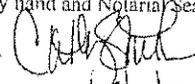
Town Manager

ATTEST: TOWN OF BRASELTON, GEORGIA

I hereby certify, that on this 15 day of June, 2009, before me, the Subscriber, a Notary Public of the State and County aforesaid, personally appeared Jennifer Trees and acknowledged the foregoing easement to be his/her _____ duly authorized act.

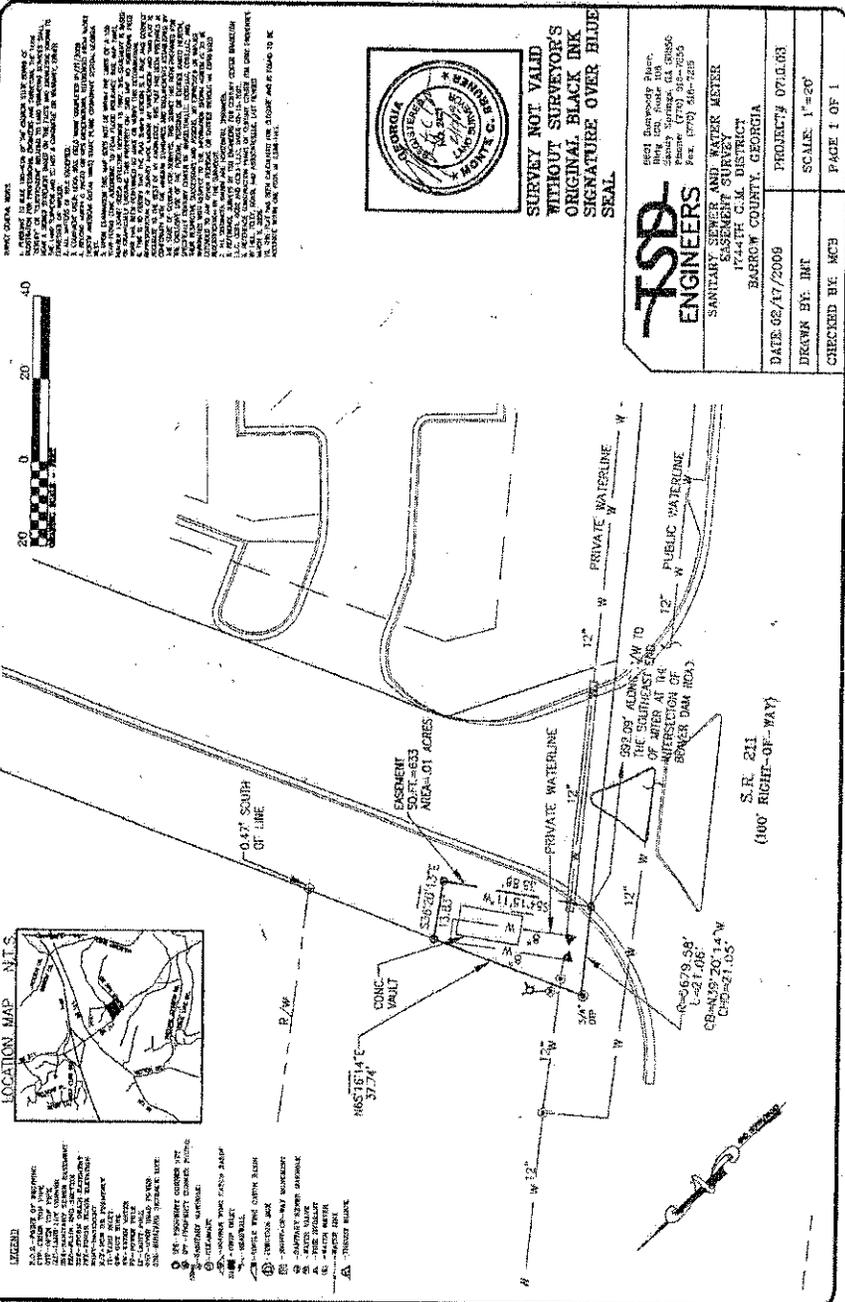
As witness my hand and Notarial Seal.

Notary Public



My commission expires:

2/13/11



LEGEND

- 1. ALL-PAVEMENT DRIVEWAY
- 2. UNPAVEMENT DRIVEWAY
- 3. DRIVEWAY
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- 100. DRIVEWAY



SURVEY NOT VALID WITHOUT SURVEYOR'S ORIGINAL BLACK INK SIGNATURE OVER BLUE SEAL.

TSD ENGINEERS

SANTANA S. SANCHEZ, P.E.
 1744TH C.M. DISTRICT
 BARROW COUNTY, GEORGIA

DATE: 02/17/2009	PROPERTY: 0710.03
DRAWN BY: BMF	SCALE: 1"=20'
CHECKED BY: MCB	PAGE: 1 OF 1

4 m3

Town of Braselton-Sewer Easement Agreement

Deed Doc: AGRE
 Recorded 06/17/2009 04:39PM
 Georgia Intangible Tax Paid: \$0.00
 R.B. MCINTYRE Ptl Number:
 Clerk Superior Court, BARROW County, Ga.
 Bk 01469 Pg 0006-0010
 Receipt # 246759

SANITARY SEWER
EASEMENT AGREEMENT

THIS AGREEMENT is made this 15 day of June, 2009, by and between CENTURY CENTER AT BRASELTON, LLC, a Georgia limited liability company, CCB2, LLC, a Georgia limited liability company and CCB3, LLC, a Georgia limited liability company (collectively, "Grantor"), and the Town of Braselton, Georgia ("Town").

WITNESSETH, that in consideration of the sum of one dollar (\$1.00), the receipt of which is hereby acknowledged, the Grantor does hereby grant and convey to Town the easement(s) (the "Easements") conveyed as more particularly described and indicated as follows: **SANITARY SEWER EASEMENTS SHOWN ON ATTACHED DRAWINGS DATED 07/27/2008 PREPARED BY TSD ENGINEERS, PROJECT #0710.03** (the "Drawings") for the installation, construction, reconstruction, maintenance, repair, operation and inspection of sanitary sewer lines and necessary appurtenances (collectively, the "Facilities") on the land of the Grantor shown on the Drawings (the "Property").

AND the Grantor covenants and agrees with the Town as follows:

First: All Facilities which have been installed within the Easement(s) prior to the date hereof shall become property of the Town contemporaneously with the execution of this Agreement and all Facilities which will be installed in the Easement(s) after the date hereof shall become the property of Town upon acceptance by the Town.

Second: At no time shall Grantor charge Town for the use of the Easement(s) by Town under this Agreement or for the privilege of exercising the rights granted under this Agreement.

Third: Town, its agents, and employees shall have the right of access from a private or public road to the easement(s) over the Property.

Fourth: Town shall have such rights and privileges as may be reasonable for the full enjoyment or use of the Easement(s) herein granted, including the right to cut down and clear away trees within the Easement area which may, in the Town's reasonable discretion, interfere with the exercise of Town's rights.

Fifth: Grantor, for itself and its lessees, successors, successors-in-title and assigns reserves the right to make use of the Easement(s) herein granted in a manner which is not inconsistent with the rights herein conveyed, or which does not unreasonably interfere with the use of the Easement(s) by Town for the purposes of this Agreement. However, Grantor shall not make or erect any permanent improvements whatsoever, including buildings, fences or other structures on the Easement(s), without obtaining the prior written approval of Town, provided, however, the foregoing shall not preclude Grantor, its lessees, successors, successors-in-title and assigns from constructing paved areas, curbing and/or landscaping within the easement area (including, without limitation, planting and maintaining bushes, shrubs, plants and flowers) or from erecting, placing, maintaining and repairing signs within the easement area provided that such paved areas, curbing and/or landscaping does not unreasonably interfere with the use of the

Town of Braselton-Sewer Easement Agreement

Easement(s) by Town for the purposes of this Agreement. Any permanent improvements erected on the easement area by the Grantor contrary to the terms of this Agreement may be removed at the instance of the Town with all costs being the responsibility of the Grantor that breached this Agreement. Without limiting the foregoing, it is expressly agreed that Grantor shall have the right to construct additional sewer lines on the Property in connection with Grantor's development of the Property and shall have the right to tap in to the Facilities, subject, however, to Grantor's compliance with applicable laws, ordinances and regulations in connection therewith. In no event shall Town be permitted to grant rights to any person or entity other than Grantor to tap into or use the Facilities without the prior written consent of Century Center at Braselton, LLC, which consent may be withheld in its sole and absolute discretion.

Sixth: Town agrees to maintain the Facilities within the Easement(s) in good order and repair at its sole cost and expense following acceptance of such Facilities by the Town. Town will notify (either in writing or verbally) the applicable Grantor at least two (2) business days prior to any entry on the applicable Property of such Grantor for the purposes of installing, maintaining, repairing, replacing, altering, relocating or removing any of the Facilities, provided, however, no such notice shall be required in the event that Town reasonably determines that immediate entry is required in connection with an emergency or exigent circumstances.

Each Grantor warrants that it is seized of its respective portion of the Property subject to the Easement(s) and has the right to convey the Easement(s); that there are no mortgages or deeds to secure debt other than those for which consents or subordinations have been obtained; that Town shall have quiet enjoyment of the Easement(s); and that Grantor shall execute such further assurances as may be reasonably required with respect to the matters set forth herein.

This Agreement and the covenants contained herein shall run with the land and shall bind the Grantor and the Grantor's heirs, executors, administrators, successors and assigns, and shall bind all present and subsequent owners of the subject Property.

Town of Braselton-Sewer Easement Agreement

WITNESS our hands and seals:

Signed, sealed and delivered
in the presence of

[Signature]
Unofficial Witness

Kathryn M Gray
Notary Public

My Commission Expires: 10/29/2012



GRANTOR:

**CENTURY CENTER AT BRASELTON,
LLC, a Georgia limited liability company**

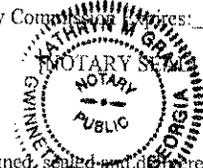
By: [Signature]
Jon R. "Dick" Gray, Manager

Signed, sealed and delivered
in the presence of

[Signature]
Unofficial Witness

Kathryn M Gray
Notary Public

My Commission Expires: 10/29/2012



GRANTOR:

**CCB2 , LLC, a Georgia limited liability
company**

By: [Signature]
Jon R. "Dick" Gray, Manager

Signed, sealed and delivered
in the presence of

[Signature]
Unofficial Witness

Kathryn M Gray
Notary Public

My Commission Expires: 10/29/2012



GRANTOR:

**CCB3 , LLC, a Georgia limited liability
company**

By: [Signature]
Jon R. "Dick" Gray, Manager

Town of Braselton-Sewer Easement Agreement

Below to be completed by the Town of Braselton

Approved for Acceptance: Approved as to Legal Sufficiency:

[Signature]

Planning Director

ATTEST: TOWN OF BRASELTON, GEORGIA

I hereby certify, that on this 15 day of June, 2009, before me, the Subscriber, a Notary Public of the State and County aforesaid, personally appeared Jennifer Dees Kevin Kelley and acknowledged the foregoing easement to be his/her _____ duly authorized act.

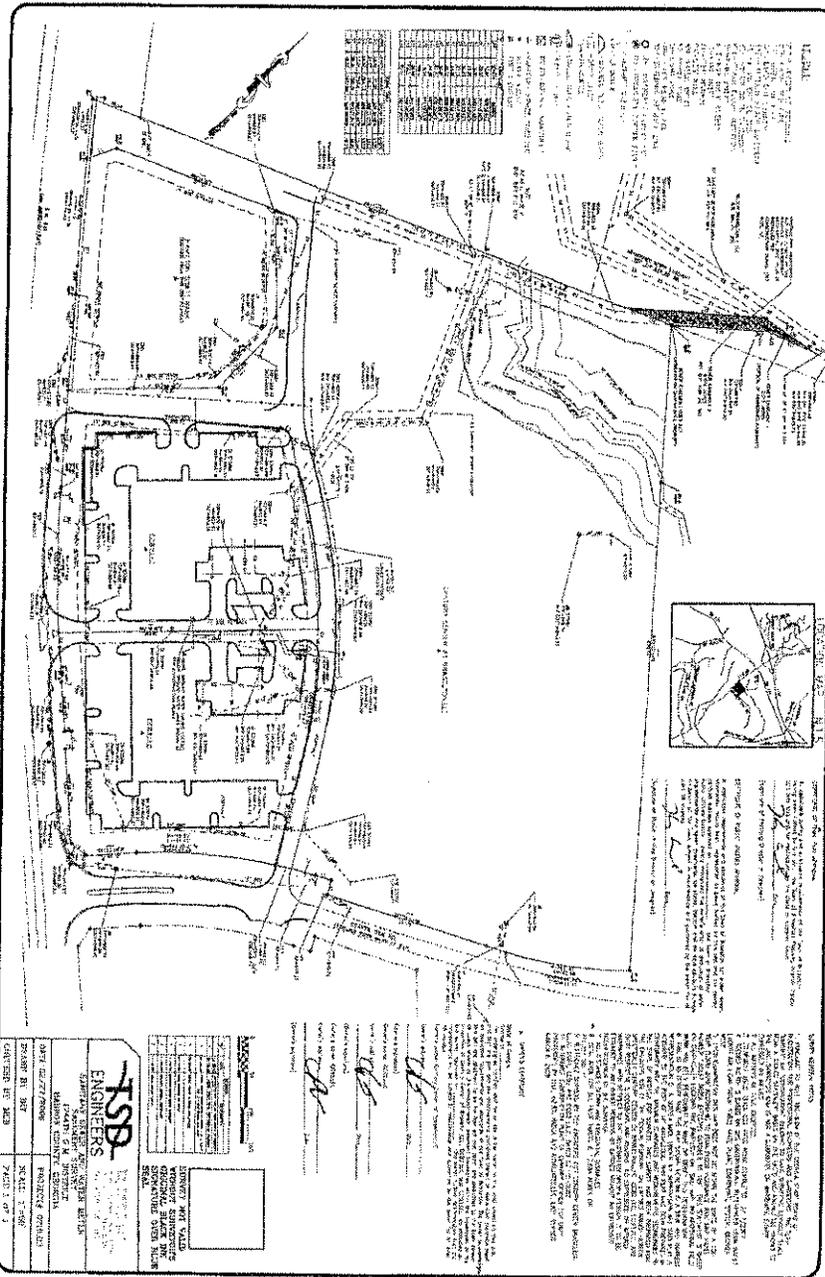
As witness my hand and Notarial Seal.

Notary Public [Signature]
My commission expires 8/13/2011

[Signature]
Town Manager
ATTEST: TOWN OF BRASELTON, GEORGIA

I hereby certify, that on this 15 day of June, 2009, before me, the Subscriber, a Notary Public of the State and County aforesaid, personally appeared Jennifer Dees and acknowledged the foregoing easement to be his/her _____ duly authorized act.

As witness my hand and Notarial Seal.
Notary Public [Signature]
My commission expires 8/13/2011



[Handwritten signature]

01/02/2008 05:55 7707910039

GRAY

PAGE 01/03



Deed Doc: AGRE
Recorded 06/17/2009 04:39PM
Georgia Intangible Tax Paid: \$0.00
R.E. MCINTYRE PT61 Number:
Clark Superior Court, BARROW County, Ga.
Bk 01469 Pg 0011-0013
Receipt# 246759

3

Return recorded document to:
Jess A. Pinkerton, Esq.
McKenna Long & Aldridge LLP
303 Peachtree Street, Suite 5300
Atlanta, Georgia 30308

STATE OF GEORGIA
COUNTY OF BARROW

CONSENT TO SANITARY SEWER
EASEMENT AGREEMENT AND DEDICATION

THIS CONSENT is dated the 18 day of November, 2008, and is made by
PIEDMONT BANK OF GEORGIA ("Mortgagee").

RECITALS:

WHEREAS, the Mortgagee is the holder of that certain Deed to Secure Debt and Security Agreement dated December 23, 2005, by Century Center at Braselton, LLC ("Grantor") in favor of Mortgagee, recorded in Deed Book 1140 at Page 527, Barrow County, Georgia Records (as modified and amended from time to time, the "Security Deed").

WHEREAS, Grantor has requested that the Mortgagee consent to (i) the granting by Grantor of an easement for sanitary sewer lines and related improvements (the "Improvements") over and across certain property of Grantor pursuant to that certain Sanitary Sewer Easement Agreement dated as of even date herewith between Grantor and the Town of Braselton (the "Grantee") (the "Easement Agreement"), and in connection therewith, (ii) the dedication by Grantor to Grantee of the Improvements pursuant to that certain Sanitary Sewer Dedication Agreement dated as of even date herewith by Grantor in favor of the Town (the "Dedication Agreement"), and

WITNESSETH:

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Mortgagee hereby agrees as follows:

Consent to Easement. The Mortgagee does hereby consent to, approve and acknowledge the execution and delivery of the Easement Agreement and the Dedication Agreement and the dedication of the Improvements. If the Mortgagee shall ever succeed to Grantor's title in and to the real property affected by the Easement Agreement, whether by way of foreclosure, deed in lieu of foreclosure or otherwise, the Mortgagee shall recognize the rights, privileges and easements created in favor of the Grantee, its successors and assigns, under the Easement Agreement and the Dedication Agreement and shall take title subject to the Grantee's exercise, use and enjoyment of the easements set forth in the Easement Agreement and the Improvements under the Dedication Agreement. This consent by the Mortgagee shall inure to the benefit to the Grantee and its representatives, successors and assigns, and shall be binding upon the Mortgagee and its successors and assigns. By execution hereof, the undersigned assumes no liabilities or obligations to be performed by Grantor under the Easement Agreement or the Dedication Agreement. Furthermore, the Mortgagee is executing this Consent with the condition that the Mortgagee shall have no liability under the Easement Agreement or Dedication Agreement unless and until it shall become the purchaser of the property encumbered by the Security Deed by foreclosure or conveyance in lieu of foreclosure and such liability shall only arise with respect to events occurring subsequent to the date of such foreclosure or conveyance in lieu thereof.

REMAINDER OF PAGE INTENTIONALLY LEFT BLANK

SIGNATURE PAGE FOLLOWS

IN WITNESS WHEREOF, the Mortgagee has executed these presents as of the day and year first above written.

Signed, sealed and delivered
in the presence of:

[Signature]
Official Witness

Cathy Codispoti
Notary Public

MORTGAGEE:

THE PRIVATE BANK

By: *[Signature]*
Name: *Vivian Hammett*
Title: *AVO Commercial Banking*

My Commission Expires: *March 13, 2012*

[NOTARY SEAL]
Cathy Codispoti
Notary Public
My Commission Expires
March 13, 2012
Gwinnett County, Georgia

Board of Tax Assessors

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Owner and Parcel Information

Owner Name	PB REAL ESTATE LLC	Today's Date	April 06, 2012
Mailing Address	3423 PIEDMONT RD	Parcel Number	BR023 020
Location Address	SUITE 300 ATLANTA, GA 30305	Tax District	BRASELTON (District 05)
Legal Description	HIGHWAY 211 NW	2010 Millage Rate	29.088
Class Code (NOTE: Not Zoning Info)	C4-Commercial	Acres	2.56
Neighborhood		Special	
		Homestead Exemption	No (S0)
		Parcel Map	Show Parcel Map

2011 Tax Year Value Information

Land Value	Improvement Value	Accessory Value	Total Value	Previous Value
\$199,680	\$0	\$0	\$199,680	\$245,760

Land Information

Type	Description	Calculation Method	Acres
RES	200000 ACRE (187)	Acres	2.56

Improvement Information

No improvement information associated with this parcel.

Accessory Information

Description	Year Built	Dimensions/Units	Value
No accessory information associated with this parcel.			

Sale Information

Sale Date	Deed Book	Plat Page	Price	Reason	Grantor	Grantee
11-02-2010	1554 781		\$0	DEED UNDER POWER	CENTURY CENTER AT BRASELTON LL	PB REAL ESTATE LLC
12-22-2005	1140 504		\$690,500	ALTERED AFTER SALE	LAWSON WILLIAM & MAR	CENTURY CENTER AT BRASELTON LLC
11-30-1981	33 572	10 391	\$13,300	FMV-VACANT		LAWSON WILLIAM & MAR

Permit Information

Permit Date	Permit Number	Type	Description
No permit information associated with this parcel.			

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The Barrow County Tax Assessor's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. Website Updated: March 8, 2012

Board of Tax Assessors

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Owner and Parcel Information

Owner Name	PB REAL ESTATE LLC	Today's Date	April 06, 2012
Mailing Address	3423 PIEDMONT RD	Parcel Number	BR023 023
Location Address	SUITE 300 ATLANTA, GA 30305	Tax District	BRASELTON (District 05)
Legal Description	1018 BEAVER DAM RD	2010 Millage Rate	29.088
Class Code (NOTE: Not Zoning Info)	C4-Commercial	Acres	2.63
Neighborhood		Special	1744
		Homestead Exemption	No (S0)
		Parcel Map	Show Parcel Map

2011 Tax Year Value Information

Land Value	Improvement Value	Accessory Value	Total Value	Previous Value
\$153,855	\$0	\$0	\$153,855	\$189,360

Land Information

Type	Description	Calculation Method	Acres
RES	200000 ACRE (187)	Acres	2.63

Improvement Information

No improvement information associated with this parcel.

Accessory Information

Description	Year Built	Dimensions/Units	Value
No accessory information associated with this parcel.			

Sale Information

Sale Date	Deed Book	Plat Page	Price	Reason	Grantor	Grantee
11-02-2010	1554 781		\$0	DEED UNDER POWER	CENTURY CENTER AT BRASELTON LL	PB REAL ESTATE LLC
12-22-2005	1140 511	10 391	\$585,600	ALTERED AFTER SALE	WALLEY CONNIE P AND	CENTURY CENTER AT BRASELTON LLC
03-25-1998	410 322	10 391	\$0	KIN	WALLEY CONNIE P	WALLEY CONNIE P AND
01-29-1987	82 570	10 391	\$20,000	FMV-VACANT		WALLEY CONNIE P

Permit Information

Permit Date	Permit Number	Type	Description
No permit information associated with this parcel.			

[Recent Sales in Area](#) [Previous Parcel](#) [Next Parcel](#) [Return To Main Search Page](#) [Barrow Home](#)

The Barrow County Tax Assessor's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. Website Updated: March 8, 2012

APPENDIX E
NON-SCOPE TESTING

PRELIMINARY SUBSURFACE EXPLORATION
AND
GEOTECHNICAL ENGINEERING EVALUATION

AT

**Braselton Court
Braselton, Georgia**

Submitted to

NorSouth Development Company of Georgia, LLC
2000 Riveredge Parkway, Suite 950
Atlanta, Georgia 30328

PROJECT NUMBER: MEG 301289
June 2012



MATRIX ENGINEERING GROUP, INC.
Geotechnical, Environmental, and Construction Materials Consultants

EXECUTIVE SUMMARY

A preliminary subsurface exploration was completed for the proposed Braselton Court development located in Braselton, Georgia. The objective of this exploration was to evaluate the subsurface soil conditions and provide preliminary recommendations for the site preparation and construction of the proposed development. The following summarizes our findings and recommendations. For detailed information and discussions, refer to the appropriate section in the body of this report.

- ⊕ The proposed project will consist of the construction of new apartment homes at 1018 Beaver Dam Road in Braselton, Georgia. The proposed apartment building will be a 3-story wood framed structure. The proposed finished floor elevation of the building is 856 feet MSL.
- ⊕ A total of eighteen (18) preliminary soil test borings were performed throughout the subject site in order to explore the subsurface conditions and provide geotechnical recommendations for the proposed development
- ⊕ The site had been pad graded at the time of our exploration. A defined topsoil layer had generally been removed during the grading efforts, however, disturbed soils hairline roots were encountered at each boring ranging in this thickness from 6 to 12 inches.
- ⊕ Man made fill was encountered at test borings B3, B4, B6, B7, B10, B15, B17, & B18. The fill thickness ranges between 3.5 and 8.5 feet. The fill material generally consisted of medium dense, clayey sand with varying amounts of silt (SC/SM). Layers of topsoil laden fill were encountered at test locations B4, B7, & B18 at depths ranging between 4 to 8 feet below suitable fill material. The consistency of the fill material ranged between 9 blows/ft (bpf) and 34 bpf, but was typically observed to be between 10 and 20 bpf.
- ⊕ Residual soils were encountered at each of the soil borings below surficial topsoil/disturbed soil layer or any encountered fill material. The residual soils generally consisted of interbedded layers of loose to medium dense, silty fine sands (SM) and firm to stiff, fine sandy silts (ML), and often contained varying amounts of clay (SC-SM/CL-ML). Moist to wet soils were typically encountered at a depth of 8.5 to 13.5 feet BGS. The soil consistency of the residual material ranged between 4 and 20 bpf, but was typically observed to be between 6 and 14 bpf.
- ⊕ PWR, or shallow auger refusal in rock material, were not encountered at any of the borings performed with in the drilled residual soil depths.
- ⊕ Groundwater was encountered at each of the 20 foot test borings performed within the proposed building footprint, with the exception of boring B1. The groundwater was generally encountered at depths ranging between 11 and 14 feet BGS; correlating to elevations ranging between 841 feet MSL near the northwest corner of the building and sloping down gradient to the southeast to an elevation on the order of 832 feet near the southeast building corner.
- ⊕ Based on the provided site plan (Concept 3), the proposed FFE for the apartment building will be 856.8 feet MSL. Existing grades at the proposed building pad range between 852 and 846 feet MSL, and will require fill on the order of 5 to 10 feet to prepare the proposed site grades, requiring an anticipated 39,000 cubic yards (C.Y.) of structural fill. We understand that the fill soils will be generated from the property (Tract 2) adjacent to the northwest of the site. Discussion of the suitability of the identified fill material is provided in a separate letter report prepared by Matrix.

- ⊕ Based on the soils encountered, the existing subgrades appear to be adequate for the placement of the fill required to prepare the building pad and site grades. Once prepared, the suitability of the exposed subgrades in all areas should be confirmed by a geotechnical engineer, prior to placing new fill. Buried layers of topsoil, such as those encountered in boring B7, B7, and B18, will not need to be undercut unless the areas deflect during the proofroll.
- ⊕ The concrete slab-on-grade for the proposed structure will be supported on new fill. Provided the fill material is installed to a minimum of 95% of the standard maximum dry density, a modulus of subgrade reaction (k) of 125 pci can be used for designing the floor slab-on-grade. Refer to Section 7.4 of this report for additional recommendations.
- ⊕ Based on our experience with projects of similar magnitude and soil conditions, we recommend that a subgrade CBR value of 4 be used for the design of flexible pavements, and a modulus of subgrade reaction of 125 pci be used for the design of rigid pavements and concrete slabs-on-grade, provided the new fill is placed in accordance with our recommendations. Refer to Sections 7.5 of this report for specific design recommendations.
- ⊕ The data obtained from the soil borings indicate that the proposed building(s) may be supported on shallow footing-type foundations. These footing should be situated in well compacted and properly tested new fill material, and be designed for a maximum net allowable soil bearing pressure not to exceed 3,000 pounds per square foot (psf). Refer to Section 7.6 for additional recommendations.
- ⊕ The onsite material appears to be suitable for structural fill and retaining wall backfill. An effective angle of internal friction (ϕ') = 28 ° and a cohesion $c'=200$ pcf can be used as design strength parameters for the silty fine sand (SM) and sandy silt (ML) encountered on site. Refer to Section 7.8 for additional soil design parameters.
- ⊕ Based on the Multi-Channel Analysis of Surface Waves (MASW) technique, we recommend that a Site Class "D" be used for seismic design purposes per IBC2006 (GA2010 Amendments). Refer to Section 7.9 for recommended short (0.2-sec) and 1-sec design accelerations (S_{D_s} & S_{D1}).

TABLE OF CONTENTS

Cover Letter

Executive Summary

Table of Content

SECTION	Page Number
1.0 INTRODUCTION	1
2.0 PROJECT DESCRIPTION	1
3.0 SCOPE OF WORK	1
4.0 EXPLORATION AND TESTING PROGRAM	2
4.1 <i>Subsurface Exploration</i>	2
4.2 <i>Laboratory Testing</i>	3
5.0 SITE DESCRIPTION AND GENERAL SITE GEOLOGY	4
5.1 <i>Site Description</i>	4
5.2 <i>General Site Geology</i>	4
6.0 GENERAL SUBSURFACE CONDITIONS	5
6.1 <i>Surface Materials and Man-Made Fill</i>	5
6.2 <i>Residual Material</i>	5
6.3 <i>Partially Weathered Rock and Bedrock</i>	6
6.4 <i>Groundwater</i>	6
7.0 FINDINGS AND RECOMMENDATIONS	6
7.1 <i>Excavation Considerations</i>	7
7.2 <i>Groundwater & Dewatering</i>	7
7.3 <i>Subgrade Preparation</i>	8
7.4 <i>Slab-On-Grade Construction</i>	8
7.5 <i>Pavement Design</i>	9
7.6 <i>Foundations</i>	9
7.7 <i>Slopes and Vertical Cuts</i>	10
7.8 <i>Retaining Walls and Lateral Earth Pressures</i>	10
7.9 <i>Seismic Site Classification (IBC 2006 with 2010 GA Amendments)</i>	12
8.0 CONSTRUCTION RECOMMENDATIONS	14
8.1 <i>Structural Fill</i>	14
8.2 <i>Construction Inspection and Testing</i>	15

APPENDIX

Figure 1: Approximate Soil Boring Locations

Correlation of Standard Penetration Resistance with Relative Compactness Consistency

Soil Boring Logs

Laboratory Reports

1.0 INTRODUCTION

Matrix Engineering Group, Inc. (Matrix) has completed the authorized preliminary Subsurface Exploration and Geotechnical Engineering Evaluation for the proposed Braselton Court development located along at 1018 Beaver Dam Road in Braselton, Georgia. The objective of this exploration was to perform eighteen (18) soil test borings in order to explore the subsurface conditions, and provide the findings and preliminary recommendations regarding the geotechnical aspects of the proposed development. This report describes our investigative procedures and presents our findings, conclusions and engineering recommendations.

This work was performed in accordance with MEG Proposal Number 041112-2, and was authorized by Mr. Jervon Harris, Vice President for the Norsouth Development Company (NorSouth) on May 10, 2012.

2.0 PROJECT DESCRIPTION

- The proposed project will consist of the construction of new apartment homes on a 4.87 acre site located at 1018 Beaver Dam Road in Braselton, Georgia.
- Presently, the site is pad graded and cleared, sloping gently in a southeasterly direction with grades typically ranging from 856 ft MSL at the western corner of the site to 848 ft MSL along the top of an existing detention pond at the east corner of the site.
- Based on the Conceptual Site Plan prepared by Foley Design Associates Architects Inc. and emailed to Matrix on May 7, 2012, the proposed structure will be a 3-story wood framed building located across the central portions of the site.
- The proposed finished floor elevation (FFE) of the apartment building is 856.8 ft MSL, requiring 5 to 10 feet of fill to prepare the building pad. We understand the approximately 39,000 cubic yards (C.Y.) of fill will be generated from the adjacent property, Tract 2, located northwest of the site.
- Anticipated building loads were not provided at the time of this study.
- Additional site improvements will entail parking areas and driveways west of the building and a reconfiguration of the existing detention pond.
- Proposed underground utility locations, or elevations thereof, were not provided at the time of this exploration.

3.0 SCOPE OF WORK

The scope of work for this project consisted of:

- Drilling and sampling a total of eighteen (18) preliminary soil test borings located throughout the site in order to explore the subsurface conditions and provide geotechnical recommendations for the proposed development. Borings were extended to depths of 10 to 20 feet below the existing ground surface (BGS), or to auger refusal.
- Field and laboratory testing to determine the engineering characteristics of the soils encountered in the soil borings.
- Performing a Seismic Site Classification per Chapter 16 of the 2006 International Building Code (IBC2006) with 2010 Georgia Amendments utilizing the measured average shear wave velocity for the upper 100 feet of subsurface ($V_{s,100}$).
- Provide recommended short (0.2 second) and 1-second Design Response Accelerations (S_{Ds} & S_{D1}) for seismic events having a 2% probability of exceedance in 50 years.
- Performing a geotechnical engineering analysis for the proposed development.
- Preparation of this geotechnical report based on the data gathered during the exploration.

The purpose of this report is to determine the site's subsurface conditions, to analyze and evaluate the data obtained, and to provide recommendations regarding the geotechnical aspects of the proposed development.

4.0 EXPLORATION AND TESTING PROGRAM

4.1 Subsurface Exploration

The preliminary geotechnical exploration program consisted of the drilling and sampling of a total of eighteen (18) soil test borings located throughout the project site. Boring locations were designated by Matrix engineers, and were located in the field by Matrix staff utilizing tape measurements and a compass, while relying on existing features including power poles, curb inlets, and topographical features. The approximate locations of the soil borings are shown on Figure 1 presented in the Appendix of this report. For exact locations, the owner may elect to survey the boring locations. Matrix should be informed of any deviations in order to evaluate and modify our recommendations, if necessary.

The subsurface exploration was performed using a truck-mounted CME 45 drill rig equipped with a manual hammer in general accordance with ASTM D1586 standards. A small skid-steer dozer was utilized to clear trails across the undeveloped site in order to provide access for the drilling equipment to the designated test locations. The borings located within the proposed building footprint (B1 to B13) were advanced to depths of up to 20 feet BGS, borings at proposed parking areas and driveways were extended to 10 feet BGS. Borings were advanced by augering through the soils with continuous flights of

3 inch augers. At regular intervals, the auger flights were removed from the bore hole, and soil samples were obtained through the center of the bore hole with a standard 1.4-inch I.D., 2-inch O.D., split-tube sampler. The sampler is first seated 6 inches to penetrate any loose cuttings, and then driven an additional foot with blows of a 140-pound hammer falling 30 inches. The number of hammer blows required to drive the sampler the final foot is recorded and is designated as the Standard Penetration Resistance (N-Value). The penetration resistance, when properly evaluated, is an index of the soil strength, consistency and ability to support foundations.

Representative soil samples were obtained using split-spoon sampling techniques. The samples were classified in the field in general accordance with ASTM D2488 (Visual-Manual Procedure for Description of Soils). Representative portions of the soil samples were placed in glass jars and transported to our laboratory. During the field operations, Matrix staff maintained a continuous log of the subsurface conditions including changes in the stratigraphy and any observed groundwater levels. Soil descriptions and penetration resistance values are presented graphically on the Soil Boring Records included in the Appendix of this report.

All borings were backfilled with the soil cuttings by Matrix Engineering after obtaining a 48+ hour stabilized groundwater reading. Some consolidation of the backfilled soil column should be expected.

4.2 Laboratory Testing

The laboratory testing program for this project consisted of performing soil classifications in accordance with ASTM D2488 (Visual-Manual Method for Identification of Soils). Representative samples were selected for index testing including Grain Size Distribution Analysis with Hydrometer (ASTM D 422), a wash of particles finer than and #200 sieve (ASTM D 1140), Atterberg Limit testing (ASTM D 4318), and natural moisture determinations of the soils (ASTM D 2216). The soil samples and laboratory reports were examined in the laboratory by a geotechnical engineer and visually classified on the basis of texture and plasticity in accordance with the Unified Soil Classification System (ASTM D2487).

A copy of the laboratory reports are provided in the Appendix of this report.

5.0 SITE DESCRIPTION AND GENERAL SITE GEOLOGY

5.1 Site Description

The subject site is located at 1018 Beaver Dam Road in Braselton, Barrow County, Georgia. At the time of this preliminary exploration, the site was pad graded and cleared. A review of historical aerials of the site showed that grading efforts occurred between January and September of 2006. Previously, the site was occupied by a single-family residential structure at the southern corner of the site along Beaver Dam Road, and undeveloped wooded areas. An existing detention pond is located at the eastern corner of the site with a bottom elevation of 836 feet MSL, which was installed as part of the 2006 grading efforts.

Based on the topographical survey, prepared by Land Developers Surveyors, Inc. on April 3, 2012, the subject site is generally level, sloping gently in southeasterly direction from an elevation of 854 feet MSL at the western corner of the site, to 848 ft MSL around the berm of the detention pond at the eastern corner of the site. Moderate to steep slopes bound the site to the northeast and southwest. Along the northeastern slope, the topography drops (downward) in a southwesterly direction from an elevation of 864 along the property boundary to 848 ft MSL where the site is pad graded. Similarly, the southwestern slope drops in a northeasterly direction from an elevation of 856 ft MSL along the adjacent access drive to 850 ft MSL where the site has been graded. Topographic relief from the site is on the order of 28 feet.

5.2 General Site Geology

The subject site is located in the Piedmont Geologic Province, which contains the oldest rock formations in the Southeastern United States. The parent rocks in the region are primarily comprised of the unconsolidated mass of quartz, feldspar, mica, and a wide variety of dark minerals such as hornblende and amphibole. The proportion of felsic and mafic minerals in these parent rocks, as well as of quartz that is very resistant to weathering, limits the amount of clay in the soils. Therefore these soils are sandy and have faint horizons, and in small-scattered areas, hard rock is exposed.

Chemical decomposition initially occurs along the boundaries of individual mineral crystals. As a result, partially weathered rock has the appearance of dense sand (SM, SP). With further weathering, the individual crystals other than quartz are attacked and the mass becomes a micaceous silty sand (SM) or micaceous sandy silt (ML). In this stage, the original banding of the parent rock is apparent, but the original crystalline structure is not observed. Reflecting the composition of the original rock, mica flakes, rather than the quartz grains, often comprise the majority of the sand-size particles. Finally, in the more

advanced stages of chemical weathering, the material is changed into a red or reddish-brown silty clay (CL or CH) or clayey silt (ML or MH). Depending on the quartz content, a sandy fraction will be present. In this weathered stage, the banding and crystalline structure of the parent rocks is lost.

6.0 GENERAL SUBSURFACE CONDITIONS

The subsurface conditions were characterized by visual-manual examination of the soils obtained from the split-spoon sampler and observation from the auger cutting during the drilling operation. The soil boring logs, designated as B1 to B18, are provided in the appendix of this report. The subsurface conditions within the drilled borings are characterized as follows:

6.1 Surface Materials and Man-Made Fill

The site had been pad graded at the time of our exploration. A defined topsoil layer had generally been removed during the grading efforts, however, disturbed soils hairline roots were encountered at each boring ranging in thickness from 6 to 12 inches.

Man made fill was encountered at test borings B3, B4, B6, B7, B10, B15, B17, & B18. The fill thickness ranges between 3.5 and 8.5 feet. The material was encountered at B18 near the west corner of the site, and appears to occur in a southeasterly alignment down gradient toward B10 and the topographically low corner of the site. This is consistent with a low lying drainage feature which may have been filled in during previous grading activities. The fill material encountered at B17 only extended to 3.5 feet in depth, and appears to be associated with the grading of the adjacent slope located along the northeastern site boundary.

The fill material generally consisted of medium dense, clayey sand with varying amounts of silt (SC/SM). Layers of topsoil laden fill were encountered at test locations B4, B7, & B18 at depths ranging between 4 to 8 feet below suitable fill material. The consistency of the fill material ranged between 9 blows/ft (bpf) and 34 bpf, but was typically observed to be between 10 and 20 bpf.

6.2 Residual Material

Residual soils are those which have weathered in place from the parent rock. Residual soils were encountered at each of the soil borings below surficial topsoil/disturbed soil layer or any encountered fill material. The residual soils generally consisted of interbedded layers of loose to medium dense, silty fine sands (SM) and firm to stiff, fine sandy silts (ML), and often contained varying amounts of clay (SC-SM/CL-ML). Moist to wet soils were typically encountered at a depth of 8.5 to 13.5 feet BGS. The soil

consistency of the residual material ranged between 4 and 20 bpf, but was typically observed to be between 6 and 14 bpf.

6.3 Partially Weathered Rock and Bedrock

Partially Weathered Rock (PWR) is a regionally used term for residual material with a Standard Penetration Resistance of 100 bpf or more, but which can be penetrated by the soil drilling equipment. PWR, or shallow auger refusal in rock material, were not encountered at any of the borings performed with in the drilled residual soil depths.

6.4 Groundwater

Groundwater level measurements were obtained in boreholes during the drilling operations and after 48+ hours. Groundwater was encountered at each of the 20 foot test borings performed within the proposed building footprint, with the exception of boring B1. The groundwater was generally encountered at depths ranging between 11 and 14 feet BGS; correlating to elevations ranging between 841 feet MSL near the northwest corner of the building and sloping down gradient to the southeast to an elevation on the order of 832 feet near the southeast building corner. Groundwater elevations do fluctuate with seasonal changes and typically vary on the order of 4 to 8 feet.

The geologic profile described generally represents the conditions encountered in the soil borings. Some variations in the description should be expected. The stratification lines designating the interfaces between earth materials shown on the boring logs are approximate; in-situ transition may be gradual.

7.0 FINDINGS AND RECOMMENDATIONS

The following recommendations are based on the information furnished to us, the data obtained from the subsurface exploration, and our past experience with similar projects. They were prepared in general accordance with established and accepted professional geotechnical engineering practice in this region. Our recommendations are based on findings from the dates referenced within this report and do not reflect any variations that would likely exist at later dates or between the pre-designated borings or unexplored areas.

If information becomes available which may impact our recommendations, Matrix Engineering Group shall be afforded the opportunity to review this information and re-evaluate the recommendations contained within this report and make any alterations deemed necessary by a Georgia Registered professional engineer. This report is intended for the use of the NorSouth Development Company and its

current design team. No other warranty is expressed or implied. Matrix Engineering Group, Inc. is not responsible for conclusions, opinions, or recommendations made by others based on this report.

The following recommendations present general guidelines for the proposed development:

7.1 Excavation Considerations

The recommendations provided in this Section are based on the Concept 3 drawings prepared by Foley Design, and emailed to Matrix on May 7, 2012. Based on the site plan, the proposed FFE for the apartment building will be 856.8 feet MSL. Existing grades at the proposed building pad range between 852 and 846 feet MSL, and will require fill on the order of 5 to 10 feet to prepare the proposed site grades, requiring an anticipated 39,000 C.Y. of structural fill. We understand that the fill soils will be generated from the property (Tract 2) adjacent to the northwest of the site. Discussion of the suitability of the identified fill material is provided in a separate letter report prepared by Matrix.

Accordingly, excavation will be limited to utility trenches and the reconfiguration of the existing detention pond. The detention pond will be extended to the northwest along the northeastern site boundary, and will generally require excavation on the order 15 feet or less. The soils encountered in the test borings will be easily excavated with conventional grading equipment, however, the upper elevation of the slope along the northeast site boundary was not accessible for drilling at the time of this exploration, and may contain rock or PWR material; although it is our opinion, based on the soil encountered at other areas on-site, that this is unlikely.

Proposed underground utility locations, or the elevations thereof, were not provided at the time of the study. However, typically, most utilities are installed within the upper 10 feet of the subgrade, and will likely be installed in newly placed fill. However, if utility elevations are lower than existing grades, and the in place soils are excavated, the excavated material will should generally be suitable for re-use as structural backfill.

7.2 Groundwater & Dewatering

Based on the encountered groundwater levels at the time of this investigation, and the proposed finished grades, we do not anticipate groundwater to impact the construction of the proposed development.

If encountered, groundwater levels should be maintained a minimum of 3 feet below the bottom of any proposed excavation (only during construction) in order to protect the exposed subgrade's integrity. Groundwater levels should be controlled utilizing sump and pump systems as needed at the time of construction. If necessary, a thin "mud-mat" of lean or rejected concrete, or crushed stone, can be placed at the bottom of an open excavation in order to protect the exposed sub-grades integrity.

7.3 Subgrade Preparation

Based on the soils encountered, the existing subgrades appear to be adequate for placement of the fill required to prepare the building pad and site grades. Subgrade preparation for the proposed development should be the stripping of topsoil and soft soils, if encountered, and recompacting the upper 12 inches of the exposed subgrade to 98% of the maximum dry density, as determined by Standard Proctor testing (ASTM D 698). Underground utility lines, or other items, such as septic tanks, or trash pits that may be encountered during the grading operation should be treated on an individual basis.

Once prepared, the suitability of the exposed subgrades in all areas should be confirmed by a geotechnical engineer, prior to placing new fill. Buried layers of fill, such as those encountered in boring B7, B7, and B18, will not need to be undercut unless the areas deflect during the proofroll. A proofroll test should be performed by a loaded tandem-wheeled dump truck with an approximate weight of 25 tons. Any material that deflects excessively or ruts under the loaded truck should be densified or removed and replaced with well-compacted materials. The proofrolling should be observed by the geotechnical engineer.

7.4 Slab-On-Grade Construction

The concrete slab-on-grade for the proposed structure will be supported on new fill. Provided the fill material is installed to a minimum of 95% of the maximum dry density, a modulus of subgrade reaction (k) of 125 pci can be used for designing the floor slab-on-grade. Slab reinforcement and joint spacing should be carefully considered to control random cracking due to slab shrinkage. Slabs should be isolated from the foundations to allow differential movements to take place between the slab and walls. We recommend that a 10 mil vapor barrier/retarder (such as polyethylene) be installed below the (slab-on-grade) concrete to limit intrusion of water vapor through the slab. Beneath slab-on-grade areas, a minimum of 4 inches of clean, densely-graded, granular material with a balanced content of fines is recommended to facilitate fine grading and provide stable surface for construction traffic and building loads. Open-graded bases do not meet these requirements because they are relatively incompactable, difficult to trim, and are unstable for construction traffic. It is also difficult to fine

grade an open-graded base to a relatively uniform elevation, which can result in restraint to concrete movement as the concrete cools or dries, thus increasing the probability of out-of-joint cracking. If open-graded bases are specified, the surface of these bases should be choked off with a clean fine-graded material with at least 10 to 30% of the particles passing a No. 100 sieve, but not contaminated with clay, silt, or organic material.

7.5 Pavement Design

Based on our experience with projects of similar magnitude and soil conditions, we recommend that a subgrade CBR value of 4 be used for the design of flexible pavements, and a modulus of subgrade reaction of 125 pci be used for the design of rigid pavements, provided the new fill is placed in accordance with our recommendations.

The architect/engineer should select the pavement section most appropriate to the development based on available traffic data and anticipated traffic loads. Pavements should be constructed in accordance with all applicable specifications of the Asphalt Institute and the Georgia Department of Transportation:

Pavements sub-base (Graded Aggregate Base) should conform to Section 815 of the State of Georgia Department of Transportation Specifications for Road and Bridge Construction. The sub-base should be compacted to 100% of the maximum dry density for crushed stone as determined by the modified moisture-density relationship test (ASTM D 1557C). Additionally, proofrolling of the finished sub-base should be performed prior to paving in order to detect any soft spots or excessive rutting which may require stabilization.

Pavements should be provided with the facilities for surface and subsurface drainage. Standing water on the pavement surface eventually may seep into the base course layer and soften the pavement subgrade which leads to premature deterioration of the pavement. In areas where landscape areas slope toward the pavement, a perimeter drain along the back of the curb intercepting migration of surface water should be provided to minimize seepage under the pavement.

7.6 Foundations

The data obtained from the soil borings indicate that the proposed building(s) may be supported on shallow footing-type foundations. These footing should be situated in well compacted and properly tested new fill material, and be designed for a maximum net allowable soil bearing pressure not to exceed 3,000 pounds per square foot (psf). The net allowable soil bearing pressure refers to that pressure

which may be transmitted to the foundation soils in excess of the final minimum surrounding overburden pressure. We recommend that all continuous footings have a minimum width of 2 feet, and should be a minimum 18 inches below subgrade elevations to prevent shear failure and to minimize the effects of frost.

Total settlement of footing foundations situated in the recommended bearing strata will depend on the magnitude of load and size of footing. For lightly to moderately loaded structures such as one to two-story buildings, settlement is estimated to be on the order of 1 inch or less. Based on the subsurface conditions, we do not anticipate differential settlements to exceed $\frac{1}{2}$ inches between column supports (assuming 50 foot spacing), provided that all foundations bear within the recommended properly installed and inspected newly constructed fill.

A recommended structural fill and foundation inspection criterion is provided in Sections 8.1 & 8.2 of this report.

7.7 Slopes and Vertical Cuts

A common practice in this region has been to limit slopes to 2.0(H) to 1.0(V) or flatter. The soil conditions at this site may tolerate a maximum temporary slope of 1.0(H) to 1.0(V). The soils in this area may contain fissures, foliation planes and other discontinuities that could cause sloughing or possibly a slope failure, even on relatively flat slopes. Therefore, the excavation for the slopes should be monitored by a geotechnical engineer to ensure that soil conditions are similar to those we have encountered. Potential planes of weakness will be more visible at depth as the excavation proceeds. If weak conditions are evident, the engineer can then recommend any necessary remedial actions.

Vertical cuts that exceed 5 feet should be braced or shored as required by OSHA regulations for safety. Additionally, stairways, ladders, ramps or other means of safe access should be made available for any trenches deeper than 4 feet. If any excavation, including a utility trench, is extended to a depth of more than 20 feet, it will be necessary to have the slopes designed by a professional engineer.

7.8 Retaining Walls and Lateral Earth Pressures

The design of any retaining wall is based on the determination of the lateral earth pressures that will act on the wall. These pressures are a function of the retained soils properties, and the structural design of the wall. Three common conditions are considered to exist behind a retaining wall depending on the wall's structural design; namely Active, At-Rest, and Passive earth pressure

conditions. Active earth pressures are mobilized when a relatively flexible retaining structure such as a free standing wall is designed allowing for slight movement or deflection. At-rest conditions apply to restrained retaining wall design such as basement or tunnel walls. The passive state represents the maximum possible pressure when a structure is pushed against the soil, and is used in wall design to help resist at-rest or active pressures. Since significant movement has to occur before the passive earth pressure is mobilized, the total calculated passive pressure should be reduced by one-half to two-thirds for design purposes.

Based on our experience, wall movement (known as tilt) that is necessary for earth pressures to mobilize range from 0.01H to 0.02H for the Active state, and 0.02H to 0.04H for the Passive state. It is assumed that the ground surfaces behind retaining walls will be constructed relatively level and that residual soils like those encountered in our borings will be used for wall backfill. Based on our experience with similar soils and laboratory test data, we recommend that an effective angle of internal friction (Φ') = 28° and a cohesion $c' = 200$ psf be used as design strength parameters for the silty fine sand (SM) and sandy silts (ML) encountered at the site. These strength parameters result in the following earth pressures coefficients and equivalent fluid pressure per foot of depth for compacted fill (based on a total (wet) unit weight (γ_w) of 120 pcf). A coefficient of friction of 0.40 could be used between the wall foundations and the underlying soil. When calculating the resistance to sliding, we recommend using a factor of safety of 1.5.

Table 1

<i>Earth Pressure Condition</i>	<i>Coefficient</i>	<i>Recommended Equivalent Earth Pressure (pcf)¹</i>
Active	(K _a) 0.36	43.3
At-Rest	(K _o) 0.53	63.7
Passive	(K _p) 2.77	--

¹Assumes a constantly functional drainage system.

Backfill against the walls should be done carefully to minimize the horizontal load on the wall. Heavy equipment should not be used to compact the soil within 10 feet of the walls. The use of hand-tampers should be sufficient to obtain the required density when working the 10-foot zone adjacent to the wall. Recommended structural fill specifications and procedures are provided in Section 8.1 of this report.

These retaining wall/below grade wall recommendations should not be correlated with soil parameters for use in Mechanically Stabilized Earth (MSE) wall design. We recommend that soil parameters for any MSE retaining wall design be established through appropriate laboratory testing by the wall designer.

7.9 Seismic Site Classification (IBC 2006 with GA 2010 Amendments)

Matrix conducted an analysis, utilizing the Multi-Channel Analysis of Surface Waves (MASW) technique, to determine the Seismic Site Classification for the proposed site. The Probabilistic Ground Motion values were retrieved for a central location within the project site, utilizing the USGS Earthquake Hazards Program, using latitude (N34° 5' 25.9") & longitude (W83° 48' 13.7"). The following are the Spectral Response Acceleration Parameters for a 2% probability in 50 years:

S_y : Short period (0.2), Spectral Response = 0.251

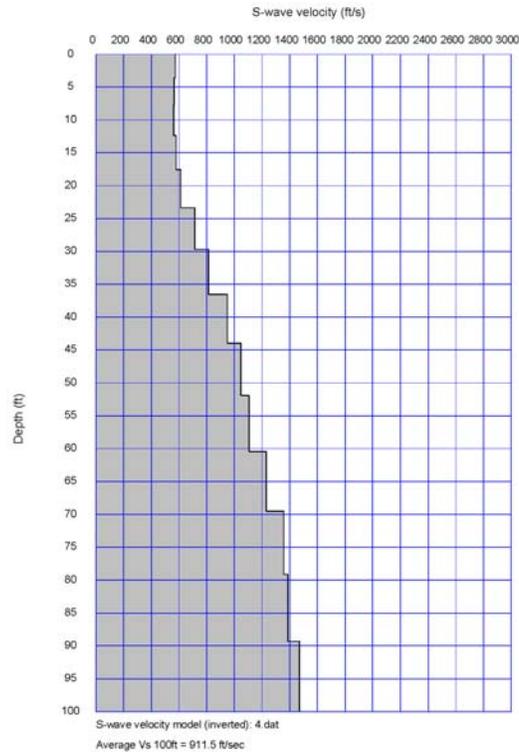
S_1 : 1-second period, Spectral Response = 0.091

The site classification was undertaken in general accordance with the International Building Code 2006 (IBC 2006), Section 1613.5.5.1, by relying on the shear wave velocity for the upper 100 ft of the subgrade.

A site-specific seismic evaluation was carried out by conducting surface velocity testing and performing a Multi-Channel Analysis of Surface Waves (MASW) in order to determine the Seismic Site Classification for the proposed project. MASW utilizes seismic energy of Rayleigh type surface waves to calculate shear wave velocity. For this method, the geophones (receivers) remain stationary and data is collected with the source located off the end of the line of geophones. Data is collected at multiple locations (i.e., offsets) in order to obtain the optimal survey settings that would yield the most coherent data set. This data is then processed and inverted to calculate a 1-D shear wave velocity profile.

A weighted average of the 1-D shear wave velocity profile can then be used to get an average shear wave velocity down to the maximum depth of the 1-D shear wave velocity profile. For this survey, the field data was collected along a traverse oriented in a northwest-southeast direction, as shown on Figure 1 in the Appendix of this report. Geophones were spaced 5 ft apart and the source position was located 25 feet off the northwest end of the transect. The source consisted of a 20 kg sledge hammer striking a steel plate. The data was collected using a 24-channel Geode seismograph, manufactured by Geometrics, Inc., with 4.5 Hz geophones.

The data was processed using the WaveEQ software package, developed by Geometrics. This software is used to process and invert the surface wave data, and produces a 1-D shear wave velocity model, presented below.



The analysis yielded an average shear wave velocity V_{s100} at 911.5 ft/sec. This value corresponded to a Site Class D. A Site Class D correlates to the following site coefficients adjusted for site class, based on Tables 1613.5.3(1) and 1613.5.3(2) of IBC 2006:

$$F_a = 1.599$$

$$F_v = 2.4$$

The maximum considered earthquake spectral response accelerations (per 1613.5.2 and 1613.5.3 of the IBC 2006) for short periods and at 1-second periods follow:

$$S_{MS} = 0.401$$

$$S_{M1} = 0.218$$

This translates to the following Design Spectral Response Acceleration Parameters (per 1613.5.4 of the IBC 2006):

$$S_{DS} = 0.268$$

$$S_{D1} = 0.145$$

8.0 CONSTRUCTION RECOMMENDATIONS

8.1 Structural Fill

Staged, methodical and well planned grading is key to avoiding unnecessary costs and time delays. Areas should not be stripped or disturbed if the grading contractor is unable to properly seal the subgrade prior to departure each day. Exposure of soils to moisture from direct rainfall or runoff usually renders these soils un-usable for several days. This usually gets mischaracterized as an unsuitable soils condition which is inaccurate. Unsuitable soils are defined as those containing deleterious matter (such as organics, alluvium, debris and/or trash). Moisture related problems should be avoided by employing best management practices that involve maintaining positive drainage, placing berms, diversion channels, and/or sealing the subgrade to avoid water infiltration. Other measures involve covering all stockpiled soils with heavy tarps or plastic to avoid saturating the soils in the event of rainfall. Means and methods of construction are certainly the contractor's jurisdiction; however, exposing otherwise suitable soils to excessive moisture or softening of existing subgrades as a result of unscrupulous construction traffic should be avoided and planned for.

We recommend that the following criteria be used for structural fill:

1. Adequate laboratory proctor density tests should be performed on representative samples of the proposed fill materials to provide data necessary for the quality control. The moisture content at the time of compaction should be within 3 percentage points of the optimum moisture content. In addition, we recommend that the fill soils be free of organics and rock boulder/cobbles larger than 2 inches in nominal size and relatively non-plastic with plasticity indices less than 20.
2. Suitable fill material should be placed in thin lifts (lift thickness depends on type of equipment used, but generally lifts of 8 inches loose measurements are recommended). The soils should be compacted by mechanical means such as sheepfoot rollers.
3. Any proposed slopes should incorporate only suitable fill, clean of organics or any other vegetative content. Topsoil should only be used to provide a cover over the completed slope so as to promote vegetative growth which in turn protects the slope's surface against scour and erosion. Slopes should be overbuilt and cut back to the proposed grades, exposing the firm compacted inner core. The amount of overbuilding would vary depending on the site conditions, types of soils used and degree of compaction achieved.

4. When placing fill in horizontal lifts adjacent to areas sloping steeper than 5:1 (horizontal:vertical), horizontal keys and vertical benches should be excavated into the adjacent slope area. Materials generated by the benching operation should be moved sufficiently away from the bench area to allow the geotechnical engineer (testing agency) to properly inspect the area and ascertain that the benching is performed properly.
5. We recommend that the fill be compacted to a minimum of 98% of the Standard Proctor Maximum Dry Density (ASTM Specifications D 698). The top 2 feet under pavements or structural areas should be compacted to a minimum of 100% of the Standard Proctor Test.
6. An experienced soil engineering inspector should take adequate density tests throughout the fill placement operation to ensure that the specified compaction is being achieved.

8.2 Construction Inspection and Testing

During construction, it is advisable that Matrix Engineering Group inspect the site preparation and foundation construction work in order to ensure that our recommended procedures are followed. The placement of any compacted fill should be inspected and tested. The utilization of acceptable on-site borrow materials, as well as adequate off-site selected fill must be verified.

Each footing excavation should be inspected by Matrix Engineering Group, Inc. in order to verify the availability of the required bearing pressure and to determine any special procedures required. At a minimum, Hand Auger and Dynamic Cone Penetrometer testing in accordance with ASTM STP 399 should be performed at each column footing, and every 50 linear feet for wall footings, or as directed by the geotechnical engineer.

It is anticipated that the construction phase will be governed by an IBC 2006 Special Inspections Schedule. Such a schedule should include at a minimum the following earthwork and footing related items:

- Verify materials below footings are adequate to achieve the designed bearing capacity.
- Verify excavations are extended to proper depths and have reached proper material.
- Perform classification and testing of controlled fill materials.
- Verify use of proper materials, densities and lift thicknesses during placement and compaction of controlled fill.
- Prior to placement of controlled fill, observe subgrade and verify that the site has been properly prepared.

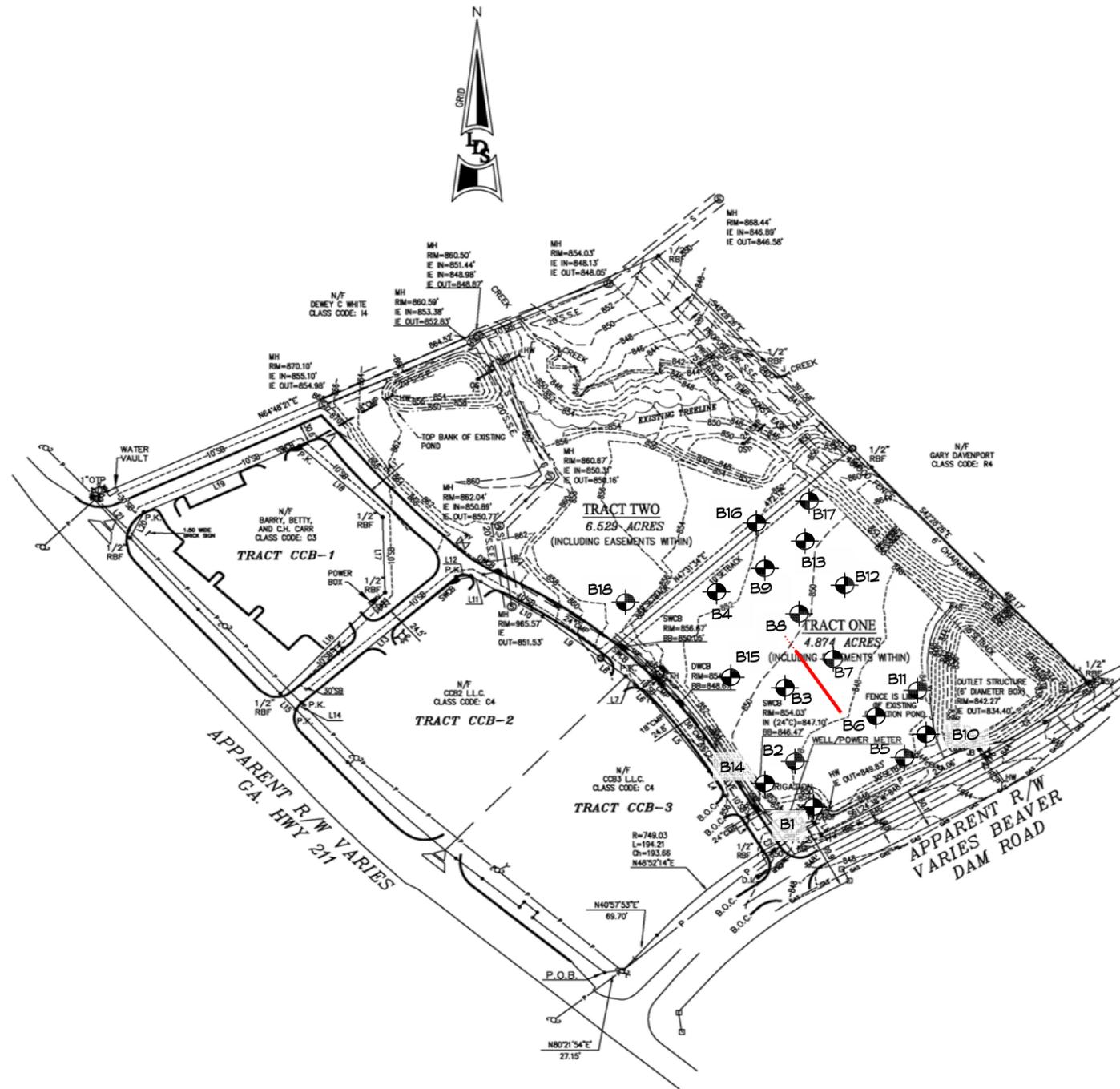
APPENDIX

FIGURE 1: Approximate Soil Boring Locations

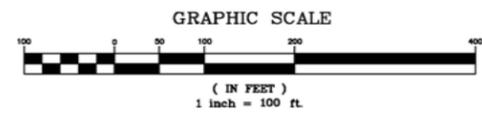
Correlation of Standard Penetration Resistance with Relative Compactness and Consistency

Soil Boring Logs

Laboratory Reports



- MASW Alignment (with 20' offset shot)
- Approximate Boring Locations



MATRIX ENGINEERING GROUP, INC.
 4358 Chamblee Tucker Road, Ste 3
 Tucker, GA 30084

TITLE:
 Approximate Soil Test Boring Locations
 Braselton Court
 Braselton, Georgia

CLIENT NorSouth Development Company		SCALE As Shown		PROJECT NUMBER MEG 301289		FIGURE 1	
DRAWN RTS	REVIEWED AT	DATE 6/8/2012					

**CORRELATION OF STANDARD PENETRATION RESISTANCE
WITH RELATIVE COMPACTNESS AND CONSISTENCY**

SAND & GRAVEL

<u>NO. OF BLOWS, N</u>	<u>RELATIVE COMPACTNESS</u>
0 - 4	Very Loose
5 - 10	Loose
11 - 30	Medium Dense
31 - 50	Dense
Over 50	Very Dense

SILT & CLAY

<u>NO. OF BLOWS, N</u>	<u>RELATIVE COMPACTNESS</u>
0 - 1	Very Soft
2 - 4	Soft
5 - 8	Firm
9 - 15	Stiff
16 - 30	Very Stiff
31 - 50	Hard
Over 50	Very Hard

DRILLING SYMBOLS



Water Table Level after 24 Hours



Water Table Level at the Time of Drilling



Standard Penetration Test



Dynamic Cone Pentrometer Test (ASTM STP399)

50/2" Number of Blows (50) to Drive the Spoon a Number of Inches (2")

W.H. Weight of Hammer (0 blows/ft)

DRILLING PROCEDURES

SOIL SAMPLING AND STANDARD PENETRATION TESTING ARE PERFORMED IN ACCORDANCE WITH ASTM D1586-84 (RE-APPROVED IN 1992). THE STANDARD PENETRATION RESISTANCE (N) REPRESENTS THE NUMBER OF BLOWS OF A 140-LB HAMMER FALLING 30 INCHES ON A 2.0 INCH O.D. 1.4 INCH I.D. SPLIT SPOON SAMPLER TO DRIVE IT ONE FOOT. THE SAMPLES OBTAINED FROM THE SPLIT SPOON SAMPLER ARE CLASSIFIED IN THE FIELD IN ACCORDANCE WITH ASTM D2488-93 (VISUAL MANUAL PROCEDURE FOR DESCRIPTION OF SOILS).



DRILL HOLE LOG

PROJECT: Braselton Court PROJECT NO.: MEG 301289
 CLIENT: Norsouth Development Company DATE: 05/31/2012
 LOCATION: Refer to Figure 1 ELEVATION: 852 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: Hasan Abdeljawad
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: DRY After 48+ Hours: DRY CAVING> C

BORING NO. B1

File: Boring Logs

Date Printed: 6/8/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
					Natural Moisture Content (%) ▲	Penetration - ●	
852	0	Topsail/Disturbed Soil - 6"					
	1	RESIDUAL - Very Loose, Light Orange Brown, Silty Fine SAND, with Hairline Roots (SM)	TOP SM		25	15	4
	2						
850	3						
	4	Soil Consistency becomes Loose, Color Changes to Mottled (Orange Brown, Light Brown)			25	25	9
	5						
848	6						
	7	Stiff, Mottled (Orange Brown, Light Brown), Fine Sandy SILT, with MnO Staining (ML)	ML		25	35	10
	8						
844	9						
	10				25	45	11
	11						
842	12						
	13						
	14	Loose, Light Orange Tan, Silty SAND, with MnO Staining (SM)	SM		25	35	6
	15						
838	16						
	17						
836	18						
	19	Soil becomes Moist, Color Changes to Brown			25	35	11
	20						
832	21	Boring Terminated at 20 feet BGS					
	22						
830	23						
	24						
828	25						
	26						
826							



DRILL HOLE LOG

BORING NO. B2

PROJECT: Braselton Court PROJECT NO.: MEG 301289
 CLIENT: Norsouth Development Company DATE: 05/31/2012
 LOCATION: Refer to Figure 1 ELEVATION: 848 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: Hasan Abdeljawad
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: 15' After 48+ Hours: 12.5' CAVING> C

File: Boring Logs

Date Printed: 6/8/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
848	0	Topsail/Disturbed Soil - 6"	TOP					
	1	RESIDUAL - Stiff, Red Brown, Fine Sandy SILT, with MnO Staining (ML)	ML				28	14
846	2							
	3							
844	4	Loose, Orange Brown, Silty Fine SAND, with MnO Staining (SM)	SM				25	9
	5							
842	6							
	7							
840	8							
	9	Soil becomes Moist						
838	10							
	11							
836	12							
	13							
834	14	Stiff, Wet, Orange Tan, Fine Sandy SILT, with MnO (ML)	ML				25	10
	15							
832	16							
	17							
830	18							
	19	Loose, Wet, Orange Tan, Silty SAND (SM)	SM				25	9
828	20	Boring Terminated at 20 feet BGS						
	21							
826	22							
	23							
824	24							
	25							
822	26							



DRILL HOLE LOG

BORING NO. B5

PROJECT: Braselton Court PROJECT NO.: MEG 301289
 CLIENT: Norsouth Development Company DATE: 05/31/2012
 LOCATION: Refer to Figure 1 ELEVATION: 846 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: Hasan Abdeljawad
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: 14.5' After 48+ Hours: 11.75' CAVING> C

File: Boring Logs

Date Printed: 6/8/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
846	0	Topsail with Hairline Roots - 8'	TOP					
	1	RESIDUAL - Medium Dense, Orange Brown, Clayey SAND, with Trace Mica (SC)	SC				28	13
844	2							
	3							
842	4	Loose, Orange Tan, Silty SAND, with MnO Staining (SM)	SM				25	10
	5							
840	6	Color Changes to Light Brown						
	7							
838	8							
	9	Soil becomes Moist						
836	10							
	11							
834	12							
	13							
832	14	Soil becomes Wet						
	15							
830	16							
	17							
828	18							
	19	Firm, Wet, Mottled (Reddish Brown, Orange Brown), Fine Sandy SILT, with MnO Staining (ML)	ML				22	8
826	20	Boring Terminated at 20 feet BGS						
	21							
824	22							
	23							
822	24							
	25							
820	26							



DRILL HOLE LOG

BORING NO. B7

PROJECT: Braselton Court PROJECT NO.: MEG 301289
 CLIENT: Norsouth Development Company DATE: 05/31/2012
 LOCATION: Refer to Figure 1 ELEVATION: 849 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: Hasan Abdeljawad
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: ∅ DRY After 48+ Hours: ∅ 13' CAVING> C

File: Boring Logs

Date Printed: 6/8/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
					Natural Moisture Content (%) ▲	Penetration - ●	
848	0				10		
	1	FILL - Medium Dense, Reddish Brown, Clayey SAND, with Trace Mica (SC)	FILL			18	13
	2						
846	3						
	4						
844	5	Brown, Clayey SAND, with Organics and Topsoil (SC/TOP)	FILL			22	12
	6						
842	7	RESIDUAL - Stiff, Mottled (Tan, Light Brown), Sandy SILT (ML)	ML			20	11
	8						
840	9	Medium Dense, Mottled (Red, Tan, Brown), Silty SAND (SM)	SM			22	12
	10						
838	11						
	12						
836	13						
	14	Loose, Wet, Mottled (Orange Brown, Tan, White), Silty SAND with Clay (SC-SM)	SC-SM			18	5
834	15						
	16						
832	17						
	18						
830	19	Stiff, Wet, Orange Tan, Fine Sandy SILT with Clay (CL-ML)	CL-ML			18	9
	20						
828	21	Boring Terminated at 20 feet BGS					
	22						
826	23						
	24						
824	25						
	26						



DRILL HOLE LOG

BORING NO. B8

PROJECT: Braselton Court PROJECT NO.: MEG 301289
 CLIENT: Norsouth Development Company DATE: 05/31/2012
 LOCATION: Refer to Figure 1 ELEVATION: 851 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: Hasan Abdeljawad
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: ☹ DRY After 48+ Hours: ☹ 13' CAVING> C

File: Boring Logs

Date Printed: 6/8/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
850	0	Topsail/Disturbed Soils - 6"	TOP					
850	1	RESIDUAL - Medium Dense, Light Orange Brown, Silty SAND (SM)	SM				28	13
848	3							
848	4	Firm, Reddish Brown, Fine Sandy SILT (ML)	ML				25	8
846	5							
846	6							
844	7	Medium Dense, Reddish Brown, Silty Fine SAND (SM)	SM				28	12
842	9	Soil Consistency becomes Loose and Moist, Soil becomes Moist, Color Changes to Light Orange Brown					25	6
840	11							
840	12							
838	13							
838	14	Soil Consistency becomes Very Loose, Soil becomes Wet					25	4
836	15							
836	16							
834	17							
834	18							
832	19	Loose, Wet, Orange Light Brown, Silty SAND with Clay (SC-SM)	SC-SM				25	10
832	20							
830	21	Boring Terminated at 20 feet BGS						
830	22							
828	23							
828	24							
826	25							
826	26							



DRILL HOLE LOG

BORING NO. B9

PROJECT: Braselton Court PROJECT NO.: MEG 301289
 CLIENT: Norsouth Development Company DATE: 05/31/2012
 LOCATION: Refer to Figure 1 ELEVATION: 852 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: Hasan Abdeljawad
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: 14' After 48+ Hours: 11.5' CAVING> C

File: Boring Logs

Date Printed: 6/8/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
852	0	Topsail/Disturbed Soils - 6"						
	1	RESIDUAL - Medium Dense, Light Orange Brown, Silty Fine SAND, with MnO Staining (SM)	TOP SM				10	11
	2							
850	3							
	4	Soil Consistency becomes Loose, Color Changes to Light Orange Brown						7
	5							
848	6							
	7							7
846	8							
	9	Soil becomes Moist						5
	10							
844	11							
	12							
842	13							
	14	Soft, Wet, Light Orange Brown, Fine Sandy SILT with Clay (CL-ML)	CL-ML					4
838	15							
	16							
836	17							
	18							
834	19	Loose, Wet, Light Brown, Silty SAND, with MnO Staining	SM					8
	20	Boring Terminated at 20 feet BGS						
832	21							
	22							
830	23							
	24							
828	25							
	26							



DRILL HOLE LOG

BORING NO. B10

PROJECT: Braselton Court PROJECT NO.: MEG 301289
 CLIENT: Norsouth Development Company DATE: 05/31/2012
 LOCATION: Refer to Figure 1 ELEVATION: 846 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: Hasan Abdeljawad
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: 14' After 48+ Hours: 3' CAVING> C

File: Boring Logs

Date Printed: 6/8/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
					Natural Moisture Content (%) ▲	Penetration - ●	
846	0				10	20	
	1	Topsail/Disturbed Soils - 6"	TOP FILL				12
	2	FILL - Medium Dense, Red Brown, Clayey SAND, with Trace Mica (SC)					
844	3						
	4	Soil Color Changes to Brown, Gravel Encountered	CL-ML				12
842	5						
	6	RESIDUAL - Stiff, Mottled (Gray, Orange), Fine Sandy SILT with Clay (CL-ML)					
840	7		SM				13
	8						
838	9	Medium Dense, Mottled (Gray, Orange), Silty Fine SAND, with Trace Mica (SM)					
836	10		SM				16
	11						
834	12						
	13		SM				7
832	14	Loose, Moist, Micaceous, Dark Reddish Brown, Silty SAND, with MnO Staining (SM)					
	15						
830	16						
	17						
828	18						
	19	Wet, Light Brown Silty SAND (SM)					
826	20	Boring Terminated at 20 feet BGS					
	21						
824	22						
	23						
822	24						
	25						
820	26						



DRILL HOLE LOG

BORING NO. B12

PROJECT: Braselton Court PROJECT NO.: MEG 301289
 CLIENT: Norsouth Development Company DATE: 05/31/2012
 LOCATION: Refer to Figure 1 ELEVATION: 849 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: Hasan Abdeljawad
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: 18' After 48+ Hours: 14' CAVING> C

File: Boring Logs

Date Printed: 6/8/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
848	0	Topsail/Disturbed Soils - 6"	TOP					
	1	RESIDUAL - Stiff, Reddish Brown, Fine Sandy SILT, with MnO Staining (ML)	ML				25	15
846	2							
	3							
844	4	Loose, Mottled (Tan, Light Gray), Silty Fine SAND, with Some Mica (SM)	SM				25	8
	5							
	6							
842	7						25	8
	8							
840	9						25	7
	10							
838	11							
	12							
836	13							
	14	Soil becomes Moist, MnO Staining Encountered					25	8
834	15							
	16							
832	17							
	18							
830	19	Soil becomes Wet					25	10
	20							
828	21	Boring Terminated at 20 feet BGS						
	22							
826	23							
	24							
824	25							
	26							



DRILL HOLE LOG

BORING NO. B14

PROJECT: Braselton Court PROJECT NO.: MEG 301289
 CLIENT: Norsouth Development Company DATE: 05/31/2012
 LOCATION: Refer to Figure 1 ELEVATION: 850 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: Hasan Abdeljawad
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: DRY After 48+ Hours: DRY CAVING> C

File: Boring Logs

Date Printed: 6/8/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
850	0	Topsail/Disturbed Soils - 6"	TOP					
	1	RESIDUAL - Stiff, Mottled (Red Brown, Orange Tan), Fine Sandy SILT with Clay (CL-ML)	CL-ML					11
848	2							
	3							
846	4							10
	5							
844	6	Medium Dense, Orange Light Brown, Silty Fine SAND with Clay (SC-SM)	SC-SM					13
	7							
842	8							
	9	Soil Consistency becomes Loose, Soil becomes Moist						7
840	10	Boring Terminated at 10 feet BGS						
	11							
838	12							
	13							
836	14							
	15							
834	16							
	17							
832	18							
	19							
830	20							
	21							
828	22							
	23							
826	24							
	25							
824	26							



DRILL HOLE LOG

BORING NO. B15

PROJECT: Braselton Court **PROJECT NO.:** MEG 301289
CLIENT: Norsouth Development Company **DATE:** 05/31/2012
LOCATION: Refer to Figure 1 **ELEVATION:** 851 feet MSL
DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) **LOGGED BY:** Hasan Abdeljawad
DRILLING METHOD: ASTM D1586 (3" Solid Auger) **STATION:** _____
DEPTH TO - WATER> INITIAL: DRY **After 48+ Hours:** DRY **CAVING>** C

File: Boring Logs

Date Printed: 6/8/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)
						Natural Moisture Content (%) ▲	Penetration - ●	
	0					10		
850	1	Topsail/Disturbed Soil - 6"	TOP FILL					34
	2	FILL - Dense, Light Brown, Silty Fine SAND, with Gravel and Hairline Roots (SM)						
848	3							
	4	RESIDUAL - Stiff, Mottled (Light Orange Brown, Tan) , Fine Sandy SILT, with MnO Staining (ML)	ML					10
846	5							
	6	Soil Consistency becomes Firm, Color Changes to Mottled (Dark Reddish Brown, Orange Brown)						
844	7							
	8	Soil becomes Moist, Color Changes to Mottled (Reddish Brown, Orange Brown, White)						
842	9							
	10	Boring Terminated at 10 feet BGS						
840	11							
	12							
838	13							
	14							
836	15							
	16							
834	17							
	18							
832	19							
	20							
830	21							
	22							
828	23							
	24							
826	25							
	26							



DRILL HOLE LOG

BORING NO. B17

PROJECT: Braselton Court PROJECT NO.: MEG 301289
 CLIENT: Norsouth Development Company DATE: 05/31/2012
 LOCATION: Refer to Figure 1 ELEVATION: 852 feet MSL
 DRILLER: Sunrise Drilling (CME 45 - Manual Hammer) LOGGED BY: Hasan Abdeljawad
 DRILLING METHOD: ASTM D1586 (3" Solid Auger) STATION: _____
 DEPTH TO - WATER> INITIAL: ☹ DRY After 48+ Hours: ☹ DRY CAVING> C

File: Boring Logs

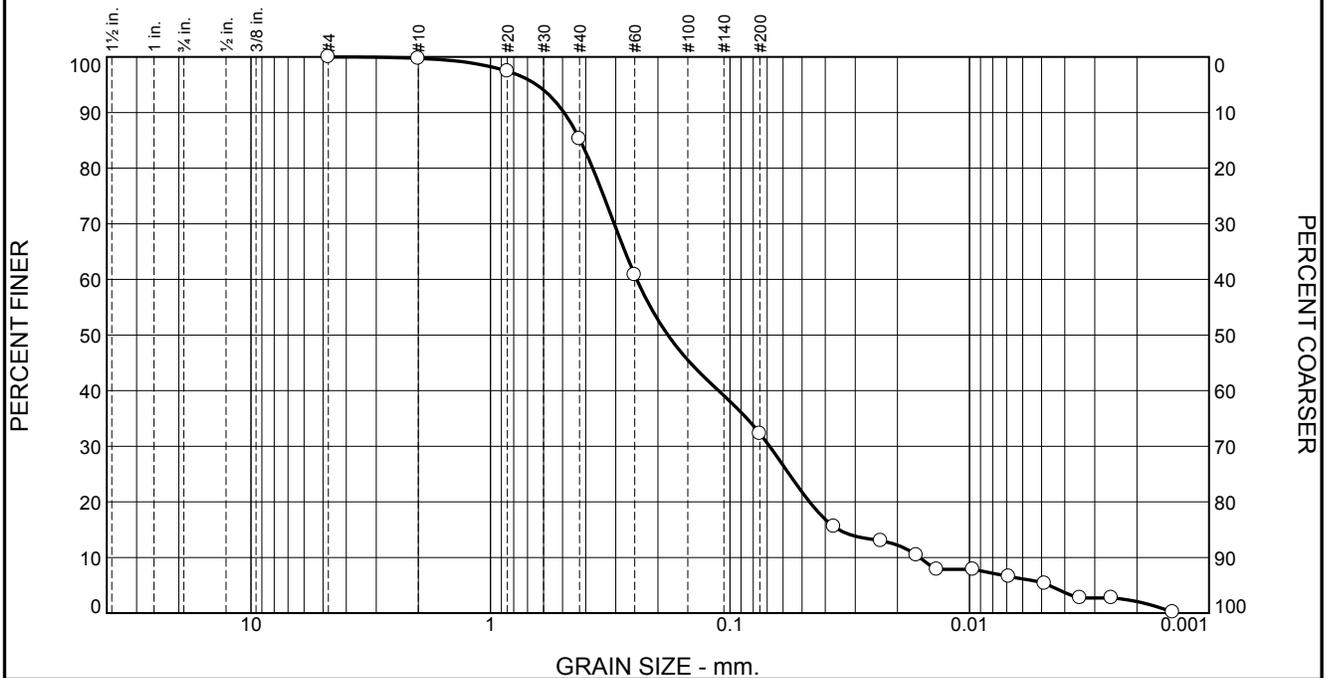
Date Printed: 6/8/2012

This information pertains only to this boring and should not be interpreted as being indicative of the site.

ELEVATION (feet)	DEPTH (feet)	Description	SOIL TYPE	SOIL SYMBOL	SAMPLERS	TEST RESULTS		N-Value Blows/ft (ASTM D1586)		
						Natural Moisture Content (%) ▲	Penetration - ●			
852	0	Topsail/Disturbed Soil - 6"	TOP FILL					20		
	1	FILL - Medium Dense, Dark Brown, Clayey SAND (SC)								
850	2		SM					9		
	3									
848	4	RESIDUAL - Loose, Micaceous, Light Orange Brown, Silty Fine SAND (SM)								
	5									
846	6	MnO Staining Encountered								
	7									
844	8									
	9	Soil becomes Moist, Color Changes to Mottled (Orange Brown, Tan)								
842	10	Boring Terminated at 10 feet BGS						8		
	11									
840	12									
	13									
838	14									
	15									
836	16									
	17									
834	18									
	19									
832	20									
	21									
830	22									
	23									
828	24									
	25									
826	26									

These results are for the exclusive use of the client for whom they were obtained. They apply only to the samples tested and are not indicative of apparently identical samples.

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	0.0	0.3	14.4	53.0	26.8	5.5

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
#4	100.0		
#10	99.7		
#20	97.4		
#40	85.3		
#60	60.8		
#200	32.3		
0.0368 mm.	15.6		
0.0234 mm.	13.0		
0.0167 mm.	10.4		
0.0137 mm.	7.9		
0.0097 mm.	7.9		
0.0069 mm.	6.6		
0.0049 mm.	5.3		
0.0035 mm.	2.7		
0.0026 mm.	2.7		
0.0014 mm.	0.2		

* (no specification provided)

Material Description

RESIDUAL - Mottled (Tan, Light Gray), Silty SAND

Atterberg Limits (ASTM D 4318)

PL= NP LL= NV PI= NP

Classification

USCS (D 2487)= SM AASHTO (M 145)= A-2-4(0)

Coefficients

D₉₀= 0.4930 D₈₅= 0.4217 D₆₀= 0.2452
D₅₀= 0.1817 D₃₀= 0.0683 D₁₅= 0.0351
D₁₀= 0.0161 C_u= 15.19 C_c= 1.18

Remarks

M.M.C = 22.05%

Date Received: 06/01/2012 Date Tested: 06/06/2012
Tested By: Kyle Sartipi, NICET II
Checked By: Tyler Smith, EIT
Title: Staff Engineer

Source of Sample: B13-3 Depth: 6-7.5 Date Sampled: 05/30/2012
Sample Number: 2013925



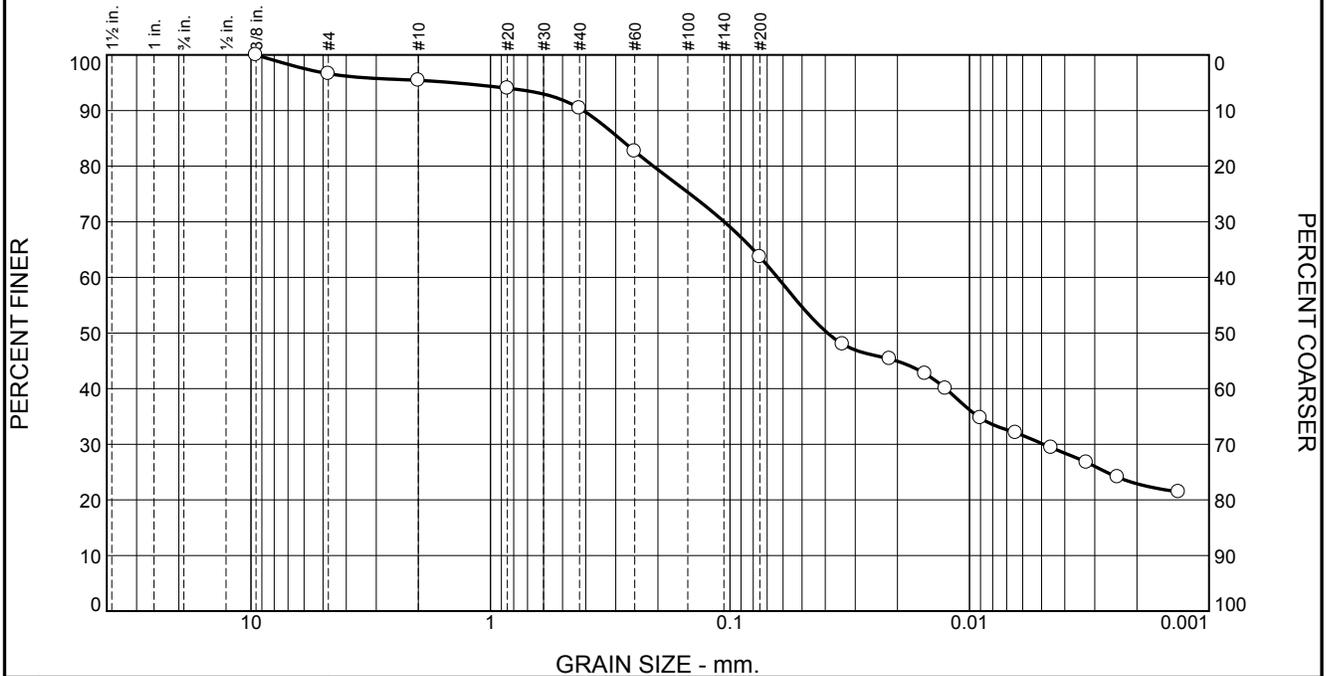
Client: NorSouth Development
Project: Braselton Court

Project No: MEG 301289

Figure

These results are for the exclusive use of the client for whom they were obtained. They apply only to the samples tested and are not indicative of apparently identical samples.

Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	3.4	1.2	5.0	26.7	33.6	30.1

Test Results (ASTM D422 & ASTM D1140)			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
3/8	100.0		
#4	96.6		
#10	95.4		
#20	94.0		
#40	90.4		
#60	82.7		
#200	63.7		
0.0338 mm.	48.0		
0.0215 mm.	45.4		
0.0153 mm.	42.7		
0.0126 mm.	40.0		
0.0090 mm.	34.7		
0.0064 mm.	32.1		
0.0046 mm.	29.4		
0.0032 mm.	26.8		
0.0024 mm.	24.1		
0.0013 mm.	21.4		

* (no specification provided)

Material Description

FILL - Orange Brown, Sandy SILT with Clay

Atterberg Limits (ASTM D 4318)

PL= 26 LL= 34 PI= 8

Classification

USCS (D 2487)= ML AASHTO (M 145)= A-4(4)

Coefficients

D₉₀= 0.4096 D₈₅= 0.2896 D₆₀= 0.0634
D₅₀= 0.0391 D₃₀= 0.0049 D₁₅=
D₁₀= C_u= C_c=

Remarks

Date Received: 06/01/2012 Date Tested: 06/06/2012
Tested By: Kyle Sartipi, NICET II
Checked By: Tyler Smith, EIT
Title: Staff Engineer

Source of Sample: B18-2 Depth: 3.5-5 Date Sampled: 05/30/2012
Sample Number: 2013926



Client: NorSouth Development
Project: Braselton Court

Project No: MEG 301289

Figure

June 14, 2012

Braselton Court, LP
2000 RiverEdge Parkway, Suite 950
Atlanta, Georgia 30328

Attention: **Jervon Harris**

Subject: **Vapor Encroachment Screen
Braselton Court
1018 Beaver Dam Road
Braselton, Barrow County, Georgia 30548
One Group Project #A2028**

One Consulting Group, Inc. (One Group) is pleased to provide this Vapor Encroachment Screen for the above-referenced property (Target Property).

GOVERNANCE

This scope of work was performed in accordance with ASTM Designation: E2600-10 "Standard Guide for Vapor Encroachment Screening on Property Involved in Real Estate Transactions" (Standard Practice).

BACKGROUND

One Group's Environmental Site Assessment (Phase I) prepared for the Target Property dated June 13, 2012, was reviewed in accordance with the Standard Practice.

TIER 1 SCREENING ASSESSMENT

No recognized environmental conditions associated with vapor encroachment were identified on the Site. No suspect or known contaminated sites were identified surrounding the Target Property within the *approximate minimum search distances*, as per Standard Practice Section 8.3.2.

CONCLUSIONS

A Vapor Encroachment Condition can be ruled out because a Vapor Encroachment Condition does not or is not likely to exist. Vapor intrusion is unlikely to be an issue of concern in connection with existing or planned structures on the Target Property.

CLOSURE

Thank you for the opportunity to be of service. If you have any further questions please do not hesitate to contact us.

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Principal

APPENDIX F
NOISE ASSESSMENT DOCUMENTATION



SITE NOISE ASSESMENT

For

NorSouth Companies, Inc.

Braselton Court

Braselton, GA

Barrow County

June 6, 2012

**Kenneth A. Cunefare, Ph. D.
Arpeggio Acoustic Consulting, LLC
1947 Aspen Dr NE, Atlanta, GA 30345
(404) 216-7714**

**Commitment Number 12-05-11
JCC: 1-80-065**



June 6, 2012

Mr. Jervon Harris
NorSouth Companies
2000 Riveredge Parkway, Suite 950
Atlanta, GA 30328

RE: Site Noise Assessment for Norsouth Companies' Braselton Court project, Braselton GA

Dear Jervon:

This report presents the site noise assessment for Norsouth Companies, Inc.'s Braselton Court project in Braselton, GA. As will be detailed below, the site was found to be in the HUD "Acceptable" category.

Project Description and Location

The proposed development is in Braselton, Georgia, in Barrow County. As depicted in Figure 1 the project is located at off of Georgia 211/Old Winder Highway, and Beaver Dam Road.

SITE NOISE ASSESSMENT

Figure 1 depicts the location of the single NAL used to evaluate this site, and the distances to each of the potential noise sources. This single NAL was used since, all will be developed below, as Old Winder Highway to the west of the site is the only noise source that impacts the site, and therefore all points farther east on the site from the NAL location will have lower noise levels.

Noise sources evaluated for consideration in this study include rail, road vehicle noise, and air traffic sources. All distances were determined either through photogrammetry applied to aerial imagery or scaled from drawings provided to us by NorSouth. Considering airport noise sources, Figure 2 provides a map of the project area with 5 mile and 15 mile radius range rings superimposed:

- 1) There are no military airports within 15 miles of the site. There are no commercial or general aviation airports within 5 miles of the site. Airport noise is not a factor for this site.

Concerning road and rail sources, Figure 3 provides a map of the project area with 1000' and 3000' radius range rings superimposed:

- 2) There are no rail lines within 3000' of the site.
- 3) The site has exposure to road traffic noise from Georgia 211/Old Winder Highway to the west. Traffic data for this road was obtained from the Georgia DOT's State Transportation and Statistics Reporting site (STARs), Barrow County Traffic Counter #0145, which is to the south of the project site. The 2011 ADT for this traffic counter was 12250, with an actual truck percentage of 7%. Per DCA recommendations, traffic volume was inflated 3% per year to obtain projected volumes in 2022, yielding an ADT of 16957. The truck percentage was split as 3.5% heavy trucks and 3.5% medium trucks.

As noted previously, a single Noise Assessment Location labeled as “NAL #1” depicted on Figure 1 is used here site assessment. NAL #1 is on the site closest to Old Winder Highway; **all other parts of the site are farther from the road will have lower noise levels.**

Table 1 presents the DNL at the NAL due to road, as calculated using the HUD Site DNL calculator (output in Appendix). The implication of the 60 DNL at NAL 1, as listed in Table 1, is that the entire site is in the “Acceptable” category.

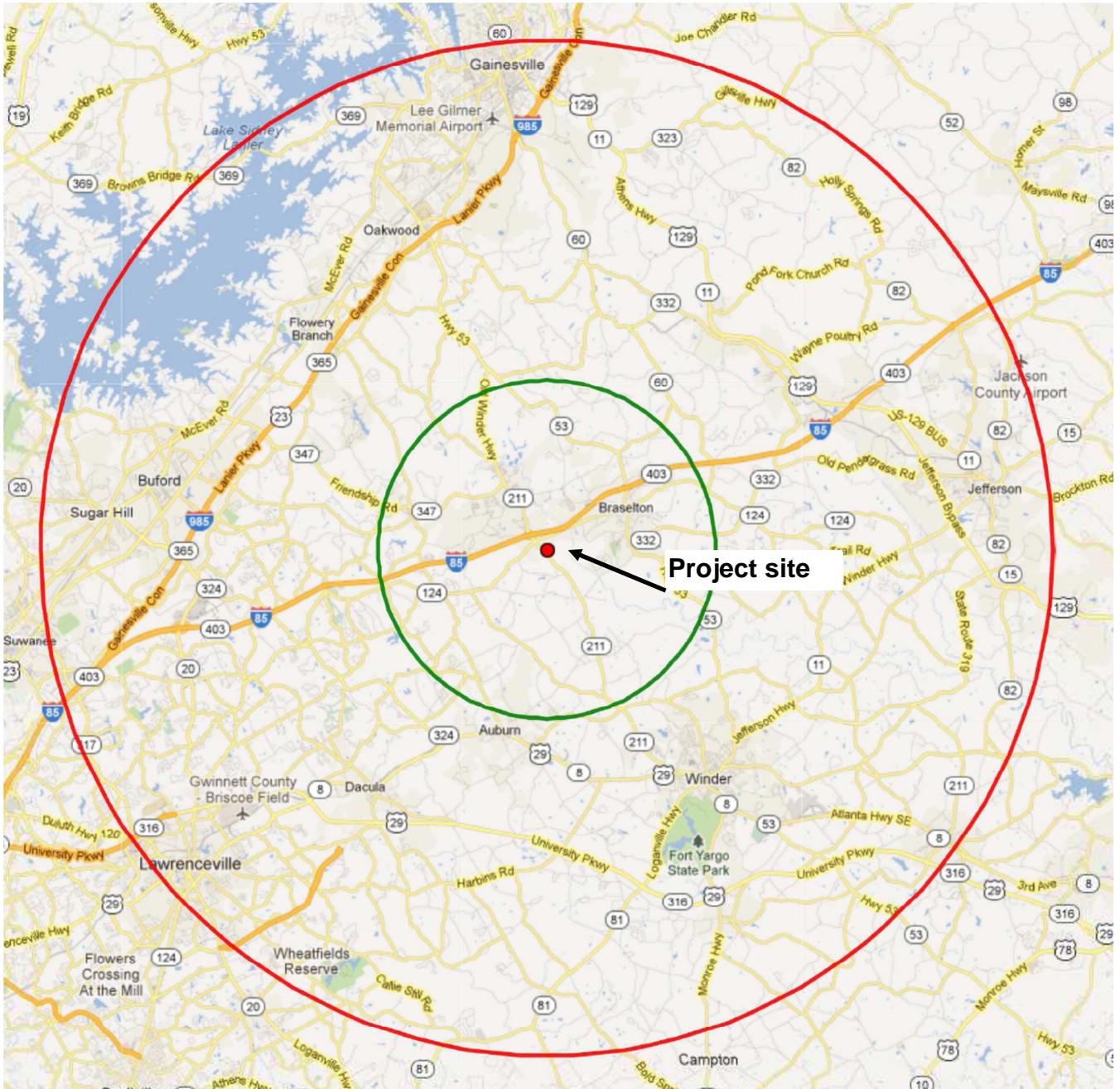
Table 1– Partial DNL by source and total DNL at NAL

Partial DNL by source	Total DNL all sources	Category
GA 211/Old Winder Highway 60.2	60	Acceptable

Respectfully submitted,



Kenneth A. Cunefare
Principal
Arpeggio Acoustic Consulting, LLC



**Figure 2 - Map of project area with 5 mile (green) and 15 mile (red) range rings centered on the site
Norsouth Braselton Court, Braselton, Georgia**

Arpeggio Acoustic Consulting, LLC

June 6, 2012



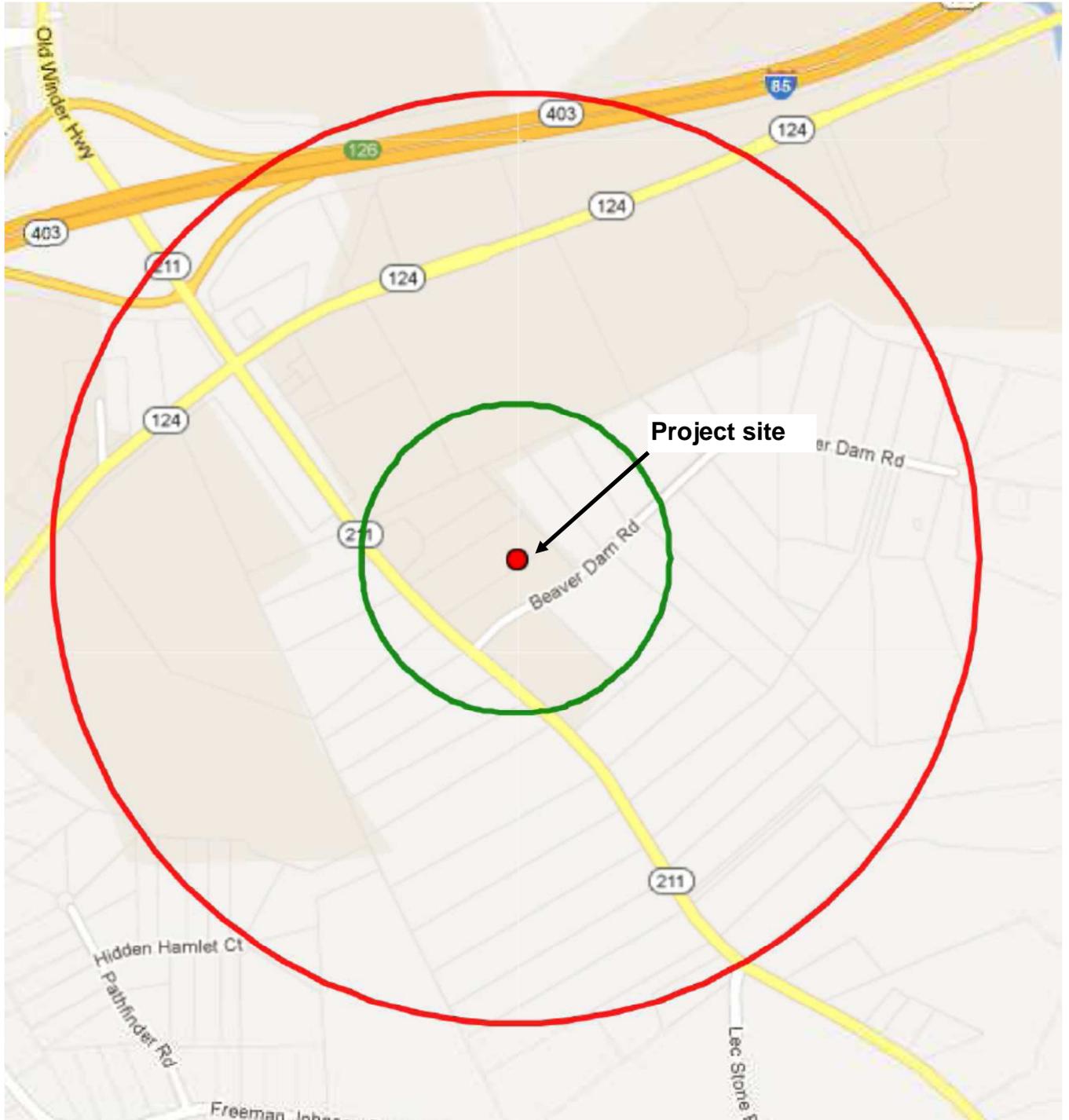


Figure 3 - Map of project area with 1000' (Green) and 3000' (Red) range rings centered on the site

Norsouth Braselton Court, Braselton, Georgia

Arpeggio Acoustic Consulting, LLC

June 6, 2012

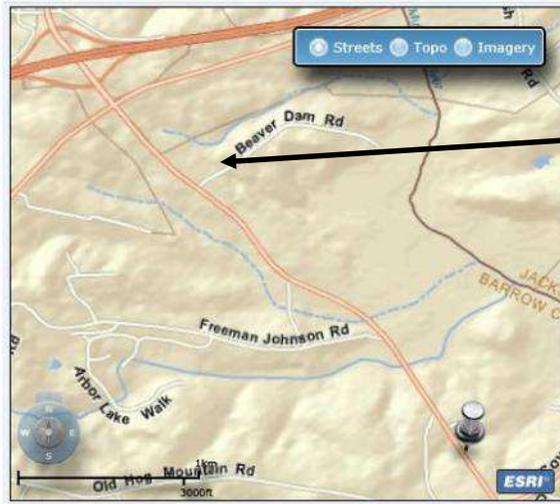
Appendix A - Supporting Data

GDOT STARS Traffic Counter Output

HUD Site DNL Calculator Output



013 Barrow, Traffic Counter: 0145



Project site

Disclaimer: The Georgia Department of Transportation makes no representation or warranties, implied or expressed, concerning the accuracy, completeness, reliability, or suitability for any particular purpose of this information and data contained on this Web Site.

Year	RCLINK	Beginning Milepoint	Ending Milepoint	Directional	Actual/Estimate	Direction 1	Direction 2	Total AADT	Truck%
2011	0131021100	18.64	22.86	Directional	Actual	6050 (North)	6200 (South)	12250	7%
2010	0131021100	18.64	22.98	Non-Directional	Estimate			10850	
2009	0131021100	18.64	22.97	Non-Directional	Actual			10970	6%
2008	0131021100	18.64	22.97	Non-Directional	Estimate			13400	
2007	0131021100	18.64	22.97	Non-Directional	Actual			14080	
2006	0131021100	18.64	22.97	Non-Directional	Actual			14650	
2005	0131021100	18.64	22.97	Non-Directional	Actual			11660	

Community Planning and Development

- About CPD
- Economic Development
- Community Development
- Affordable Housing
- Homeless Assistance
- HUDVet
- Environment
- Environmental Contacts**
- Review Requirements**
- Laws and Regulations**
- Training**
- Resource Library**
- Acquisition/Relocation
- Energy
- HIV/AIDS Housing
- Technical Assistance
- Online Systems/ Databases Library
- Laws and Regulations

HUD news

Homes

Resources

Communities

Working with HUD

Tools

- Webcasts**
- Mailing lists**
- RSS Feeds**
- Help**



Site DNL Calculator

For more information on using the noise calculator, to access the guidebook, or send comments, please visit the following page:

[**Day/Night Noise Level Electronic Assessment Tool**](#)

Guidelines:

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

Providing Feedback & Corrections

When using the DNL Assessment Tool, following the directions in the User's Guide, users are encouraged to provide feedback on how the DNL Assessment Tool may be improved. Users are also encouraged to send comments or corrections for the improvement of the tool.

Please send comments or other input to: separately.gov

Related Information

- [Day/Night Noise Level Assessment Tool User Guide](#)
- [Day/Night Noise Level Assessment Tool Flowcharts](#)

System Requirements

- ▶ [Internet Explorer 6.0 or above](#)
- ▶ [Adobe Reader](#)
- ▶ Enabling JavaScript

Site ID

Record Date

User's Name

Road # 1 Name:

Road #1			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	380	380	380
Distance to Stop Sign	600		
Average Speed	45	45	45
Average Daily Trips (ADT)	15770	593	593
Night Fraction of ADT	15	15	15
Road Gradient (%)			0
Vehicle DNL	55.2565	51.0087	57.844
Calculate Road #1 DNL	60.2793	Reset	

Airport Noise Level
Loud Impulse Sounds? Yes No

Combined DNL for all Road and Rail sources

Combined DNL including Airport

Site DNL with Loud Impulse Sound

APPENDIX G
REGULATORY SEARCH INFORMATION

Proposed Braselton Court

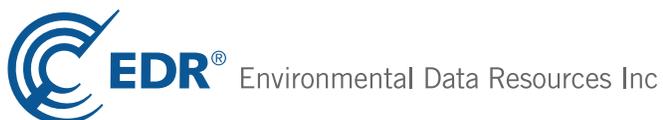
Deaver Dam Road

Hoschton, GA 30548

Inquiry Number: 3297864.2s

April 06, 2012

The EDR Radius Map™ Report with GeoCheck®



440 Wheelers Farms Road
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TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
Executive Summary	ES1
Overview Map	2
Detail Map	3
Map Findings Summary	4
Map Findings	7
Orphan Summary	9
Government Records Searched/Data Currency Tracking	GR-1
 <u>GEOCHECK ADDENDUM</u>	
Physical Setting Source Addendum	A-1
Physical Setting Source Summary	A-2
Physical Setting Source Map	A-7
Physical Setting Source Map Findings	A-8
Physical Setting Source Records Searched	A-9

Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-05) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

DEAVER DAM ROAD
HOSCHTON, GA 30548

COORDINATES

Latitude (North): 34.0907000 - 34° 5' 26.52"
Longitude (West): 83.8038000 - 83° 48' 13.68"
Universal Transverse Mercator: Zone 17
UTM X (Meters): 241306.1
UTM Y (Meters): 3775567.5
Elevation: 847 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 34083-A7 AUBURN, GA
Most Recent Revision: 1993

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 2009, 2010
Source: USDA

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL..... National Priority List

EXECUTIVE SUMMARY

Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

CERCLIS..... Comprehensive Environmental Response, Compensation, and Liability Information System
FEDERAL FACILITY..... Federal Facility Site Information listing

Federal CERCLIS NFRAP site List

CERC-NFRAP..... CERCLIS No Further Remedial Action Planned

Federal RCRA CORRACTS facilities list

CORRACTS..... Corrective Action Report

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-LQG..... RCRA - Large Quantity Generators
RCRA-SQG..... RCRA - Small Quantity Generators
RCRA-CESQG..... RCRA - Conditionally Exempt Small Quantity Generator

Federal institutional controls / engineering controls registries

US ENG CONTROLS..... Engineering Controls Sites List
US INST CONTROL..... Sites with Institutional Controls

Federal ERNS list

ERNS..... Emergency Response Notification System

State- and tribal - equivalent CERCLIS

SHWS..... Hazardous Site Inventory
GA NON-HSI..... Non-Hazardous Site Inventory

State and tribal landfill and/or solid waste disposal site lists

SWF/LF..... Solid Waste Disposal Facilities

State and tribal leaking storage tank lists

LUST..... List of Leaking Underground Storage Tanks
INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

State and tribal registered storage tank lists

AST..... Above Ground Storage Tanks

EXECUTIVE SUMMARY

INDIAN UST..... Underground Storage Tanks on Indian Land
FEMA UST..... Underground Storage Tank Listing

State and tribal institutional control / engineering control registries

INST CONTROL..... Public Record List
AUL..... Uniform Environmental Covenants

State and tribal voluntary cleanup sites

INDIAN VCP..... Voluntary Cleanup Priority Listing
VIC..... Voluntary Cleanup Program site

State and tribal Brownfields sites

BROWNFIELDS..... Brownfields Public Record List

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS..... A Listing of Brownfields Sites

Local Lists of Landfill / Solid Waste Disposal Sites

ODI..... Open Dump Inventory
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations
HIST LF..... Historical Landfills
SWRCY..... Recycling Center Listing
INDIAN ODI..... Report on the Status of Open Dumps on Indian Lands

Local Lists of Hazardous waste / Contaminated Sites

US CDL..... Clandestine Drug Labs
DEL SHWS..... Delisted Hazardous Site Inventory Listing
US HIST CDL..... National Clandestine Laboratory Register

Local Land Records

LIENS 2..... CERCLA Lien Information
LUCIS..... Land Use Control Information System

Records of Emergency Release Reports

HMIRS..... Hazardous Materials Information Reporting System
SPILLS..... Spills Information

Other Ascertainable Records

RCRA-NonGen..... RCRA - Non Generators
DOT OPS..... Incident and Accident Data
DOD..... Department of Defense Sites
FUDS..... Formerly Used Defense Sites
CONSENT..... Superfund (CERCLA) Consent Decrees

EXECUTIVE SUMMARY

ROD.....	Records Of Decision
UMTRA.....	Uranium Mill Tailings Sites
MINES.....	Mines Master Index File
TRIS.....	Toxic Chemical Release Inventory System
TSCA.....	Toxic Substances Control Act
FTTS.....	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
HIST FTTS.....	FIFRA/TSCA Tracking System Administrative Case Listing
SSTS.....	Section 7 Tracking Systems
ICIS.....	Integrated Compliance Information System
PADS.....	PCB Activity Database System
MLTS.....	Material Licensing Tracking System
RADINFO.....	Radiation Information Database
FINDS.....	Facility Index System/Facility Registry System
RAATS.....	RCRA Administrative Action Tracking System
NPDES.....	NPDES Wastewater Permit List
DRYCLEANERS.....	Drycleaner Database
AIRS.....	Permitted Facility and Emissions Listing
TIER 2.....	Tier 2 Data Listing
INDIAN RESERV.....	Indian Reservations
SCRD DRYCLEANERS.....	State Coalition for Remediation of Drycleaners Listing
PCB TRANSFORMER.....	PCB Transformer Registration Database
COAL ASH EPA.....	Coal Combustion Residues Surface Impoundments List
FINANCIAL ASSURANCE.....	Financial Assurance Information Listing
COAL ASH.....	Coal Ash Disposal Site Listing
COAL ASH DOE.....	Sleam-Electric Plan Operation Data

EDR PROPRIETARY RECORDS

EDR Proprietary Records

Manufactured Gas Plants..... EDR Proprietary Manufactured Gas Plants

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

State and tribal registered storage tank lists

UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under

EXECUTIVE SUMMARY

Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the Department of Natural Resources' Underground Storage Tank Database.

A review of the UST list, as provided by EDR, and dated 09/14/2010 has revealed that there is 1 UST site within approximately 0.25 miles of the target property.

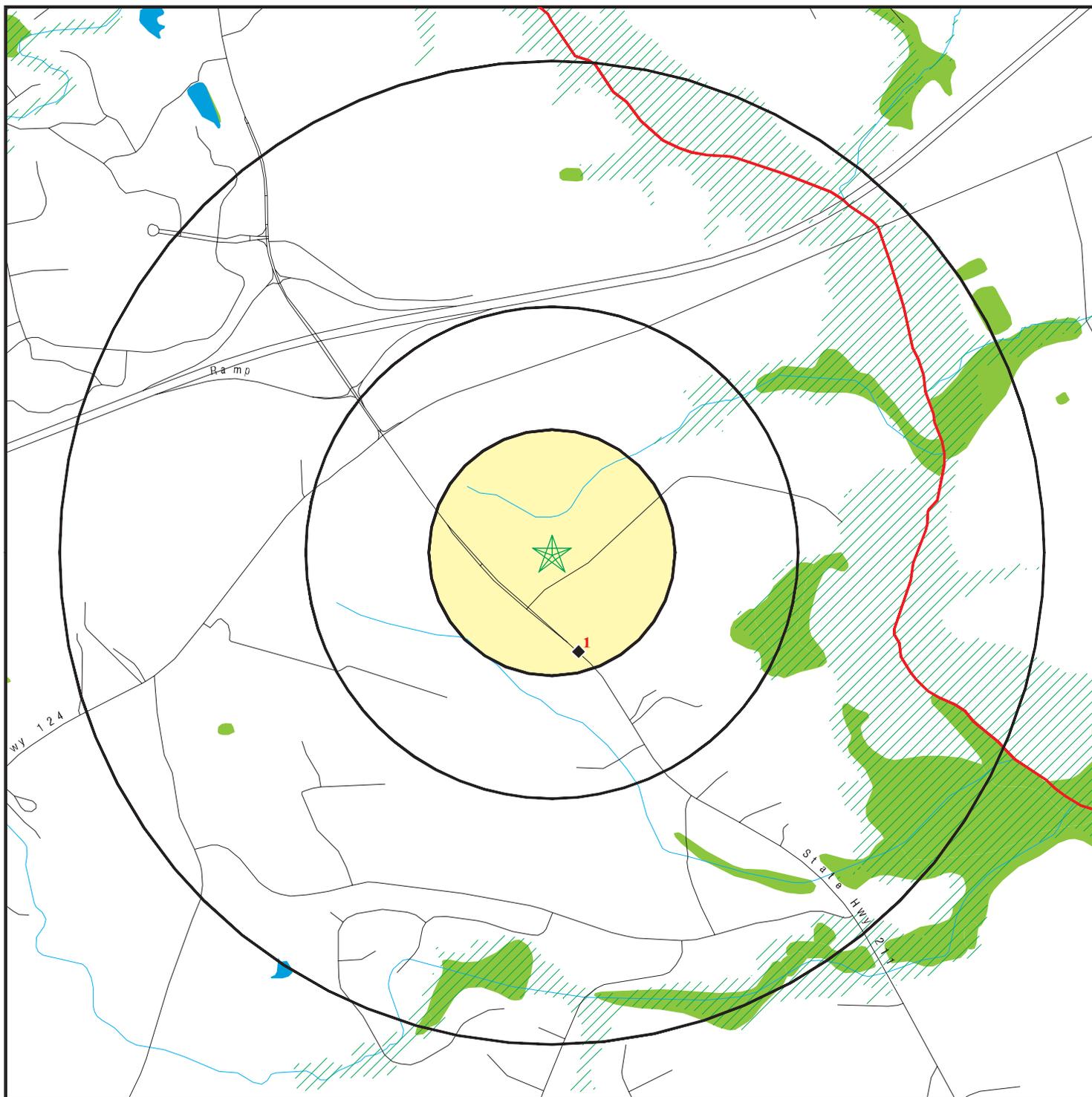
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>SHELL FOOD MART</i>	<i>1945 HWY 211</i>	<i>SSE 1/8 - 1/4 (0.208 mi.)</i>	<i>1</i>	<i>7</i>

EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 13 records.

<u>Site Name</u>	<u>Database(s)</u>
BRASELTON SERVICE STATION	LUST, UST, FINANCIAL ASSURANCE
JACKSON COUNTY/SCHOOL ?	UST, FINANCIAL ASSURANCE
GA DOT BRASELTON 10113	UST, FINANCIAL ASSURANCE
TEXACO FOOD MART	LUST
CIRCLE M FOOD MART #20	AST
GOLDEN PANTRY #53	AST
SONNEY'S SHELL	AST
MAJIK TOUCH CLEANERS	DRYCLEANERS
KIM'S CLEANER	DRYCLEANERS
WINMARK HOMES, THE FALLS OF BRASEL	FINDS
TOWN OF BRASELTON	FINDS
BRASELTON CHEVRON	FINDS
WINDSTREAM - BRASELTON CENTRAL OFF	TIER 2

OVERVIEW MAP - 3297864.2s



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- National Priority List Sites
- Dept. Defense Sites

- Indian Reservations BIA
- County Boundary
- Oil & Gas pipelines from USGS
- 100-year flood zone
- 500-year flood zone
- National Wetland Inventory

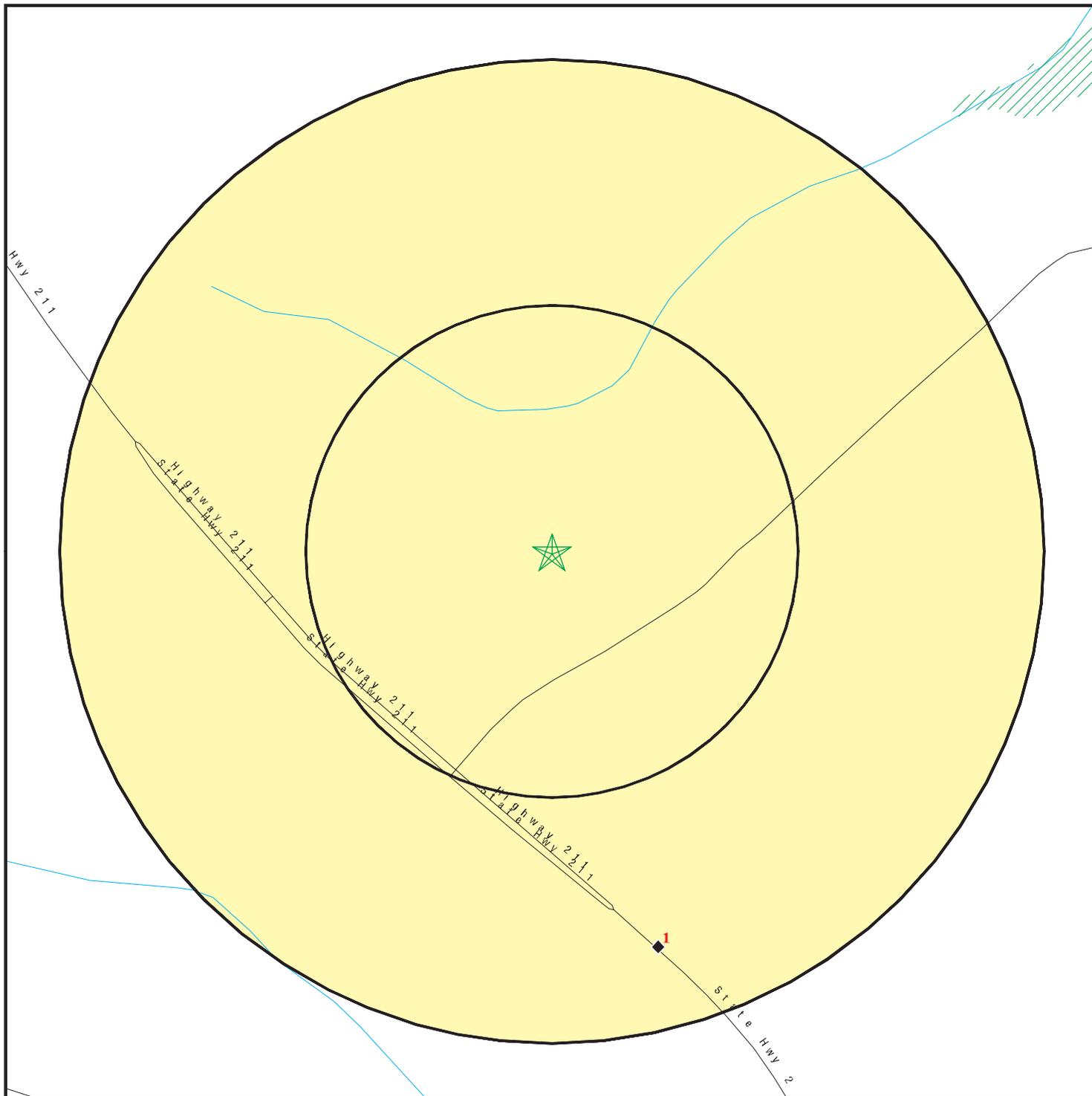


This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Proposed Braselton Court
 ADDRESS: Deaver Dam Road
 Hoschton GA 30548
 LAT/LONG: 34.0907 / 83.8038

CLIENT: One Consulting Group, Inc.
 CONTACT: Brawner
 INQUIRY #: 3297864.2s
 DATE: April 06, 2012 9:58 am

DETAIL MAP - 3297864.2s



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- Sensitive Receptors
- National Priority List Sites
- Dept. Defense Sites

- Indian Reservations BIA
- ▲ Oil & Gas pipelines from USGS
- 100-year flood zone
- 500-year flood zone

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Proposed Braselton Court
 ADDRESS: Deaver Dam Road
 Hoschton GA 30548
 LAT/LONG: 34.0907 / 83.8038

CLIENT: One Consulting Group, Inc.
 CONTACT: Brawner
 INQUIRY #: 3297864.2s
 DATE: April 06, 2012 9:59 am

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	TP		NR	NR	NR	NR	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
CERCLIS	0.500		0	0	0	NR	NR	0
FEDERAL FACILITY	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS NFRAP site List</i>								
CERC-NFRAP	0.500		0	0	0	NR	NR	0
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-CESQG	0.250		0	0	NR	NR	NR	0
<i>Federal institutional controls / engineering controls registries</i>								
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROL	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	TP		NR	NR	NR	NR	NR	0
<i>State- and tribal - equivalent CERCLIS</i>								
SHWS	1.000		0	0	0	0	NR	0
GA NON-HSI	1.000		0	0	0	0	NR	0
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
SWF/LF	0.500		0	0	0	NR	NR	0
<i>State and tribal leaking storage tank lists</i>								
LUST	0.500		0	0	0	NR	NR	0
INDIAN LUST	0.500		0	0	0	NR	NR	0
<i>State and tribal registered storage tank lists</i>								
UST	0.250		0	1	NR	NR	NR	1

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
AST	0.250		0	0	NR	NR	NR	0
INDIAN UST	0.250		0	0	NR	NR	NR	0
FEMA UST	0.250		0	0	NR	NR	NR	0
State and tribal institutional control / engineering control registries								
INST CONTROL	0.500		0	0	0	NR	NR	0
AUL	0.500		0	0	0	NR	NR	0
State and tribal voluntary cleanup sites								
INDIAN VCP	0.500		0	0	0	NR	NR	0
VIC	0.500		0	0	0	NR	NR	0
State and tribal Brownfields sites								
BROWNFIELDS	0.500		0	0	0	NR	NR	0
ADDITIONAL ENVIRONMENTAL RECORDS								
Local Brownfield lists								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
Local Lists of Landfill / Solid Waste Disposal Sites								
ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
HIST LF	0.500		0	0	0	NR	NR	0
SWRCY	0.500		0	0	0	NR	NR	0
INDIAN ODI	0.500		0	0	0	NR	NR	0
Local Lists of Hazardous waste / Contaminated Sites								
US CDL	TP		NR	NR	NR	NR	NR	0
DEL SHWS	1.000		0	0	0	0	NR	0
US HIST CDL	TP		NR	NR	NR	NR	NR	0
Local Land Records								
LIENS 2	TP		NR	NR	NR	NR	NR	0
LUCIS	0.500		0	0	0	NR	NR	0
Records of Emergency Release Reports								
HMIRS	TP		NR	NR	NR	NR	NR	0
SPILLS	TP		NR	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA-NonGen	0.250		0	0	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
DOD	1.000		0	0	0	0	NR	0
FUDS	1.000		0	0	0	0	NR	0
CONSENT	1.000		0	0	0	0	NR	0
ROD	1.000		0	0	0	0	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
UMTRA	0.500		0	0	0	NR	NR	0
MINES	0.250		0	0	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
DRYCLEANERS	0.250		0	0	NR	NR	NR	0
AIRS	TP		NR	NR	NR	NR	NR	0
TIER 2	TP		NR	NR	NR	NR	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
FINANCIAL ASSURANCE	TP		NR	NR	NR	NR	NR	0
COAL ASH	0.500		0	0	0	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0

EDR PROPRIETARY RECORDS

EDR Proprietary Records

Manufactured Gas Plants	1.000		0	0	0	0	NR	0
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NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

1
SSE
1/8-1/4
0.208 mi.
1098 ft.

SHELL FOOD MART
1945 HWY 211
HOSCHTON, GA 30548

FINDS
UST
FINANCIAL ASSURANCE

1006778478
N/A

Relative:
Lower

FINDS:

Registry ID: 110013478110

Actual:
840 ft.

Environmental Interest/Information System

GEIMS (Geographic Environmental Information Management System) provides the EPA and Public a single point of access to core data for all facilities and sites regulated or monitored by the EPA and a single system for the reporting of all environmental data.

ICIS (Integrated Compliance Information System) is the Integrated Compliance Information System and provides a database that, when complete, will contain integrated Enforcement and Compliance information across most of EPA's programs. The vision for ICIS is to replace EPA's independent databases that contain Enforcement data with a single repository for that information. Currently, ICIS contains all Federal Administrative and Judicial enforcement actions. This information is maintained in ICIS by EPA in the Regional offices and it Headquarters. A future release of ICIS will replace the Permit Compliance System (PCS) which supports the NPDES and will integrate that information with Federal actions already in the system. ICIS also has the capability to track other activities occurring in the Region that support Compliance and Enforcement programs. These include; Incident Tracking, Compliance Assistance, and Compliance Monitoring.

UST:

Facility:

Facility Id: 9007040
Facility Status: Active
Facility Type: Gas Station
Contact Id: 4707
Owner Name: BRASLETON DEVELOPERS INC
Owner Address: 1945 HWY 211
Owner City: HOSCHTON
Owner State: GA
Owner Zip: 30548
Owner City,St,Zip: HOSCHTON, GA 30548
Owner Telephone: 770-868-8790
District: North East

Tank ID: 1
Status Date: 1/1/2000
Status: Currently In Use
Product1: Gas
Material: Steel-Galvanic
Capacity: 12000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 1/1/2000

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SHELL FOOD MART (Continued)

1006778478

Tank Exempt From Spill: Not reported
Date Spill Device Installed: 1/1/2000

Tank ID: 2
Status Date: 1/1/2000
Status: Currently In Use
Product1: Gas
Material: Steel-Galvanic
Capacity: 12000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 1/1/2000
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 1/1/2000

Tank ID: 3
Status Date: 1/1/2000
Status: Currently In Use
Product1: Diesel
Material: Steel-Galvanic
Capacity: 8000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 1/1/2000
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 1/1/2000

GA FINANCIAL ASSURANCE:

Region: 1
Facility ID: 9007040
Financial Responsibility: G.U.S.T. Trust Fund

Count: 13 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
BRASELTON	U001489569	BRASELTON SERVICE STATION	GA & GA	30517	LUST, UST, FINANCIAL ASSURANCE
BRASELTON	1006794061	JACKSON COUNTY/SCHOOL ?	RT 1	30517	UST, FINANCIAL ASSURANCE
BRASELTON	1010043970	WINMARK HOMES, THE FALLS OF BRASEL	HWY 211	30517	FINDS
BRASELTON	A100332288	CIRCLE M FOOD MART #20	HWY 53 & I 85	30517	AST
BRASELTON	S108415884	WINDSTREAM - BRASELTON CENTRAL OFF	5086 GEORGIA	30517	TIER 2
BRASELTON	1007263037	TOWN OF BRASELTON	JACKSON COUNTY	30517	FINDS
BRASELTON	S109505873	MAJIK TOUCH CLEANERS	2625 OLD WINDER HWY	30517	DRYCLEANERS
BRASELTON	1006794597	GA DOT BRASELTON 10113	4 MI S OF ON POWER SUBST	30517	UST, FINANCIAL ASSURANCE
BRASELTON	1010494523	BRASELTON CHEVRON	5621 STATE ROUTE 53	30517	FINDS
BRASELTON	A100332287	GOLDEN PANTRY #53	5636 STATE ROUTE 53	30517	AST
HOSCHTON	S109505822	KIM'S CLEANER	1975 HWY 211 NW	30548	DRYCLEANERS
HOSCHTON	S109849792	TEXACO FOOD MART	4362ND BRASELTON HWY &	30548	LUST
HOSCHTON	A100327580	SONNEY'S SHELL	1945 STATE ROUTE 211	30548	AST

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 09/07/2011	Source: EPA
Date Data Arrived at EDR: 10/12/2011	Telephone: N/A
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 141	Next Scheduled EDR Contact: 04/23/2012
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 6
Telephone: 214-655-6659

EPA Region 3
Telephone 215-814-5418

EPA Region 7
Telephone: 913-551-7247

EPA Region 4
Telephone 404-562-8033

EPA Region 8
Telephone: 303-312-6774

EPA Region 5
Telephone 312-886-6686

EPA Region 9
Telephone: 415-947-4246

EPA Region 10
Telephone 206-553-8665

Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 09/07/2011	Source: EPA
Date Data Arrived at EDR: 10/12/2011	Telephone: N/A
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 141	Next Scheduled EDR Contact: 04/23/2012
	Data Release Frequency: Quarterly

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

Date of Government Version: 10/15/1991	Source: EPA
Date Data Arrived at EDR: 02/02/1994	Telephone: 202-564-4267
Date Made Active in Reports: 03/30/1994	Last EDR Contact: 08/15/2011
Number of Days to Update: 56	Next Scheduled EDR Contact: 11/28/2011
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal Delisted NPL site list

DELISTED NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 09/07/2011	Source: EPA
Date Data Arrived at EDR: 10/12/2011	Telephone: N/A
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 141	Next Scheduled EDR Contact: 04/23/2012
	Data Release Frequency: Quarterly

Federal CERCLIS list

CERCLIS: Comprehensive Environmental Response, Compensation, and Liability Information System

CERCLIS contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to or on the National Priorities List (NPL) and sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 12/27/2011	Source: EPA
Date Data Arrived at EDR: 02/27/2012	Telephone: 703-412-9810
Date Made Active in Reports: 03/12/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 14	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 12/10/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/11/2011	Telephone: 703-603-8704
Date Made Active in Reports: 02/16/2011	Last EDR Contact: 01/13/2012
Number of Days to Update: 36	Next Scheduled EDR Contact: 04/23/2012
	Data Release Frequency: Varies

Federal CERCLIS NFRAP site List

CERCLIS-NFRAP: CERCLIS No Further Remedial Action Planned

Archived sites are sites that have been removed and archived from the inventory of CERCLIS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

Date of Government Version: 12/28/2011	Source: EPA
Date Data Arrived at EDR: 02/27/2012	Telephone: 703-412-9810
Date Made Active in Reports: 03/12/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 14	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

Federal RCRA CORRACTS facilities list

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 08/19/2011
Date Data Arrived at EDR: 08/31/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 132

Source: EPA
Telephone: 800-424-9346
Last EDR Contact: 02/13/2012
Next Scheduled EDR Contact: 05/28/2012
Data Release Frequency: Quarterly

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Quarterly

Federal RCRA generators list

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Quarterly

RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Quarterly

RCRA-CESQG: RCRA - Conditionally Exempt Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal institutional controls / engineering controls registries

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 12/30/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/30/2011	Telephone: 703-603-0695
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/12/2012
Number of Days to Update: 11	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

US INST CONTROL: Sites with Institutional Controls

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 12/30/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/30/2011	Telephone: 703-603-0695
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/12/2012
Number of Days to Update: 11	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

Federal ERNS list

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 10/03/2011	Source: National Response Center, United States Coast Guard
Date Data Arrived at EDR: 10/04/2011	Telephone: 202-267-2180
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 04/03/2012
Number of Days to Update: 38	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Annually

State- and tribal - equivalent CERCLIS

SHWS: Hazardous Site Inventory

State Hazardous Waste Sites. State hazardous waste site records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. Available information varies by state.

Date of Government Version: 07/01/2011	Source: Department of Environmental Protection
Date Data Arrived at EDR: 07/21/2011	Telephone: 404-657-8600
Date Made Active in Reports: 08/09/2011	Last EDR Contact: 04/02/2012
Number of Days to Update: 19	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Annually

NON HSI: Non-Hazardous Site Inventory

This list was obtained by EDR in 1998 and contains property listings that have reported contamination of soil or groundwater under the Georgia Hazardous Site Response Act (HSRA). These sites were not placed on the Georgia Priority list (Hazardous Site Inventory or HSI) because their hazard evaluation scores did not exceed the threshold levels established for sites posing an imminent threat to health or the environment. Disclaimer provided by Rindt-McDuff Associates - the database information has been obtained from publicly available sources produced by other entities. While reasonable steps have been taken to insure the accuracy of the data, RMA does not guarantee the accuracy of the data. No claim is made for the actual existence of pollution at any site. This data does not constitute a legal opinion.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 01/12/2012
Date Data Arrived at EDR: 01/13/2012
Date Made Active in Reports: 02/17/2012
Number of Days to Update: 35

Source: Rindt-McDuff Associates, Inc.
Telephone: N/A
Last EDR Contact: 03/16/2012
Next Scheduled EDR Contact: 06/25/2012
Data Release Frequency: Annually

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: Solid Waste Disposal Facilities

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 03/04/2011
Date Data Arrived at EDR: 05/11/2011
Date Made Active in Reports: 06/23/2011
Number of Days to Update: 43

Source: Department of Natural Resources
Telephone: 404-362-2696
Source: Center for GIS, Georgia Institute of Technology
Telephone: 404-385-0900
Last EDR Contact: 02/10/2012
Next Scheduled EDR Contact: 05/21/2012
Data Release Frequency: Semi-Annually

State and tribal leaking storage tank lists

LUST: List of Leaking Underground Storage Tanks

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state.

Date of Government Version: 11/30/2011
Date Data Arrived at EDR: 12/19/2011
Date Made Active in Reports: 01/30/2012
Number of Days to Update: 42

Source: Environmental Protection Division
Telephone: 404-362-2687
Last EDR Contact: 03/21/2012
Next Scheduled EDR Contact: 07/02/2012
Data Release Frequency: Quarterly

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 12/14/2011
Date Data Arrived at EDR: 12/15/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 26

Source: EPA Region 4
Telephone: 404-562-8677
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Semi-Annually

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 12/05/2011
Date Data Arrived at EDR: 12/07/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 34

Source: Environmental Protection Agency
Telephone: 415-972-3372
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Quarterly

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 11/02/2011
Date Data Arrived at EDR: 11/04/2011
Date Made Active in Reports: 11/11/2011
Number of Days to Update: 7

Source: EPA Region 10
Telephone: 206-553-2857
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land
A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 10/01/2011	Source: EPA Region 1
Date Data Arrived at EDR: 11/01/2011	Telephone: 617-918-1313
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 02/03/2012
Number of Days to Update: 10	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Varies

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 09/12/2011	Source: EPA Region 6
Date Data Arrived at EDR: 09/13/2011	Telephone: 214-665-6597
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 01/30/2012
Number of Days to Update: 59	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Varies

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 11/01/2011	Source: EPA Region 7
Date Data Arrived at EDR: 11/21/2011	Telephone: 913-551-7003
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 01/30/2012
Number of Days to Update: 50	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Varies

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land
LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 08/18/2011	Source: EPA Region 8
Date Data Arrived at EDR: 08/19/2011	Telephone: 303-312-6271
Date Made Active in Reports: 09/13/2011	Last EDR Contact: 01/30/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Quarterly

State and tribal registered storage tank lists

UST: Underground Storage Tank Database

Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 09/14/2010	Source: Environmental Protection Division
Date Data Arrived at EDR: 09/21/2010	Telephone: 404-362-2687
Date Made Active in Reports: 11/29/2010	Last EDR Contact: 03/16/2012
Number of Days to Update: 69	Next Scheduled EDR Contact: 07/02/2012
	Data Release Frequency: Annually

AST: Above Ground Storage Tanks

A listing of LP gas tank site locations.

Date of Government Version: 12/02/2011	Source: Office of Insurance & Safety Fire Commissioner
Date Data Arrived at EDR: 12/02/2011	Telephone: 404-656-5875
Date Made Active in Reports: 12/16/2011	Last EDR Contact: 02/27/2012
Number of Days to Update: 14	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Varies

INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/01/2011
Date Data Arrived at EDR: 08/26/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 18

Source: EPA Region 5
Telephone: 312-886-6136
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Varies

INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 05/10/2011
Date Data Arrived at EDR: 05/11/2011
Date Made Active in Reports: 06/14/2011
Number of Days to Update: 34

Source: EPA Region 6
Telephone: 214-665-7591
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Semi-Annually

INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 12/14/2011
Date Data Arrived at EDR: 12/15/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 26

Source: EPA Region 4
Telephone: 404-562-9424
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Semi-Annually

INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 11/28/2011
Date Data Arrived at EDR: 11/29/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 42

Source: EPA Region 9
Telephone: 415-972-3368
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Quarterly

INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 08/18/2011
Date Data Arrived at EDR: 08/19/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 25

Source: EPA Region 8
Telephone: 303-312-6137
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Quarterly

INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 10/01/2011
Date Data Arrived at EDR: 11/01/2011
Date Made Active in Reports: 11/11/2011
Number of Days to Update: 10

Source: EPA, Region 1
Telephone: 617-918-1313
Last EDR Contact: 02/03/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Varies

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/02/2011
Date Data Arrived at EDR: 11/04/2011
Date Made Active in Reports: 11/11/2011
Number of Days to Update: 7

Source: EPA Region 10
Telephone: 206-553-2857
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Quarterly

INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 11/01/2011
Date Data Arrived at EDR: 11/21/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 50

Source: EPA Region 7
Telephone: 913-551-7003
Last EDR Contact: 01/30/2012
Next Scheduled EDR Contact: 05/14/2012
Data Release Frequency: Varies

FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/01/2010
Date Data Arrived at EDR: 02/16/2010
Date Made Active in Reports: 04/12/2010
Number of Days to Update: 55

Source: FEMA
Telephone: 202-646-5797
Last EDR Contact: 01/16/2012
Next Scheduled EDR Contact: 04/30/2012
Data Release Frequency: Varies

State and tribal institutional control / engineering control registries

AUL: Uniform Environmental Covenants

A list of environmental covenants

Date of Government Version: 12/08/2010
Date Data Arrived at EDR: 01/06/2012
Date Made Active in Reports: 01/30/2012
Number of Days to Update: 24

Source: Department of Natural Resources
Telephone: 404-657-8600
Last EDR Contact: 02/17/2012
Next Scheduled EDR Contact: 05/28/2012
Data Release Frequency: Varies

INST CONTROL: Public Record List

Sites on the Public Record Listing that have institutional controls or limitations on use are sites with Risk Reduction Standards of 3, 4, and 5.

Date of Government Version: 10/27/2011
Date Data Arrived at EDR: 11/17/2011
Date Made Active in Reports: 12/14/2011
Number of Days to Update: 27

Source: Department of Natural Resources
Telephone: 404-657-8600
Last EDR Contact: 02/17/2012
Next Scheduled EDR Contact: 05/28/2012
Data Release Frequency: Varies

State and tribal voluntary cleanup sites

VCP: Voluntary Cleanup Program site

Georgia's Voluntary Remediation Program Act was created to encourage voluntary investigation and remediation of contaminated properties.

Date of Government Version: 08/24/2011
Date Data Arrived at EDR: 09/07/2011
Date Made Active in Reports: 09/21/2011
Number of Days to Update: 14

Source: DNR
Telephone: 404-657-8600
Last EDR Contact: 03/06/2012
Next Scheduled EDR Contact: 06/18/2012
Data Release Frequency: Varies

INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/20/2008
Date Data Arrived at EDR: 04/22/2008
Date Made Active in Reports: 05/19/2008
Number of Days to Update: 27

Source: EPA, Region 7
Telephone: 913-551-7365
Last EDR Contact: 04/20/2009
Next Scheduled EDR Contact: 07/20/2009
Data Release Frequency: Varies

INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 08/04/2011
Date Data Arrived at EDR: 10/04/2011
Date Made Active in Reports: 11/11/2011
Number of Days to Update: 38

Source: EPA, Region 1
Telephone: 617-918-1102
Last EDR Contact: 04/03/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Varies

State and tribal Brownfields sites

BROWNFIELDS: Brownfields Public Record List

The Brownfields Public Record lists properties where response actions under the Georgia Hazardous Site Reuse and Redevelopment Act are planned, ongoing or completed.

Date of Government Version: 10/27/2011
Date Data Arrived at EDR: 11/17/2011
Date Made Active in Reports: 12/14/2011
Number of Days to Update: 27

Source: Department of Natural Resources
Telephone: 404-657-8600
Last EDR Contact: 02/17/2012
Next Scheduled EDR Contact: 05/28/2012
Data Release Frequency: Varies

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 06/27/2011
Date Data Arrived at EDR: 06/27/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 78

Source: Environmental Protection Agency
Telephone: 202-566-2777
Last EDR Contact: 04/03/2012
Next Scheduled EDR Contact: 07/09/2012
Data Release Frequency: Semi-Annually

Local Lists of Landfill / Solid Waste Disposal Sites

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985
Date Data Arrived at EDR: 08/09/2004
Date Made Active in Reports: 09/17/2004
Number of Days to Update: 39

Source: Environmental Protection Agency
Telephone: 800-424-9346
Last EDR Contact: 06/09/2004
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009
Date Data Arrived at EDR: 05/07/2009
Date Made Active in Reports: 09/21/2009
Number of Days to Update: 137

Source: EPA, Region 9
Telephone: 415-947-4219
Last EDR Contact: 03/26/2012
Next Scheduled EDR Contact: 07/09/2012
Data Release Frequency: No Update Planned

SWRCY: Recycling Center Listing

A listing of recycling facility locations.

Date of Government Version: 12/09/2011
Date Data Arrived at EDR: 12/09/2011
Date Made Active in Reports: 12/14/2011
Number of Days to Update: 5

Source: Department of Community Affairs
Telephone: 404-679-1598
Last EDR Contact: 02/20/2012
Next Scheduled EDR Contact: 04/12/2012
Data Release Frequency: Varies

HIST LF: Historical Landfills

Landfills that were closed many years ago.

Date of Government Version: 01/15/2003
Date Data Arrived at EDR: 01/20/2004
Date Made Active in Reports: 02/06/2004
Number of Days to Update: 17

Source: Department of Natural Resources
Telephone: 404-362-2696
Last EDR Contact: 01/20/2004
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998
Date Data Arrived at EDR: 12/03/2007
Date Made Active in Reports: 01/24/2008
Number of Days to Update: 52

Source: Environmental Protection Agency
Telephone: 703-308-8245
Last EDR Contact: 02/06/2012
Next Scheduled EDR Contact: 05/21/2012
Data Release Frequency: Varies

Local Lists of Hazardous waste / Contaminated Sites

US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 10/07/2011
Date Data Arrived at EDR: 12/09/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 32

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 03/06/2012
Next Scheduled EDR Contact: 06/18/2012
Data Release Frequency: Quarterly

DEL SHWS: Delisted Hazardous Site Inventory Listing

A listing of sites delisted from the Hazardous Site Inventory.

Date of Government Version: 07/01/2011
Date Data Arrived at EDR: 07/21/2011
Date Made Active in Reports: 08/09/2011
Number of Days to Update: 19

Source: Department of Natural Resources
Telephone: 404-657-8636
Last EDR Contact: 04/02/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 09/01/2007	Source: Drug Enforcement Administration
Date Data Arrived at EDR: 11/19/2008	Telephone: 202-307-1000
Date Made Active in Reports: 03/30/2009	Last EDR Contact: 03/23/2009
Number of Days to Update: 131	Next Scheduled EDR Contact: 06/22/2009
	Data Release Frequency: No Update Planned

Local Land Records

LIENS 2: CERCLA Lien Information

A Federal CERCLA ("Superfund") lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 09/09/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 09/16/2011	Telephone: 202-564-6023
Date Made Active in Reports: 09/29/2011	Last EDR Contact: 01/30/2012
Number of Days to Update: 13	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Varies

LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 12/09/2005	Source: Department of the Navy
Date Data Arrived at EDR: 12/11/2006	Telephone: 843-820-7326
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 04/03/2012
Number of Days to Update: 31	Next Scheduled EDR Contact: 06/04/2012
	Data Release Frequency: Varies

Records of Emergency Release Reports

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 10/04/2011	Source: U.S. Department of Transportation
Date Data Arrived at EDR: 10/04/2011	Telephone: 202-366-4555
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 04/03/2012
Number of Days to Update: 38	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Annually

SPILLS: Spills Information

Oil or Hazardous Material Spills or Releases.

Date of Government Version: 12/31/2011	Source: Department of Natural Resources
Date Data Arrived at EDR: 01/03/2012	Telephone: 404-656-6905
Date Made Active in Reports: 01/30/2012	Last EDR Contact: 04/02/2012
Number of Days to Update: 27	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Quarterly

Other Ascertainable Records

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RCRA-NonGen: RCRA - Non Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 11/10/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/05/2012	Telephone: (404) 562-8651
Date Made Active in Reports: 03/12/2012	Last EDR Contact: 04/04/2012
Number of Days to Update: 67	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Varies

DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 07/29/2011	Source: Department of Transportation, Office of Pipeline Safety
Date Data Arrived at EDR: 08/09/2011	Telephone: 202-366-4595
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 02/07/2012
Number of Days to Update: 94	Next Scheduled EDR Contact: 05/21/2012
	Data Release Frequency: Varies

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005	Source: USGS
Date Data Arrived at EDR: 11/10/2006	Telephone: 888-275-8747
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 01/20/2012
Number of Days to Update: 62	Next Scheduled EDR Contact: 04/30/2012
	Data Release Frequency: Semi-Annually

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 12/31/2009	Source: U.S. Army Corps of Engineers
Date Data Arrived at EDR: 08/12/2010	Telephone: 202-528-4285
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 03/12/2012
Number of Days to Update: 112	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 12/01/2011	Source: Department of Justice, Consent Decree Library
Date Data Arrived at EDR: 01/25/2012	Telephone: Varies
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/02/2012
Number of Days to Update: 36	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Varies

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 09/28/2011	Source: EPA
Date Data Arrived at EDR: 12/14/2011	Telephone: 703-416-0223
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/14/2012
Number of Days to Update: 27	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 09/14/2010	Source: Department of Energy
Date Data Arrived at EDR: 10/07/2011	Telephone: 505-845-0011
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 02/28/2012
Number of Days to Update: 146	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Varies

MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 08/18/2011	Source: Department of Labor, Mine Safety and Health Administration
Date Data Arrived at EDR: 09/08/2011	Telephone: 303-231-5959
Date Made Active in Reports: 09/29/2011	Last EDR Contact: 03/07/2012
Number of Days to Update: 21	Next Scheduled EDR Contact: 06/18/2012
	Data Release Frequency: Semi-Annually

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2009	Source: EPA
Date Data Arrived at EDR: 09/01/2011	Telephone: 202-566-0250
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 02/28/2012
Number of Days to Update: 131	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Annually

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2006	Source: EPA
Date Data Arrived at EDR: 09/29/2010	Telephone: 202-260-5521
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 03/28/2012
Number of Days to Update: 64	Next Scheduled EDR Contact: 07/09/2012
	Data Release Frequency: Every 4 Years

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 02/27/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 02/27/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2007
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2008
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 12/31/2009	Source: EPA
Date Data Arrived at EDR: 12/10/2010	Telephone: 202-564-4203
Date Made Active in Reports: 02/25/2011	Last EDR Contact: 01/30/2012
Number of Days to Update: 77	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Annually

ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 07/20/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/10/2011	Telephone: 202-564-5088
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/26/2012
Number of Days to Update: 61	Next Scheduled EDR Contact: 07/09/2012
	Data Release Frequency: Quarterly

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 11/01/2010	Source: EPA
Date Data Arrived at EDR: 11/10/2010	Telephone: 202-566-0500
Date Made Active in Reports: 02/16/2011	Last EDR Contact: 01/20/2012
Number of Days to Update: 98	Next Scheduled EDR Contact: 04/30/2012
	Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 06/21/2011	Source: Nuclear Regulatory Commission
Date Data Arrived at EDR: 07/15/2011	Telephone: 301-415-7169
Date Made Active in Reports: 09/13/2011	Last EDR Contact: 03/12/2012
Number of Days to Update: 60	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Quarterly

RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 01/10/2012	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/12/2012	Telephone: 202-343-9775
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 01/12/2012
Number of Days to Update: 49	Next Scheduled EDR Contact: 04/23/2012
	Data Release Frequency: Quarterly

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 10/23/2011	Source: EPA
Date Data Arrived at EDR: 12/13/2011	Telephone: (404) 562-9900
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 03/13/2012
Number of Days to Update: 79	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Quarterly

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2009	Source: EPA/NTIS
Date Data Arrived at EDR: 03/01/2011	Telephone: 800-424-9346
Date Made Active in Reports: 05/02/2011	Last EDR Contact: 02/27/2012
Number of Days to Update: 62	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Biennially

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

NPDES: NPDES Wastewater Permit List

A listing of NPDES wastewater permits issued by the Watershed Protection Branch.

Date of Government Version: 01/27/2011	Source: Department of Natural Resources
Date Data Arrived at EDR: 02/15/2011	Telephone: 404-362-2680
Date Made Active in Reports: 02/23/2011	Last EDR Contact: 02/15/2012
Number of Days to Update: 8	Next Scheduled EDR Contact: 05/28/2012
	Data Release Frequency: Varies

DRYCLEANERS: Drycleaner Database

A list of drycleaners in the state. The listing includes drycleaner facilities, that use perchloroethylene, that responded to the Notification of Compliance Status forms. It also includes those businesses that are pick-up stores only and do not conduct dry cleaning on site.

Date of Government Version: 09/18/2009	Source: Department of Natural Resources
Date Data Arrived at EDR: 09/18/2009	Telephone: 404-363-7000
Date Made Active in Reports: 10/09/2009	Last EDR Contact: 02/27/2012
Number of Days to Update: 21	Next Scheduled EDR Contact: 05/28/2012
	Data Release Frequency: Varies

AIRS: Permitted Facility & Emissions Listing

A listing of permitted Air facilities and emissions data.

Date of Government Version: 12/31/2009	Source: Department of Natural Resources
Date Data Arrived at EDR: 06/29/2011	Telephone: 404-363-7000
Date Made Active in Reports: 08/16/2011	Last EDR Contact: 02/27/2012
Number of Days to Update: 48	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Varies

TIER 2: Tier 2 Data Listing

A listing of facilities which store or manufacture hazardous materials and submit a chemical inventory report.

Date of Government Version: 12/31/2010	Source: Department of Natural Resources
Date Data Arrived at EDR: 10/25/2011	Telephone: 404-656-4852
Date Made Active in Reports: 11/18/2011	Last EDR Contact: 03/05/2012
Number of Days to Update: 24	Next Scheduled EDR Contact: 06/18/2012
	Data Release Frequency: Varies

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2005	Source: USGS
Date Data Arrived at EDR: 12/08/2006	Telephone: 202-208-3710
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 01/20/2012
Number of Days to Update: 34	Next Scheduled EDR Contact: 04/30/2012
	Data Release Frequency: Semi-Annually

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 03/07/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/09/2011	Telephone: 615-532-8599
Date Made Active in Reports: 05/02/2011	Last EDR Contact: 02/06/2012
Number of Days to Update: 54	Next Scheduled EDR Contact: 05/07/2012
	Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

FINANCIAL ASSURANCE: Financial Assurance Information Listing

A listing of financial assurance information for underground storage tank facilities.

Date of Government Version: 09/14/2010	Source: Department of Natural Resources
Date Data Arrived at EDR: 09/21/2010	Telephone: 404-362-4892
Date Made Active in Reports: 11/24/2010	Last EDR Contact: 03/16/2012
Number of Days to Update: 64	Next Scheduled EDR Contact: 07/02/2012
	Data Release Frequency: Annually

COAL ASH DOE: Sleam-Electric Plan Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2005	Source: Department of Energy
Date Data Arrived at EDR: 08/07/2009	Telephone: 202-586-8719
Date Made Active in Reports: 10/22/2009	Last EDR Contact: 01/18/2012
Number of Days to Update: 76	Next Scheduled EDR Contact: 04/30/2012
	Data Release Frequency: Varies

PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 02/01/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 10/19/2011	Telephone: 202-566-0517
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 02/03/2012
Number of Days to Update: 83	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Varies

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 08/17/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/03/2011	Telephone: N/A
Date Made Active in Reports: 03/21/2011	Last EDR Contact: 03/16/2012
Number of Days to Update: 77	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

COAL ASH: Coal Ash Disposal Site Listing

A listing of coal ash landfills.

Date of Government Version: 05/27/2011	Source: Department of Natural Resources
Date Data Arrived at EDR: 05/31/2011	Telephone: 404-362-2537
Date Made Active in Reports: 07/11/2011	Last EDR Contact: 03/05/2012
Number of Days to Update: 41	Next Scheduled EDR Contact: 05/21/2012
	Data Release Frequency: Varies

FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 12/31/2005	Source: U.S. Geological Survey
Date Data Arrived at EDR: 02/06/2006	Telephone: 888-275-8747
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 01/20/2012
Number of Days to Update: 339	Next Scheduled EDR Contact: 04/30/2012
	Data Release Frequency: N/A

EDR PROPRIETARY RECORDS

EDR Proprietary Records

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Manufactured Gas Plants: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A
Date Data Arrived at EDR: N/A
Date Made Active in Reports: N/A
Number of Days to Update: N/A

Source: EDR, Inc.
Telephone: N/A
Last EDR Contact: N/A
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 02/20/2012
Date Data Arrived at EDR: 02/20/2012
Date Made Active in Reports: 03/15/2012
Number of Days to Update: 24

Source: Department of Environmental Protection
Telephone: 860-424-3375
Last EDR Contact: 02/20/2012
Next Scheduled EDR Contact: 06/04/2012
Data Release Frequency: Annually

NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2010
Date Data Arrived at EDR: 07/20/2011
Date Made Active in Reports: 08/11/2011
Number of Days to Update: 22

Source: Department of Environmental Protection
Telephone: N/A
Last EDR Contact: 01/20/2012
Next Scheduled EDR Contact: 04/30/2012
Data Release Frequency: Annually

NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/10/2012
Date Data Arrived at EDR: 02/09/2012
Date Made Active in Reports: 03/09/2012
Number of Days to Update: 29

Source: Department of Environmental Conservation
Telephone: 518-402-8651
Last EDR Contact: 02/09/2012
Next Scheduled EDR Contact: 05/21/2012
Data Release Frequency: Annually

PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2009
Date Data Arrived at EDR: 01/26/2012
Date Made Active in Reports: 03/06/2012
Number of Days to Update: 40

Source: Department of Environmental Protection
Telephone: 717-783-8990
Last EDR Contact: 01/23/2012
Next Scheduled EDR Contact: 05/07/2012
Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2010
Date Data Arrived at EDR: 06/24/2011
Date Made Active in Reports: 06/30/2011
Number of Days to Update: 6

Source: Department of Environmental Management
Telephone: 401-222-2797
Last EDR Contact: 02/27/2012
Next Scheduled EDR Contact: 06/11/2012
Data Release Frequency: Annually

WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2010
Date Data Arrived at EDR: 08/19/2011
Date Made Active in Reports: 09/15/2011
Number of Days to Update: 27

Source: Department of Natural Resources
Telephone: N/A
Last EDR Contact: 03/19/2012
Next Scheduled EDR Contact: 07/02/2012
Data Release Frequency: Annually

Oil/Gas Pipelines: This data was obtained by EDR from the USGS in 1994. It is referred to by USGS as GeoData Digital Line Graphs from 1:100,000-Scale Maps. It was extracted from the transportation category including some oil, but primarily gas pipelines.

Electric Power Transmission Line Data

Source: Rextag Strategies Corp.
Telephone: (281) 769-2247

U.S. Electric Transmission and Power Plants Systems Digital GIS Data

Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.
Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services
Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

Nursing Homes

Source: National Institutes of Health
Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

Public Schools

Source: National Center for Education Statistics
Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics
Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Child Care Centers

Source: Department of Human Resources
Telephone: 404-651-5562

Flood Zone Data: This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002 and 2005 from the U.S. Fish and Wildlife Service.

Scanned Digital USGS 7.5' Topographic Map (DRG)

Source: United States Geologic Survey

A digital raster graphic (DRG) is a scanned image of a U.S. Geological Survey topographic map. The map images are made by scanning published paper maps on high-resolution scanners. The raster image is georeferenced and fit to the Universal Transverse Mercator (UTM) projection.

STREET AND ADDRESS INFORMATION

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GEOCHECK[®] - PHYSICAL SETTING SOURCE ADDENDUM

TARGET PROPERTY ADDRESS

PROPOSED BRASELTON COURT
DEAVER DAM ROAD
HOSCHTON, GA 30548

TARGET PROPERTY COORDINATES

Latitude (North):	34.0907 - 34° 5' 26.52"
Longitude (West):	83.8038 - 83° 48' 13.68"
Universal Tranverse Mercator:	Zone 17
UTM X (Meters):	241306.1
UTM Y (Meters):	3775567.5
Elevation:	847 ft. above sea level

USGS TOPOGRAPHIC MAP

Target Property Map:	34083-A7 AUBURN, GA
Most Recent Revision:	1993

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principal investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

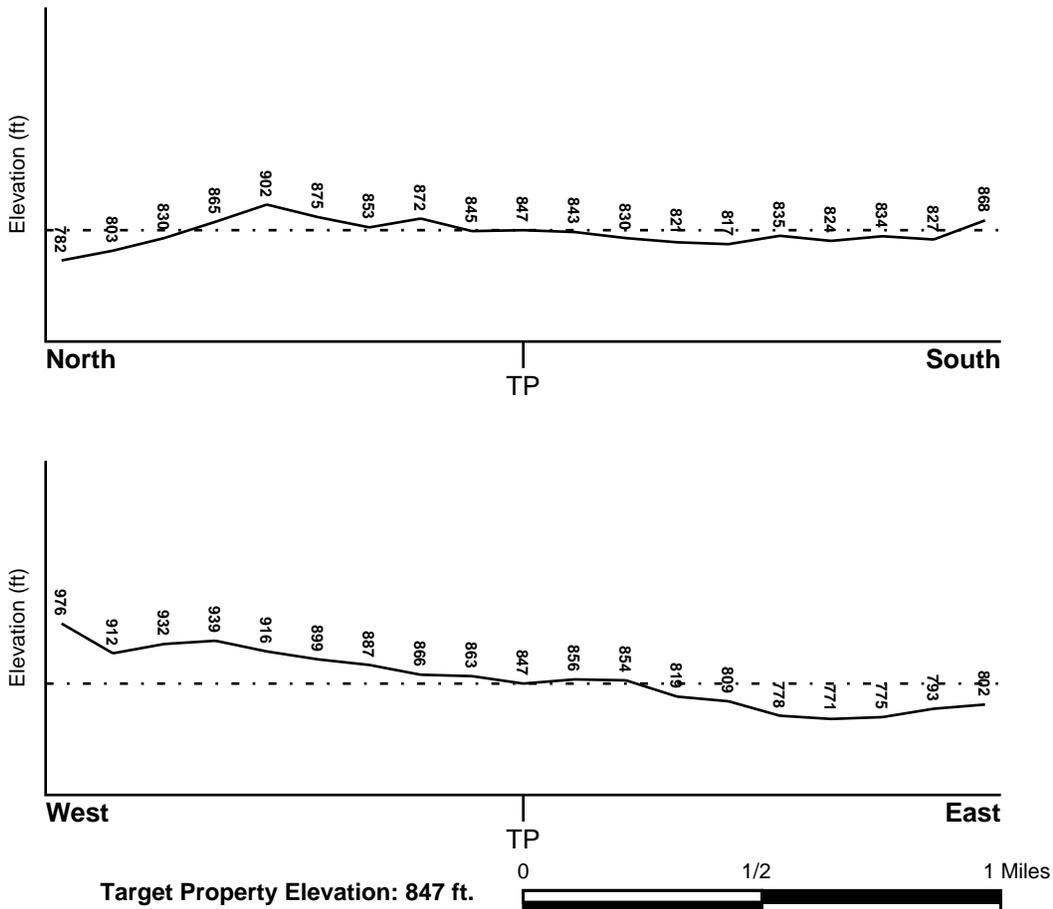
TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General SE

SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

FEMA FLOOD ZONE

<u>Target Property County</u> BARROW, GA	<u>FEMA Flood Electronic Data</u> YES - refer to the Overview Map and Detail Map
Flood Plain Panel at Target Property:	13013C - FEMA DFIRM Flood data
Additional Panels in search area:	13157C - FEMA DFIRM Flood data

NATIONAL WETLAND INVENTORY

<u>NWI Quad at Target Property</u> AUBURN	<u>NWI Electronic Data Coverage</u> YES - refer to the Overview Map and Detail Map
--	---

HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

ROCK STRATIGRAPHIC UNIT

Era: Paleozoic
System: Pennsylvanian
Series: Felsic paragneiss and schist
Code: mm1 (*decoded above as Era, System & Series*)

GEOLOGIC AGE IDENTIFICATION

Category: Metamorphic Rocks

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps. The following information is based on Soil Conservation Service STATSGO data.

Soil Component Name: CECIL

Soil Surface Texture: sandy clay loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained. Soils have intermediate water holding capacity. Depth to water table is more than 6 feet.

Hydric Status: Soil does not meet the requirements for a hydric soil.

Corrosion Potential - Uncoated Steel: HIGH

Depth to Bedrock Min: > 60 inches

Depth to Bedrock Max: > 60 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Permeability Rate (in/hr)	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	7 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 2.00 Min: 0.60	Max: 6.50 Min: 4.50
2	7 inches	11 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 2.00 Min: 0.60	Max: 5.50 Min: 4.50
3	11 inches	50 inches	clay	Silt-Clay Materials (more than 35 pct. passing No. 200), Clayey Soils.	FINE-GRAINED SOILS, Silts and Clays (liquid limit 50% or more), Elastic silt.	Max: 2.00 Min: 0.60	Max: 5.50 Min: 4.50
4	50 inches	75 inches	variable	Not reported	Not reported	Max: 0.00 Min: 0.00	Max: 0.00 Min: 0.00

OTHER SOIL TYPES IN AREA

Based on Soil Conservation Service STATSGO data, the following additional subordinator soil types may appear within the general area of target property.

Soil Surface Textures: sandy loam
loam
fine sandy loam

Surficial Soil Types: sandy loam
loam
fine sandy loam

Shallow Soil Types: clay
sandy clay
gravelly - loam

Deeper Soil Types: loamy fine sand
sandy loam
weathered bedrock

LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

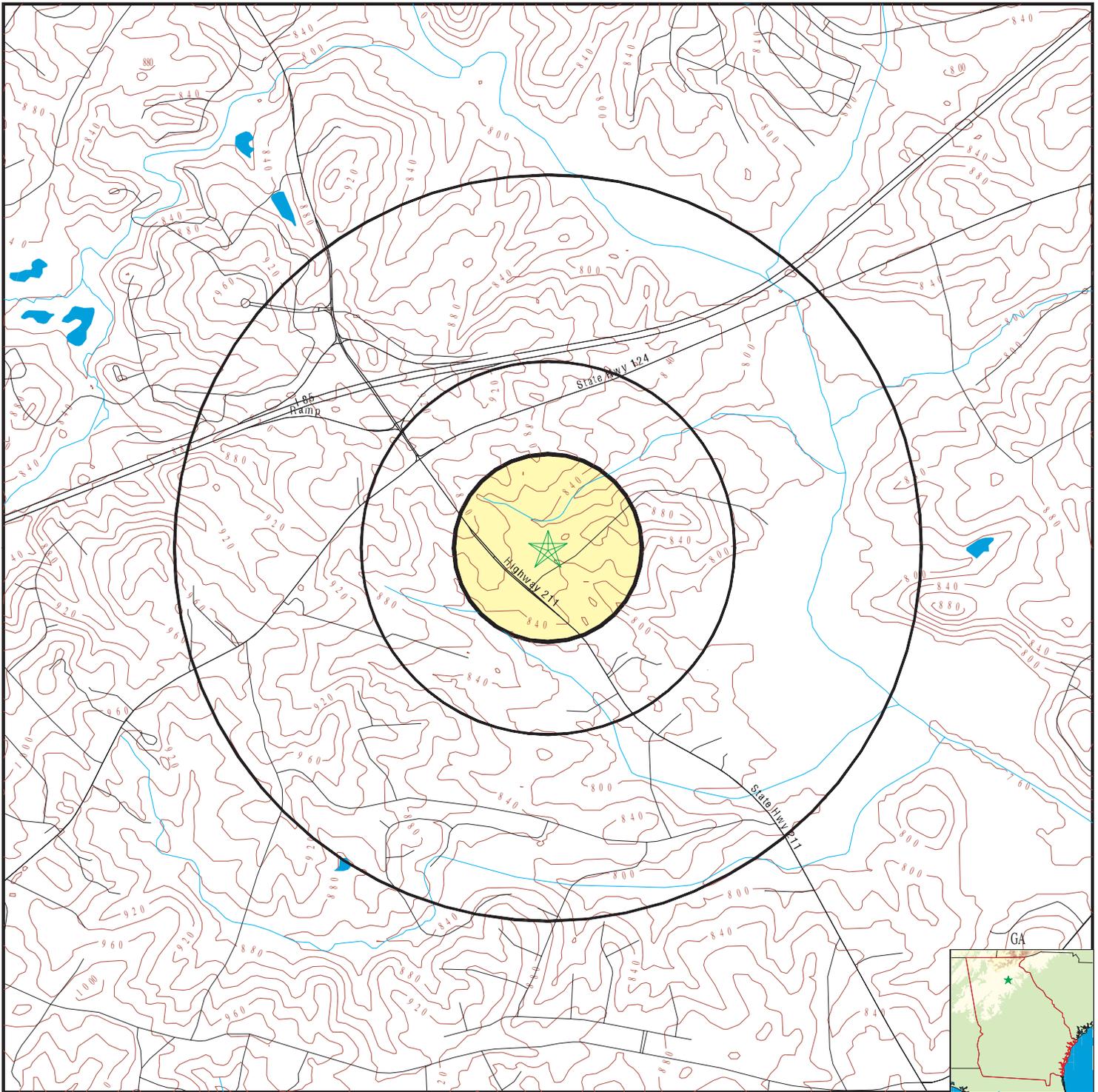
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No PWS System Found		

Note: PWS System location is not always the same as well location.

STATE DATABASE WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
No Wells Found		

PHYSICAL SETTING SOURCE MAP - 3297864.2s



-  County Boundary
-  Major Roads
-  Contour Lines
-  Earthquake epicenter, Richter 5 or greater
-  Water Wells
-  Public Water Supply Wells
-  Cluster of Multiple Icons



-  Groundwater Flow Direction
-  Wildlife Areas
-  Indeterminate Groundwater Flow at Location
-  Groundwater Flow Varies at Location



SITE NAME: Proposed Braselton Court
 ADDRESS: Deaver Dam Road
 Hoschton GA 30548
 LAT/LONG: 34.0907 / 83.8038

CLIENT: One Consulting Group, Inc.
 CONTACT: Brawner
 INQUIRY #: 3297864.2s
 DATE: April 06, 2012 9:59 am

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

Federal EPA Radon Zone for BARROW County: 2

- Note: Zone 1 indoor average level > 4 pCi/L.
 : Zone 2 indoor average level \geq 2 pCi/L and \leq 4 pCi/L.
 : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for BARROW COUNTY, GA

Number of sites tested: 8

<u>Area</u>	<u>Average Activity</u>	<u>% <4 pCi/L</u>	<u>% 4-20 pCi/L</u>	<u>% >20 pCi/L</u>
Living Area - 1st Floor	1.875 pCi/L	100%	0%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	Not Reported	Not Reported	Not Reported	Not Reported

PHYSICAL SETTING SOURCE RECORDS SEARCHED

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Scanned Digital USGS 7.5' Topographic Map (DRG)

Source: United States Geologic Survey

A digital raster graphic (DRG) is a scanned image of a U.S. Geological Survey topographic map. The map images are made by scanning published paper maps on high-resolution scanners. The raster image is georeferenced and fit to the Universal Transverse Mercator (UTM) projection.

HYDROLOGIC INFORMATION

Flood Zone Data: This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002 and 2005 from the U.S. Fish and Wildlife Service.

HYDROGEOLOGIC INFORMATION

AQUIFLOW^R Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Services, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

LOCAL / REGIONAL WATER AGENCY RECORDS

FEDERAL WATER WELLS

PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

STATE RECORDS

Georgia Public Supply Wells

Source: Georgia Department of Community Affairs

Telephone: 404-894-0127

USGS Georgia Water Wells

Source: USGS, Georgia District Office

Telephone: 770-903-9100

DNR Managed Lands

Source: Department of Natural Resources

Telephone: 706-557-3032

This dataset provides 1:24,000-scale data depicting boundaries of land parcels making up the public lands managed by the Georgia Department of Natural Resources (GDNR). It includes polygon representations of State Parks, State Historic Parks, State Conservation Parks, State Historic Sites, Wildlife Management Areas, Public Fishing Areas, Fish Hatcheries, Natural Areas and other specially-designated areas. The data were collected and located by the Georgia Department of Natural Resources. Boundaries were digitized from survey plats or other information.

OTHER STATE DATABASE INFORMATION

RADON

Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

OTHER

Airport Landing Facilities: Private and public use landing facilities

Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater

Source: Department of Commerce, National Oceanic and Atmospheric Administration

PHYSICAL SETTING SOURCE RECORDS SEARCHED

STREET AND ADDRESS INFORMATION

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Georgia Department of Natural Resources

Environmental Protection Division, Watershed Protection Branch
4220 International Parkway, Suite 101
Atlanta, Georgia 30354
FAX: 404/675-2506

April 11, 2012

Sam Urban
Robert Brawner
One Consulting Group, Inc.

RE: Open Records Request:
Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Georgia 30043
Proposed Braselton Court
Beaver Dam Road (just east of intersection
With GA Hwy 211)
Braselton, Georgia 30548

Dear Mr. Urban:

This is in response to your recent request, made under the Georgia Open Records Act (GORA) regarding information from our files on the above referenced properties.

A review of Watershed Protection Branch files indicates that we have no information concerning the above referenced properties as listed in your request.

For further assistance, please contact Renee Walker at (404) 675-1743 or by email at renee_walker@dnr.state.ga.us.

Sincerely,

Renee Walker
GORA Secretary

Rlw

Robert Brawner

From: Kim Feagler [Kim.Feagler@dnr.state.ga.us]
Sent: Thursday, April 12, 2012 2:28 PM
To: Robert Brawner
Subject: Open Records Request - Beaver Dam Road

Mr. Brawner,

This is in response to your recent request made under the Georgia Open Records Act (GORA) regarding information from our files on the referenced facility.

A review of the Land Protection Branch files indicate that we have no information concerning the referenced facility as listed in your request. The Land Protection Branch consists of the Hazardous Waste Management Program, Underground Storage Tank Program, Solid Waste Management Program, Surface Mining Management Program, Scrap Tire Management Program, and the Lead-Based Paint & Asbestos Program.

Please let me know if you have any questions or need further assistance.

Thank you



UST Inspection Checklist

Underground Storage Tank Management Program

11/20/2007

1745 GA Hwy 211, Hartsonton

30548

Facility ID: 9007040

County: Barrow

Facility Name: Shell Food Mart

Annual Tank Registration Certificate Yes No

Lat: 34°05.6481 Lon: 83°48.5611

Notification Status OK Corrected

Financial Responsibility GUST Trust Fund Participant \$10,000 Deductible

Insurance or Other Documentation

TANKS/PIPING SECTION I

	CORROSION PROTECTION TYPE		OVERFILL PREVENTION TYPE	SPILL PREVENTION	PRESSURIZED OR SUCTION PIPING
	TANKS	PIPING			
10K 187	STI-P3	FRP	Ball Float	Yes	Pressure
10K 293	↓	↓	↓	↓	↓
8K UL 50	↓	↓	↓	↓	↓
4					
5					

LEAK DETECTION SECTION II

1) Inventory Control & Tank Tightness Testing (TTT): Records available for 12 months
 Test Date: _____ - 40 CFR 280.43(a)

a) 1/8 Stick Readings

d) Water Check

b) Stick Daily

e) Reconcile Monthly

c) UST has been upgraded or installed with CP less than 10 years

Gilbarco

2) ATG: Records available for 12 months - 40 CFR 280.43(d) Brand: EMC

3) Manual Tank Gauging: Records available for 12 months - 40 CFR 280.43(b)

4) Manual Tank Gauging & TTT: Records available for 12 months

Test Date: _____ - 40 CFR 280.43(b)

5) SIR: Records available for 12 months: Vendor: _____ - 40 CFR 280.43(h)

6) Vapor Monitoring: Records available for 12 months - 40 CFR 280.43(e)

a) Site assessment

b) Monitoring device functional and/or calibrated

7) Groundwater Monitoring: Records available for 12 months - 40 CFR 280.43(f)

a) Site assessment

b) Monitoring device functional and/or calibrated

8) Interstitial Monitoring: Records/Sensor Check Record for 12 months

a) Monitoring device functional and/or calibrated - 40 CFR 280.43(g)

SECTION III

PRESSURIZED PIPING

SUCTION PIPING

1) Annual Line Tightness Test

4) Check Valve Under Dispenser

Test Date: 11/27/07

5) 3 Year Tightness Test

2) Mechanical LLD

Test Date: _____

Test Date: 2/22/2007 + 11/27/2007

3) Electronic LLD / ATG: Records available for 12 months

Test Date: _____

6) SIR: Records available for 12 months

7) Interstitial Monitoring

Sensor Check/Visual records available for 12 months

8) Other: _____

CORROSION PROTECTION

SECTION IV

1) Cathodic Protection

a) Impressed Current System 60 day log maintained

Dates of the last system test: _____

b) Galvanic

Dates of the last system test: 3/20/2006

2) Internal Lining

Internal lining inspection Date: _____

3) CP Plus interior lining (Internal lining inspection n/a)

REPAIRS

SECTION V

1) Repair records submitted

Test Date: _____

CONCLUSION

SECTION VI

1) Additional information requested on 11/20/07 -> 12/4/07

2) Notice of Compliance Issued on 12/4/07

3) Notice of Violation/ECO Issued on _____

a) Response to NOV/ECO received on _____

b) NOV status letter sent on _____

4) Referred for enforcement

COMMENTS

SECTION VII

INSPECTOR'S SIGNATURE

SECTION VIII

I certify under penalty of law, that all information on this report is true, accurate and complete, to the best of my knowledge.

Team Leader Review { }

Date: _____

Inspector Signature: Charles McDaniel

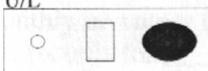
Date: 11/20/2007

GASOLINE DISPENSING FACILITY DRAWING

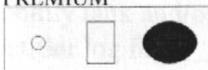
X - REMOTE

STORE

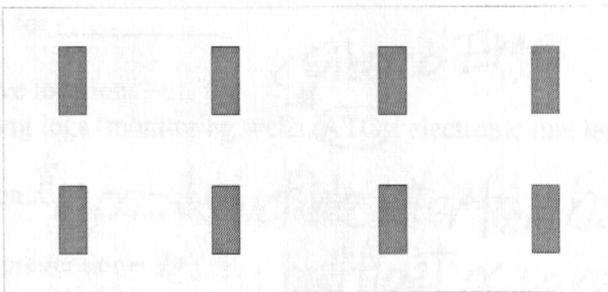
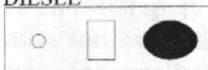
U/L



PREMIUM



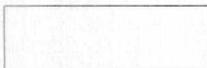
DIESEL



HIGHWAY 211 NW

*If a dispenser is present, please mark inside the dispenser the product dispensed, U(unleaded), D(diesel), etc.

LEGEND

	Dispenser		Vent		Vapor Recovery Poppett		Fill		ATG
	Subpump		MPD		Underground Storage Tank				

*AA Petroleum Testing Services
of GA*

SHELL FOOD MART
1945 HIGHWAY 211 NW
HOSCHTON, GA 30548

Date: 3/22/06

Drawing By: SMC

Site Map

Hoschton, GA

ADDITIONAL REQUIREMENT CHECKLIST

FACILITY NAME Shell Food Mart

INSPECTION DATE 11/20/2007

FACILITY COUNTY Jackson

FACILITY ID 9007040

Mail documentation supporting violation(s) correction to: _____

404-362-2583

Attention Charles McDaniel, Compliance Officer

Send the following:

- Completed and signed original notification form
- Copy of current certificate
- Repair and testing records
- Results of:
 - Tank tightness test
 - Line tightness test
 - Corrosion protection system test
 - Automatic line leak detector test mechanical line leak detector
- Monthly inventory control records for _____
- SIR records for _____
- Proof of suction system check valve location
- Monthly tank and/or line monitoring logs (monitoring wells, ATGs, electronic line leak detectors, etc.)
- Rectifier log for _____
- Financial responsibility information \$10,000 deductible letter from bank
- UST closure report
- Invoice for installation of overfill prevention verify ball float or no ball float for each tank
- Invoice for installation of corrosion protection
- Internal lining inspection report for _____ (contractor letter to verify this)

Gibarco EMC

Run the following tests and send a copy of the results:

- Automatic line leak detector test
- Line tightness test
- Tank tightness test
- Corrosion protection system test
- Site check
- Other _____

EPD must receive documentation by 12/4/2007 to avoid enforcement and monetary penalties.

Install or repair the following and send a copy of the invoice:

- Automatic line leak detector
- Spill prevention system
- Overfill prevention system
- Corrosion protection on _____
- Drop tubes in fill pipes
- New gauging stick
- Other _____

Start doing the following and maintain adequate records to document implementation:

- | | |
|---|---|
| <input type="checkbox"/> Daily inventory readings | <input type="checkbox"/> Measurements to 1/8" |
| <input type="checkbox"/> Monthly reconciliation | <input type="checkbox"/> Water measurements |
| <input type="checkbox"/> Monthly test using the ATG | <input type="checkbox"/> Monthly line test (ELLD) |
| <input type="checkbox"/> Manual tank gauging | <input type="checkbox"/> Rectifier log |

STATE OF GEORGIA ANNUAL UNDERGROUND STORAGE TANK REGISTRATION FORM (2007)

Page 1 of 2

Facility Id 09007040

Location County: BARROW

Owner ID: 4707

Is Every tank(s) provided with functional Spill Prevention (Used Oil tanks are exempt)? Yes No

Is Every tank(s) provided with functional Overfill Prevention (Used Oil tanks are exempt)? Yes No

Is Every Bore Steel tank(s) and/or Pipes(s) provided with Corrosion Protection? Yes No

Does this facility meet the Leak Detection Requirements? Yes No

Have you removed or closed any tanks at this facility since last registration? Yes No

Tank ID	1	2	3
Product	Gas	Gas	Diesel
Size	12000	12000	8000
Status	Currently In Use	Currently In Use	Currently In Use

LOCATION OF TANK(S):

OWNERSHIP OF TANK(S): () New Owner?

Email:

OPERATOR OF TANK(S):

Email:

Telephone Number: 770-868-8790

Certificate will be mailed to the address listed below:
770-868-8790

770-868-8790

SHELL FOOD MART
ATTN
1945 HWY 211
HOSCHTON GA 30548

BRASLETON DEVELOPERS INC
ATTN SONNY ROSHAN
1945 HWY 211
HOSCHTON GA 30548

BRASLETON DEVELOPERS INC
ATTN SONNY ROSHAN
1945 HWY 211
HOSCHTON GA 30548

CERTIFICATION

I certify under penalty of the law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the submitted information is true, accurate, and complete.

Print Name: SONNY ROSHAN

OWNER

OPERATOR

Signature: *Sonny Roshan*

Date: 11.9.06

Route to

File

RECEIVED USTMP
Data Management

DEC - 7 2006

STATE OF GEORGIA ANNUAL UNDERGROUND STORAGE TANK REGISTRATION FORM (2007)

Facility ID 09007040

FINANCIAL RESPONSIBILITY (check one)

I do not meet the financial responsibility requirements of 12-13-9 Official Code of Georgia Annotated by providing or participating in one of the following financial assurance mechanisms.

Primary (\$1,000,000) Financial Responsibility Mechanism: (check one)

- GUST Trust Fund
- Risk Retention Group
- Insurance
- Self Insured
- Surety Bond
- Letter of Credit
- Guarantee
- Other Method _____
- Trust Fund (other than GUST)

If a primary coverage mechanism other than GUST Trust Fund is checked, provide the following information pursuant to GUST Rule 391-3-15-12(1):

Financial Responsibility Provider (Primary): Name: _____

Address: _____

Mechanism/Policy Anniversary Date: _____

Mechanism /Policy ID Number: _____

If your Primary Financial Responsibility Mechanism is GUST Trust Fund indicate below the Mechanism for the \$10,000 deductible.

- Deductible (\$10,000) Financial Responsibility Mechanism (check one)
- Insurance
- Surety Bond
- Risk Retention Group
- Self Insured
- Guarantee
- Trust Fund
- Letter of Credit
- Other Method _____

Please indicate the appropriate Tank ID's noted in the first page of this form

Release Detection - Tanks

Tank ID	Automatic Tank Gauge	Interstitial Monitoring/Secondary Containment	SIR (Statistical Inventory Reconciliation)	Inventory Control/ Tank Tightness Testing	Manual Tank Gauging (only valid for tanks < 2000 gals)	Ground Water Monitoring	Vapor Monitoring (Not Stage II)	Exempt
1	Y			Y		Y	Y	
2	Y			Y		Y	Y	
3	Y			Y		Y	Y	

Release Detection - Piping:

Tank ID	Mechanical Line Leak Detection	Line Tightness Testing	Electronic Line Leak Detection	Interstitial Monitoring/Secondary Containment	SIR (Statistical Inventory Reconciliation)	Ground Water Monitoring	Vapor Monitoring (Not Stage II)	Exempt
1	Y	Y			Y	Y	Y	
2	Y	Y			Y	Y	Y	
3	Y	Y			Y	Y	Y	

APPENDIX H

RECORD OF COMMUNICATIONS AND INTERVIEWS

ENVIRONMENTAL SITE ASSESSMENT PHASE I USER QUESTIONNAIRE

Upon completion, please return this form (along with any attachments) to:

ONE CONSULTING GROUP, INCORPORATED
POST OFFICE BOX 54382, ATLANTA, GEORGIA 30308
FACSIMILE – (404) 815-8002

According to the ASTM E 1527-05 Standard Practice, it is the responsibility of the User of the Phase I Environmental Site Assessment (ESA) to communicate certain information to the environmental professional conducting the Phase I ESA. Please complete this Phase I ESA User Questionnaire so that One Consulting Group, Inc. may ascertain whether you or your firm (as the "User" of the Phase I ESA) possess any specialized knowledge or experience which is material to any "recognized environmental condition" (as defined by ASTM E 1527-05).

COMPLETE AND CORRECT SITE INFORMATION

Property Name: Braselton Court

Address: 1018 Beaver Dam Road

City, State, Zip: Braselton, GA 30548

County / Occupant: Barrow County

Please provide a map or survey documenting Site location and boundaries. Also, please provide any and all title information as soon as it is readily available.

Property Owner

Key Site Manager

Contact Name: (The Norton Agency) c/o Stephen Lovett / Jervon Harris

Company Name: PB Real Estate, LLC / NorSouth Development Company

Address: 3423 Piedmont Road, Suite 300 / 2000 RiverEdge Pkwy., Suite 950

City, State, Zip: Atlanta, GA 30305 / Atlanta, GA 30328

Phone & Fax: (770) 297-4307 & (770) 287-7033 / (678) 460-2868 & (770) 850-8230

E-mail: Slovett@nortoncommercial.com / Jervon@norsouth.com

Site Type:

- Commercial Industrial / Manufacturing Multi-Family Residential
- Mixed – Use (Residential and Commercial)
- Vacant / Undeveloped / Raw Land / Single-Family Residential
- Other, please explain: _____

Type of Transaction:

Purchase Finance Sale Non-transaction Inquiry

Other, please explain: _____

Do you have any Knowledge or Experience with the Property that may be Pertinent (i.e., copies of prior ESA or environmental reports, documents, correspondence, etc., concerning the Property and its environmental condition)?

None

LANDOWNER LIABILITY PROTECTIONS

ASTM E 1527-05 states: "In order to qualify for one of the Landowner Liability Protections (LLPs) offered by the Small Business Liability Relief and Brownfields Revitalization Act of 2001 (the "Brownfields Amendments"), the user must provide the following information (if available) to the environmental professional. Failure to provide this information could result in a determination that "all appropriate inquiry" is not complete." Please complete the following questions:

- (1) **Environmental cleanup liens that are filed or recorded against the site (40 CFR 312.25).** Are you aware of any environmental cleanup liens against the Site that are filed or recorded under federal, tribal, state, or local law? Yes No
- (2) **Activity and land use limitations that are in place on the site or that have been filed or recorded in a registry (40 CFR 312.26).** Are you aware of any activity and use limitations (AULs), such as engineering controls, land use restrictions or institutional controls that are in place at the site and/or have been filed or recorded in a registry under federal, tribal, state or local law? Yes No
- (3) **Specialized knowledge or experience of the person seeking to qualify for the LLP (40 CFR 312.29).** As the user of this ESA do you have any specialized knowledge or experience related to the Site or nearby properties? For example, are you involved in the same line of business as the current or former occupants of the Site or an adjoining property so that you would have specialized knowledge of the chemicals and processes used by this type of business? Yes No

- (4) **Relationship of the purchase price to the fair market value of the Site if it were not contaminated (40 CFR 312.29).** Does the purchase price being paid reasonably reflect the fair market value of the Site? Yes No

If you conclude that there is a difference, have you considered whether the lower purchase price is because contamination is known or believed to be present at the Site?

Yes No

- (5) **Commonly known or reasonably ascertainable information about the Site (40 CFR 312.30).** Are you aware of commonly known or reasonably ascertainable information about the Site that would help the environmental professional to identify conditions indicative of releases or threatened releases? Yes No

For example, as user:

- Do you know the specific past uses of the Site? Yes No
- Do you know of specific chemicals that are present or once were present at the Site? Yes No
- Do you know of spills or other chemical releases that have taken place at the Site? Yes No
- Do you know of any environmental cleanups that have taken place at the Site? Yes No

- (6) **The degree of obviousness of the presence or likely presence of contamination at the Site, and the ability to detect the contamination by appropriate investigation (40 CFR 312.31).** As the user of this ESA, based on your knowledge and experience related to the Site are there any obvious indicators that point to the presence or likely presence of contamination at the Site? Yes No

PROCEEDINGS INVOLVING THE PROPERTY

Are you aware of any pending, threatened, or past litigation relevant to Hazardous Substances or Petroleum Products in, on, or from the Site? Yes No

If yes, explain: _____

Are you aware of any pending, threatened, or past administrative proceeding relevant to Hazardous Substances or Petroleum Products in, on, or from the Site?

Yes No

If yes, explain: _____

Are you aware of any notice from any governmental entity regarding any possible violation of environmental laws or possible liability relating to Hazardous Substances or Petroleum Products?

Yes No

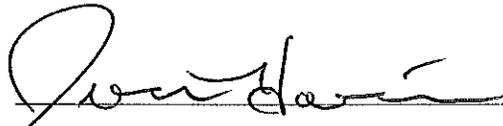
If yes, explain: _____

SIGNATURE

I represent that the above answers are true and correct to the best of my knowledge and that no material facts have been knowingly suppressed or misstated.

Company Name: NorSouth Development Company

Agent Name: Jervon Harris, Vice President of Development

Signature: 

Date: April 10, 2012

**PHASE I ENVIRONMENTAL SITE ASSESSMENT
GENERAL PROPERTY QUESTIONNAIRE**

Upon completion, please return this form (along with any attachments) to:

**ONE CONSULTING GROUP, INCORPORATED
POST OFFICE BOX 54382, ATLANTA, GEORGIA 30308
FACSIMILE – (404) 815-8002**

Please complete this Site Questionnaire so that One Consulting Group, Inc. may ascertain whether you or your firm possess any specialized knowledge or experience which is material to any “recognized environmental condition” (as defined by ASTM E 1527-05).

COMPLETE AND CORRECT SITE INFORMATION

Property Name: Century Center at Braselton _____

Address: **Northwest Quadrant Thompson Mill Road & Beaver Dam Road**

City, State, Zip: Braselton, Georgia 30548 _____

County, Parrish or Regional Government: **Barrow? County** _____

If available, please provide a map or survey documenting Site location and boundaries.

Property Owner

Key Site Manager

Contact Name: ANDREW CATHLINA _____ / _____

Company Name: PB GA OREO LLC _____ / _____

Address: 120 S. LASALLE STREET _____ / _____

City, State, Zip: CHICAGO IL 60603 _____ / _____

Phone & Fax: 312 564 1634 //312 683 0438 _____ / _____

E-mail: ACATHLINA@THEPRIVATEBANK.COM _____ / _____

Site Type:

Commercial Industrial / Manufacturing Multi-Family Residential

Mixed – Use (Residential and Commercial)

Vacant / Undeveloped / Raw Land / Single-Family Residential

Other, please explain: _____

GENERAL PROPERTY INFORMATION

Size of Property (acres): 13.172 ACRES _____

Date of Construction/First Occupied: VACANT, UNDEVELOPED LAND _____

Renovation Date (if applicable): NA _____

Number of Buildings/stories: NA _____

Current Occupant: NA _____

For apartments/assisted living, please provide a list of apartment types indicating # of bedrooms/bathrooms, square footage, and quantity. For office/retail, please provide a rent roll with rentable square footage.

Please list the following utility service providers and their contact information for the Site:

Electricity: ~~Georgia Power 888 655 5558~~ Jackson EMC 706-967-5281

Natural Gas: Atlanta Gas Light 800-427-5463

Solid Waste: City of Braselton }
 Water: City of Braselton } 706-654-3915
 Storm Sewer: City of Braselton }
 Sanitary Sewer: City of Braselton }

Landscaping: _____

Pest Control: _____

LOCAL JURISDICTION INFORMATION

What is the Government Municipality or County with jurisdiction over the property?

BARROW COUNTY _____

What is the local Tax ID#, Lot and Block, or Township/Range ID#?
BR023-20, BR023-21, BR023-22, BR203-23

What fire department services the property and how often are site inspections performed?
NA

Please list any deficiencies/violations reported by the building, fire, or health department.

N/A

REGULATORY ENVIRONMENTAL INFORMATION

Do you have any Knowledge or Experience with the Site that may be Pertinent (i.e., copies of prior Environmental Site Assessments or environmental reports, documents, correspondence, etc., concerning the Site and its environmental condition)? Specifically:

Environmental cleanup liens that are filed or recorded against the site (40 CFR 312.25). Are you aware of any environmental cleanup liens against the Site that are filed or recorded under federal, tribal, state, or local law? Yes No

Activity and land use limitations that are in place on the site or that have been filed or recorded in a registry (40 CFR 312.26). Are you aware of any activity and use limitations (AULs), such as engineering controls, land use restrictions or institutional controls that are in place at the Site and/or have been filed or recorded in a registry under federal, tribal, state or local law? Yes No

Commonly known or reasonably ascertainable information about the Property (40 CFR 312.30). Are you aware of commonly known or reasonably ascertainable information about the Site that would help the environmental professional to identify conditions indicative of releases or threatened releases? Yes No

If you answered yes to any of the above questions, please explain: N/A

ENVIRONMENTAL PROCEEDINGS INVOLVING THE SITE

Are you aware of any pending, threatened, or past litigation relevant to Hazardous Substances or Petroleum Products in, on, or from the Site? Yes No If yes, explain: _____

Are you aware of any pending, threatened, or past administrative proceeding relevant to Hazardous Substances or Petroleum Products in, on, or from the Site? Yes No If yes, explain: _____

Are you aware of any notice from any governmental entity regarding any possible violation of environmental laws or possible liability relating to Hazardous Substances or Petroleum Products? Yes No If yes, explain: _____

SITE ENVIRONMENTAL INFORMATION

Are you aware of any **underground or above ground storage tanks, petroleum dispensers, and/or heating oil tanks** on, adjacent, and/or adjoining the Site?

Yes No If yes, explain: _____

Are you aware of the **current or past presence of a dry cleaning facility** at, adjacent to, and/or nearby the Site?

Yes No If yes, explain: _____

Is there any **known (past or present) use, storage, or disposal of hazardous materials, chemicals, or substances** on, adjacent to, or nearby the Site?

Yes No If yes, explain: _____

Are you aware of any **drums of unidentified waste** on, adjacent to, or nearby the Site?

Yes No If yes, explain: _____

Are you aware of any **strong, noxious or pungent odors** on, adjacent to, or nearby the Site?

Yes No If yes, explain: _____

Are you aware of any **unidentified substance containers** on, adjacent to, or nearby the Site?

Yes No If yes, explain: _____

Are you aware of any **poly-chlorinated biphenyls (PCBs) or electrical transformers** on, adjacent to, or nearby the Site?

Yes No If yes, explain: _____

Are you aware of any **sanitary water discharging to an onsite septic tank system or a water well actively withdrawing water** on, adjacent to, or nearby the Site?

Yes No If yes, explain: _____

Are you aware of any **sumps, drains, floor drains, or pits** on the Site?

Yes No If yes, explain: _____

ADDITIONAL INFORMATION

If available, please provide the following documents or information along with this questionnaire:

- Reduced scale site and building plans
- Certificate of occupancy and/or building permit
- Copy of property tax records
- Copy of any outstanding violations
- History of recent improvements
- Previous due diligence reports
- Roof warranties or additional warranties

SIGNATURE

I represent that the above answers are true and correct to the best of my knowledge and that no material facts have been knowingly suppressed or misstated.

Company Name: The PB Real Estate, LLC

Agent Name: ANDREW J. CATHLINA

Signature: Andrew J. Cathlina

Date: 4/26/12

3 May 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

GA DNR EPD Hazardous Waste Branch

Attention: Madeleine Kellam

Floyd Towers East, Suite 1162

2 Martin Luther King, Jr. Drive SE

Atlanta, Georgia 30308

E-mail: madeleine_kellam@dnr.state.ga.us

Phone: 404.656.7802

Facsimile: 404.651.9425

Subject:

Proposed Braselton Court

Beaver Dam Road (just east of intersection with GA HWY 211)

Braselton, Barrow County, Georgia 30548

Tax Parcel BR023 023 & BR023 20

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced properties, an assemblage of three properties. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Brownfield designation;
- Engineering controls;
- Environmental liens;
- Land use restrictions;

If you have any questions please contact me at either 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,

One Consulting Group, Inc.



Robert Brawner
Project Manager

Date/Time: May. 3. 2012 3:51PM

File No.	Mode	Destination	Pg (s)	Result	Page Not Sent
8368	Memory TX	4046519425	P. 1	OK	

Reason for error

E. 1) Hang up or line fail	E. 2) Busy
E. 3) No answer	E. 4) No facsimile connection
E. 5) Exceeded max. E-mail size	

3 May 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

GA DNR EPD Hazardous Waste Branch
 Attention: Madeline Kellam E-mail: madelaine_kellam@dnr.state.ga.us
 Ployd Towers East, Suite 1162 Phone: 404.656.7802
 2 Martin Luther King, Jr. Drive SE Facsimile: 404.651.9425
 Atlanta, Georgia 30308

Subject: Proposed Braselton Court
 Beaver Dam Road (Just east of intersection with GA HWY 211)
 Braselton, Barrow County, Georgia 30548
 Tax Parcel BR023 013 & BR023 20

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced properties, an assemblage of three properties. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Brownfield designation;
- Engineering controls;
- Environmental liens;
- Land use restrictions;

If you have any questions please contact me at either 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
 One Consulting Group, Inc.


 Robert Brawner
 Project Manager

12 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Georgia Department of Natural Resources
Environmental Protection Division
Floyd Towers East
2 Martin Luther King, Jr. Drive SE
Atlanta, Georgia 30334

E-mail: Stephanie_helmig@dnr.state.ga.us
Phone: (404) 463-7600
Facsimile: (706) 369-6398 (Program Coordination)

Attention: Stephanie Helmig (Program Coordination)

Subject: **Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Hazardous material use, storage, spillage or disposal;
- Bulk petroleum storage (underground and aboveground storage tanks);
- Fire records including permits, records of historic fires, and code violations
- Onsite septic system permits, inspection records, and violations;
- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Georgia Department of Natural Resources

Environmental Protection Division, Watershed Protection Branch
4220 International Parkway, Suite 101
Atlanta, Georgia 30354
FAX: 404/675-2506

April 11, 2012

Sam Urban
Robert Brawner
One Consulting Group, Inc.

RE: Open Records Request:
Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Georgia 30043
Proposed Braselton Court
Beaver Dam Road (just east of intersection
With GA Hwy 211)
Braselton, Georgia 30548

Dear Mr. Urban:

This is in response to your recent request, made under the Georgia Open Records Act (GORA) regarding information from our files on the above referenced properties.

A review of Watershed Protection Branch files indicates that we have no information concerning the above referenced properties as listed in your request.

For further assistance, please contact Renee Walker at (404) 675-1743 or by email at renee_walker@dnr.state.ga.us.

Sincerely,

Renee Walker
GORA Secretary

Rlw

Robert Brawner

From: Kim Feagler [Kim.Feagler@dnr.state.ga.us]
Sent: Thursday, April 12, 2012 2:28 PM
To: Robert Brawner
Subject: Open Records Request - Beaver Dam Road

Mr. Brawner,

This is in response to your recent request made under the Georgia Open Records Act (GORA) regarding information from our files on the referenced facility.

A review of the Land Protection Branch files indicate that we have no information concerning the referenced facility as listed in your request. The Land Protection Branch consists of the Hazardous Waste Management Program, Underground Storage Tank Program, Solid Waste Management Program, Surface Mining Management Program, Scrap Tire Management Program, and the Lead-Based Paint & Asbestos Program.

Please let me know if you have any questions or need further assistance.

Thank you

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Barrow County Water Authority
106 Lanthier Street
Winder, GA 30680

E-mail:
Phone: 770.307.3014
Facsimile: 770.307.3118

Subject: **Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Hazardous material use, storage, spillage or disposal;
- Bulk petroleum storage (underground and aboveground storage tanks);
- Fire records including permits, records of historic fires, and code violations
- Onsite septic system permits, inspection records, and violations;
- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Barrow County Sheriff's Office
30 North Broad Street
Winder, GA 30680

E-mail:
Phone: 770.307.3080
Facsimile: 770.867.0663

Subject: **Proposed Hearthside at Sugarloaf
1625 Atkinson Road
Lawrenceville, Gwinnett County, Georgia 30043
Tax Parcel R7074 006**

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Hazardous material use, storage, spillage or disposal;
- Bulk petroleum storage (underground and aboveground storage tanks);
- Fire records including permits, records of historic fires, and code violations
- Onsite septic system permits, inspection records, and violations;
- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Date/Time: Apr. 6. 2012 2:21PM

File No.	Mode	Destination	Pg (s)	Result	Page Not Sent
8190	Memory TX	7703073118	P. 1	E-9)3)	P. 1

Reason for error

E. 1)	Hang up or line fail	E. 2)	Busy
E. 3)	No answer	E. 4)	No facsimile connection
E. 5)	Exceeded max. E-mail size		

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Barrow County Water Authority
106 Landis Street
Winder, GA 30680

E-mail:
Phone: 770.307.3014
Facsimile: 770.307.3118

Subject: Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20

To Whom It May Concern:

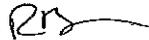
One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Hazardous material use, storage, spillage or disposal;
- Bulk petroleum storage (underground and aboveground storage tanks);
- Fire records including permits, records of historic fires, and code violations
- Onsite septic system permits, inspection records, and violations;
- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecgr.com.

In the event you have information to send, please do so via electronic mail (robert@onecgr.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Branner
Project Manager

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Barrow County Tax Commissioner
233 E Broad Street
Winder, GA 30680

E-mail:
Phone: 770.307.3106
Facsimile: 770.867.8985

Subject: **Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Hazardous material use, storage, spillage or disposal;
- Bulk petroleum storage (underground and aboveground storage tanks);
- Fire records including permits, records of historic fires, and code violations
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- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Date/Time: Apr. 6. 2012 2:21PM

File No.	Mode	Destination	Pg (s)	Result	Page Not Sent
8189	Memory TX	7708678985	P. 1	OK	

Reason for error

- E. 1) Hang up or line fail
- E. 3) No answer
- E. 5) Exceeded max. E-mail size

- E. 2) Busy
- E. 4) No facsimile connection

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Barrow County Tax Commissioner
 233 E Broad Street
 Winder, GA 30680

E-mail:
 Phone: 770.307.3105
 Facsimile: 770.867.8985

Subject: **Proposed Braselton Court
 Beaver Dam Road (just east of intersection with GA HWY 211)
 Braselton, Barrow County, Georgia 30548
 Tax Parcel BR023 023 & BR023 20**

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

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- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
 One Consulting Group, Inc.



Robert Brawner
 Project Manager

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Barrow County Planning Department
Annex Building
2336 East Broad Street
Winder, GA 30680

E-mail:
Phone: 770.307.3034
Facsimile: 770.307.3004

Subject: **Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Hazardous material use, storage, spillage or disposal;
- Bulk petroleum storage (underground and aboveground storage tanks);
- Fire records including permits, records of historic fires, and code violations
- Onsite septic system permits, inspection records, and violations;
- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Date/Time: Apr. 6. 2012 2:22PM

File No.	Mode	Destination	Pg(s)	Result	Page Not Sent
8191	Memory TX	7703073004	P. 1	OK	

Reason for error
 E. 1) Hang up or line fail
 E. 2) Busy
 E. 3) No answer
 E. 4) No facsimile connection
 E. 5) Exceeded max. E-mail size

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Barrow County Planning Department
 Annex Building
 2336 East Broad Street
 Winder, GA 30680

E-mail:
 Phone: 770.307.3034
 Facsimile: 770.307.3004

Subject: **Proposed Braselton Court
 Beaver Dam Road (just east of intersection with GA HWY 211)
 Braselton, Barrow County, Georgia 30548
 Tax Parcel BR023 023 & BR023 20**

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to this subject property. Potential issues can include, but are not limited to, the following:

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- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
 One Consulting Group, Inc.



Robert Brawner
 Project Manager

Robert Brawner

From: Kevin Keller [kdkeller@braselton.net]
Sent: Monday, April 09, 2012 11:54 AM
To: Robert Brawner
Subject: Proposed Braselton Court

This e-mail is in response to your information request received on April 6 concerning the proposed Braselton Court.

1. This property was annexed into Braselton in 2004. Any activity on this property prior to that would have been under the jurisdiction of Barrow County.
2. This office is not aware of any hazardous material use, storage, spillage, or disposal.
3. This office does not possess any fire records. I would recommend contacting the Barrow County Fire Marshal for records of such activity.
4. This office does not have any records related to onsite septic systems for this property. This office does not regulate onsite septic systems. Such systems are regulated and permitted by the Barrow County Environmental Health Department. We are not aware of any active septic system on the property.
5. This office is not aware of any water wells, nor does not possess any well inspection records.
6. This office is not aware of any Environmental liens on the property.
7. Since the time this property was annexed in 2004, there have been no structures permitted for the property that would warrant any certificate of occupancy.

Kevin D. Keller, AICP
Braselton, GA
Planning and Development Director
PO Box 306
4986 Hwy. 53
Braselton, Georgia 30517
(706) 654-5797 (direct line)
(706) 654-9237 (fax)
kdkeller@braselton.net

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Barrow County Environmental Health Services
P.O. Drawer 1099
233 East Broad Street
Winder, Georgia 30680

E-mail:
Phone: 770.307.3507
Facsimile: 770.307.3835

Subject: **Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

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- Bulk petroleum storage (underground and aboveground storage tanks);
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- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Date/Time: Apr. 6. 2012 1:48PM

File No.	Mode	Destination	Pg(s)	Result	Page Not Sent
8182	Memory TX	7703073835	P. 1	OK	

Reason for error

E. 1)	Hang up or line fail	E. 2)	Busy
E. 3)	No answer	E. 4)	No facsimile connection
E. 5)	Exceeded max. E-mail size		

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Barrow County Environmental Health Services
P.O. Drawer 1099
233 East Broad Street
Winder, Georgia 30680

E-mail:
Phone: 770.307.3507
Facsimile: 770.307.3835

Subject: Proposed Braselton Court
Beaver Dam Road (just east of Intercession with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20

To Whom It May Concern:

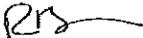
One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

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- Bulk petroleum storage (underground and aboveground storage tanks);
- Fire records including permits, records of historic fires, and code violations
- Onsite septic system permits, inspection records, and violations;
- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Barrow County Fire and Emergency Services
233 East Broad Street
Winder, Georgia 30680

E-mail:
Phone: 770.307.2987
Facsimile: 770.307.3781

Subject: **Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

To Whom It May Concern:

One Consulting Group, Inc. (One Group) is conducting a Phase I Environmental Site Assessment on the above-referenced property. We submit this freedom of information request for information regarding any issues of environmental concern you may have on file with regards to the subject property. Potential issues can include, but are not limited to, the following:

- Hazardous material use, storage, spillage or disposal;
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- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Date/Time: Apr. 6. 2012 1:48PM

File No. Mode	Destination	Pg(s)	Result	Page Not Sent
8184 Memory TX	7703073781	P. 1	OK	

Reason for error
 E. 1) Hang up or line fail
 E. 2) Busy
 E. 3) No answer
 E. 4) No facsimile connection
 E. 5) Exceeded max. E-mail size

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

Barrow County Fire and Emergency Services
 233 East Broad Street
 Winder, Georgia 30690
 E-mail: 770.307.2987
 Phone: 770.307.2987
 Facsimile: 770.307.3781

Subject: **Proposed Braselton Court
 Beaver Dam Road (just east of intersection with GA HWY 211)
 Braselton, Barrow County, Georgia 30548
 Tax Pared BR023 023 & BR023 20**

To Whom It May Concern:

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- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
 One Consulting Group, Inc.



Robert Bravner
 Project Manager

Robert Brawner

From: Dana Thornton [dthornton@barrowga.org]
Sent: Friday, April 13, 2012 1:17 PM
To: Robert Brawner
Subject: FOIA (Proposed Braselton Court)

To Whom It May Concern:

In reference to your request the parcels you indicated (BR023 023 & BR023 020) are currently undeveloped and we do not have any reports of emergency or environmental response to these parcels. In reference to your request, concerning water and septic system issues that would be handled through the environmental division of the health department, and all building related issues would be handled through the Town of Braselton.

Dana M. Thornton

Fire Marshal

Barrow County Emergency Services

Office of Fire and Safety Code Services

222 Pleasant Hill Church Road. NE

Winder, Ga. 30680

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

City of Braselton Planning Department
4982 Highway 53
Braselton, Georgia 30517

E-mail:
Phone: 706.654.3915
Facsimile: 706.654.9237

Subject: **Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

To Whom It May Concern:

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- Bulk petroleum storage (underground and aboveground storage tanks);
- Fire records including permits, records of historic fires, and code violations
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- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

* * * Communication Result Report (Apr. 6. 2012 1:55PM) * * *

1)
2)

Date/Time: Apr. 6. 2012 1:50PM

File No.	Mode	Destination	Pg(s)	Result	Page Not Sent
8188	Memory TX	7066549237	P. 1	OK	

Reason for error
 E. 1) Hang up or line fail
 E. 2) Busy
 E. 3) No answer
 E. 4) No facsimile connection
 E. 5) Exceeded max. E-mail size

6 April 2012

FREEDOM OF INFORMATION REQUEST FACSIMILE

City of Braselton Planning Department
 4982 Highway 53
 Braselton, Georgia 30517
 E-mail:
 Phone: 706.654.3915
 Facsimile: 706.654.9237

Subject: **Proposed Braselton Court
 Beaver Dam Road (Just east of Intersection with GA HWY 211)
 Braselton, Barrow County, Georgia 30548
 Tax Parcel BR023 023 & BR023 20**

To Whom It May Concern:

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- Onsite water well system permits, inspection records, and violations;
- Environmental liens and/or land use restrictions;
- Building code certificates of occupancy and/or code violations.

If you have any questions please contact me at either 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com) or facsimile (404.815.8002).

Sincerely,
 One Consulting Group, Inc.


 Robert Bravner
 Project Manager



P.O. Box 54382 | Atlanta, GA 30308
 phone 404.815.8005 | fax 404.815.8002

6 April 2012

SITE REVIEW AND TECHNICAL ASSISTANCE REQUEST

United States Fish and Wildlife Services
Georgia Ecological Services Field Office
105 Westpark Drive, Suite D, Athens, Georgia 30606

**Subject: Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

**Query: Fisheries and Wildlife Management Areas
Rare Species and Species of Concern
Threatened and Endangered Species**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities. We have reviewed available information on the Georgia Nongame Conservation Section Website as well as performed an initial Site review for endangered species and their critical habitats. At this time, we have not discovered endangered species or critical habitat concerns associated with the Site.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



**Robert Brawner
Project Manager**

Attachments

RECEIVED

6 April 2012

SITE REVIEW AND TECHNICAL ASSISTANCE REQUEST

APR 12 2012

United States Fish and Wildlife Services
Georgia Ecological Services Field Office
105 Westpark Drive, Suite D, Athens, Georgia 30606

ATHENS, GA
USFWS

**Subject: Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

**Query: Fisheries and Wildlife Management Areas
Rare Species and Species of Concern
Threatened and Endangered Species**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities. We have reviewed available information on the Georgia Nongame Conservation Section Website as well as performed an initial Site review for endangered species and their critical habitats. At this time, we have not discovered endangered species or critical habitat concerns associated with the Site.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecgroup.com.

In the event you have information to send, please do so via electronic mail (robert@onecgroup.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



U. S. Fish and Wildlife Service
105 West Park Drive, Suite D,
Athens, GA 30605
706-613-9493 Fax 706-613-6059

FWS Log No.

AG-12-156-6011

**Robert Brawner
Project Manager**

The service has reviewed the plans for this proposed project. Based on the information you provided, no further action is required under Section 7(a)(2) of the Endangered Species Act. However, if new information or changes in the project involve federally listed species, further consultation with the Service will be required.

Sandra S. Tucker, Field Supervisor

5/10/12
Date

Attachments

AG-12-156-6011

6 April 2012

National Park Service
Southeast Regional Office
Planning and Environmental Compliance Programs
Atlanta Federal Center
1924 Building
100 Alabama Street SW
Atlanta, Georgia 30303

Attn: **John Barrett**

Subject: **Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

Query: **Wild Scenic Rivers, National Landmarks**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Attachments

February 12, 2012

National Park Service
Rivers, Trails, and Conservation Assistance
535 Chestnut Street, Suite 207
Chattanooga, Tennessee 37402

Attn: **Alison Bullock**

Subject: **Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

Query: **Wild Scenic Rivers**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities, and the Chattooga River's location.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



Robert Brawner
Project Manager

Attachments

6 April 2012

FREEDOM OF INFORMATION REQUEST

Georgia Department of Natural Resources
Nongame Conservation Section
2070 65 Highway 278 SE, Social Circle, Georgia 30025-4743

Subject: **Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

Query: **Fisheries and Wildlife Management Areas
Rare Species and Species of Concern
Threatened and Endangered Species**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities.

We have reviewed available information on the Georgia Nongame Conservation Section Website as well as performed an initial Site review for endangered species and their critical habitats. At this time, we have not discovered endangered species or critical habitat concerns associated with the Site.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308). Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



**Robert Brawner
Project Manager**

Attachments



GEORGIA
DEPARTMENT OF NATURAL RESOURCES
WILDLIFE RESOURCES DIVISION

MARK WILLIAMS
COMMISSIONER

DAN FORSTER
DIRECTOR

May 21, 2012

Robert Brawner
Project Manager
One Consulting Group
P.O. Box 54382
Atlanta, GA 30308

Subject: Known occurrences of natural communities, plants and animals of highest priority conservation status on or near Proposed Braselton Court, Barrow County, Georgia

Dear Mr. Brawner:

This is in response to your request of April 6, 2012. According to our records, within a three-mile radius of the project site there are the following Natural Heritage Database occurrences:

US *Amphianthus pusillus* (Pool Sprite) approx. 3.0 mi. N of site
GA *Cyprinella xaenura* (Altamaha Shiner) approx. 1.0 mi. NW of site in Mulberry Creek & Tributaries
GA *Cyprinella xaenura* (Altamaha Shiner) approx. 2.5 mi. SE of site in Mulberry Creek & Tributaries
Hemidactylium scutatum (Four-toed Salamander) approx. 2.5 mi. N of site
US *Isoetes melanospora* (Black-spored Quillwort) approx. 3.0 mi. N of site
US *Isoetes tegetiformans* (Mat-forming Quillwort) approx. 3.0 mi. N of site

* Entries above preceded by "US" indicates species with federal status (Protected, Candidate or Partial Status). Species that are federally protected in Georgia are also state protected; "GA" indicates Georgia protected species.

Recommendations:

We have no records of high priority species or habitats within the project area. Because this site has already been disturbed, it is not likely to provide habitat for rare species or communities. We are concerned about aquatic habitats that could be impacted by any future construction activities. In order to protect aquatic habitats and water quality, we recommend that all machinery be kept out of creeks during construction. We urge you to use stringent erosion control practices during construction activities. Further, we strongly advocate leaving vegetation intact within 100 feet of creeks, which will reduce inputs of sediments, assist with maintaining riverbank integrity, and provide shade and habitat for aquatic species. We realize that some trees may have to be removed, but recommend that shrubs and ground vegetation be left in place.

NONGAME CONSERVATION SECTION
2065 U.S. HIGHWAY 278 S.E. | SOCIAL CIRCLE, GEORGIA 30025-4743
770.918.6411 | FAX 706.557.3033 | WWW.GEORGIAWILDLIFE.COM

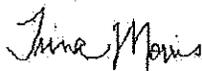
Please keep in mind that we have records of three federally listed species, *Amphianthus pusillus* (Pool Sprite), *Isoetes melanospora* (Black-spored Quillwort) and *Isoetes tegetiformans* (Mat-forming Quillwort) within three miles of the proposed project. These species depend on rock outcrop habitats and should not be negatively impacted if no outcrops occur within the project area. The Endangered Species Act states that taking or harming of a listed species is prohibited. We recommend all requestors with projects located near federally protected species consult with the United States Fish and Wildlife Service. For southeast Georgia, please contact Strant Colwell (912-265-9336, ext.30 or Strant_Colwell@fws.gov). In southwest Georgia, please contact John Doresky (706-544-6999 or John_Doresky@fws.gov). In north Georgia, please contact Robin Goodloe (706-613-9493, ext.221 or Robin_Goodloe@fws.gov).

Disclaimer:

Please keep in mind the limitations of our database. The data collected by the Nongame Conservation Section comes from a variety of sources, including museum and herbarium records, literature, and reports from individuals and organizations, as well as field surveys by our staff biologists. In most cases the information is not the result of a recent on-site survey by our staff. Many areas of Georgia have never been surveyed thoroughly. Therefore, the Nongame Conservation Section can only occasionally provide definitive information on the presence or absence of rare species on a given site. Our files are updated constantly as new information is received. **Thus, information provided by our program represents the existing data in our files at the time of the request and should not be considered a final statement on the species or area under consideration.**

If you know of populations of highest priority species that are not in our database, please fill out the appropriate data collection form and send it to our office. Forms can be obtained through our web site (<http://www.georgiawildlife.com/node/1376>) or by contacting our office. If I can be of further assistance, please let me know.

Sincerely,



Katrina Morris
Environmental Review Coordinator

Data Available on the Nongame Conservation Section Website

- Georgia protected plant and animal profiles are available on our website. These accounts cover basics like descriptions and life history, as well as threats, management recommendations and conservation status. Visit <http://www.georgiawildlife.com/node/2721>.

- Rare species and natural community information can be viewed by Quarter Quad, County and HUC8 Watershed. To access this information, please visit our GA Rare Species and Natural Community Information page at: <http://www.georgiawildlife.com/conservation/species-of-concern?cat=conservation>.
- Downloadable files of rare species and natural community data by quarter quad and county are also available. They can be downloaded from: <http://www.georgiawildlife.com/node/1370>.

6 April 2012

FREEDOM OF INFORMATION REQUEST

Georgia Department of Natural Resources
State Parks and Historic Sites
2 MLK Jr. Dr., Suite 1352 East, Atlanta, Georgia 30334

**Subject: Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

Query: State Parks and Recreational Areas

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,

One Consulting Group, Inc.



**Robert Brawner
Project Manager**

Attachments

Robert Brawner

From: Celisha Rosser [Celisha.Rosser@dnr.state.ga.us]
Sent: Monday, May 14, 2012 9:53 AM
To: Robert Brawner
Subject: Beaver Dam Road
Attachments: Celisha Rosser.vcf

Mr. Brawner,

The Department has received your Freedom of Information Request and has completed a review of our real estate files. The Department does not own or manage any property adjacent to the proposed building site. Therefore, we have determined that there will be no environmental impact for this site pursuant to the National Environmental Policy Act.

Thank you

Celisha R.

Celisha Rosser
Contract Specialist
Georgia Department of Natural Resources Parks & Historic Sites - Engineering & Construction
Section
2 Martin Luther King Jr. Drive, SE
Suite 1352 E
Atlanta, Georgia 30334
Direct:(404) 656-6528
FAX:(404) 651-5871
Celisha.Rosser@gadnr.org



BRASELTON
GEORGIA

MAYOR
Bill Orr
COUNCIL MEMBERS
District I
Richard Mayberry
District 2
Peggy B. Slappey
District 3
Tony Funari

May 15, 2012

Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Re: **Braselton Court**
1018 Beaver Dam Road
Braselton, Georgia 30548
Zoning Determination Letter

To Whom It May Concern:

The property located at 1018 Beaver Dam Road and known to us as the Braselton Court tract is currently zoned O-I Office-Institutional, and a senior apartment development is a conditional use in that zoning district.

The Town of Braselton City Council approved a conditional use permit for this property at their meeting on May 14, 2012, and the conditional use allows no more than 80 age restricted (55 and over) multifamily units on the property. To the best of our knowledge, the project will not include the development of prime or unique farmland.

Included with this letter is a copy of the portion of the Zoning Ordinance that deals with the O-I Office-Institutional zoning district.

If you have any questions about this information, please call me at (706) 654 – 3915, ext. 1006.

Sincerely,

Kevin D. Keller, AICP
Planning and Development Director

"A past to preserve and a future to mold."

4982 Highway 53 • P. O. Box 306 • Braselton, Georgia 30517 • Phone: 706/654-3915 • Fax: 706/654-3109 •
www.braselton.net



MAYOR
Bill Orr
COUNCIL MEMBERS
District 1
Richard Mayberry
District 2
Peggy B. Slappey
District 3
Tony Funari
District 4
Dudley Ray

May 24, 2012

Braselton Court, LP
Bo Johnston
2000 RiverEdge Parkway
Suite 950
Atlanta, GA 30328

RE: 1018 Beaver Dam Road, Parcel # BR023 023 and portion of Parcel # BR023 020

Dear Mr. Johnston:

This letter shall serve as notice that the Town of Braselton is the designated water and sewer service provider for the above referenced project located on Beaver Dam Road. The Town has adequate capacity in the amount of 19,000 gpd to serve this project of 80 units and capacity will have to be allocated in accordance with the Town of Braselton's Code of Ordinances. The cost for any and all infrastructure upgrades or extensions necessary is to be borne by the developer.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jennifer Dees", is written over the typed name.

Jennifer Dees
Town Manager

"It's Better in Braselton"

APPENDIX I

**AUTHOR CREDENTIALS, DOCUMENTATION OF
QUALIFICATION AS AN “ENVIRONMENTAL
PROFESSIONAL”**

RESUME

ROBERT BRAWNER, CHMM

President

BACKGROUND

Prior to founding One Consulting Group, Inc., Robert Brawner worked extensively in the construction and environmental arena on a wide array of projects. Leveraging his broad knowledge base, ranging from asbestos to hazardous waste management to Underground Storage Tanks, Mr. Brawner is able to holistically manage the myriad of environmental concerns that confront clients on a daily basis. He has supervised over 3,000 Phase I Environmental Site Assessments, has resolved to closure over 400 subsurface investigations involving numerous contaminants of concern and has personally inspected over ten million square feet of commercial property for Indoor Air Quality concerns.

PREVIOUS WORK EXPERIENCE

***PRINCIPAL / PARTNER, EPIC CONSULTING, INC.
MARIETTA, GEORGIA 2003-2006***

Mr. Brawner headed the environmental division and was directly responsible for the development of new employees and financial systems for the division. He was a senior member of management group responsible for growing the firm from fifteen to fifty-five employees while developing geotechnical and commercial lending services divisions. Representative projects included, but were not limited to:

- *Murphy Avenue, Atlanta, Georgia:* Designed and supervised the remedial action for hazardous material site contaminated with cadmium and industrial solvents.
- *Dynamic Metals Loft, Atlanta, Georgia:* Member of principal team that successfully remediated and obtained a certificate of limited liability for the first state Brownfield site.
- *STAR Committee, Georgia:* Acted as liaison to the Georgia Environmental Protection Division as aid in preparing current asbestos and lead-based paint guidelines utilized by the state of Georgia.

CLIENT MANAGER, EPIC CONSULTING, INC, 2000-2002

During his tenure as client manager, Mr. Brawner supervised environmental consulting and general contracting services as well as developed new business opportunities for the firm. He was directly responsible, with the primary owner, for growing the firm from seven to fifteen employees.

PROJECT MANAGER, EPIC CONSULTING, INC., 1997-1999

While a project manager with the firm, Mr. Brawner performed subsurface investigations and remedial activities on UST sites and performed consultant/contracting services for various UST clients.

***FOREMAN, B & A ENVIRONMENTAL SERVICES, INC.,
CONYERS, GEORGIA 1997***

Mr. Brawner supervised an environmental contracting crew of five members performing heavy equipment operation, industrial and mechanical contracting, remediation system installation and hazardous material disposal activities.

PROFESSIONAL CERTIFICATIONS

Certified Hazardous Materials Manager #13495
International Fire Code Institute – UST Install, Soil Matrix Cleanup
DOT 49 CFR Hazardous Waste Handling Cert #77970
OSHA 40-Hour HAZWOPER
Asbestos Inspector #2879 / Abatement Designer #6015
Mold Remediation and Inspection Cert #1684

EDUCATION

Bachelor of Science, Biology, University of Georgia
Bachelor of Arts, Anthropology, University of Georgia

RESUME

ROBERT A. WHITE, MS, CPG, PG
Professional Geologist

BACKGROUND

Mr. White has performed hundreds of Phase I Environmental Site Assessments and Engineering Property Condition Assessments throughout the U.S. for commercial lenders. He has worked in the environmental arena since 1993 when he entered the field as a technician.

Since that time, he has performed and overseen Phase II soil and groundwater assessments under Georgia Hazardous Site Response Act (HSRA) guidelines; Underground Storage Tank investigations under Georgia Underground Storage Tank (GUST) laws; building inspections and property assessments falling under the Comprehensive Environmental Response Compensation and Liability Act (CERCLA) and Resource Conservation and Recovery Act (RCRA) guidelines; Level III Soil Surveys for septic tank placement mandated by the Georgia Department of Human Resources; and asbestos and lead-based paint inspections of occupied buildings and demolition projects in accordance with the Asbestos Hazard Emergency Response Act (AHERA), Occupational Safety and Health Administration (OSHA), and Lead-Based Paint Poisoning Prevention Act (LBPPA) guidelines.

Mr. White continues to use his education, experience, and common sense to provide efficient and cost-effective results that bring Client projects to completion.

PREVIOUS WORK EXPERIENCE

SENIOR PROJECT MANAGER, EPIC CONSULTING, INC.
MARIETTA, GEORGIA 2000-2004

Mr. White was initially responsible for managing all aspects of environmental projects including fieldwork, project management, training employees, and developing new business. During his four years at Epic, Mr. White went on to carry out, manage, review, and consult on all phases of environmental and engineering projects. As Senior Geologist, he reviewed all types of correspondence for submission to clients and regulators, during development and in final form.

REGIONAL MANAGER, AQUATERRA ASSESSMENT SERVICES, 1999-2000

Acting as the Southeast Regional Manager for the Due Diligence firm headquartered in Texas, with a central office in New York's Financial District, Mr. White was hired to perform Phase I Environmental Site Assessments, Engineering Property Condition Assessments, and ADA Compliance Surveys for national commercial lenders. Additionally, Mr. White was responsible for proposal writing, client management, and marketing potential clients formerly served by RERC Environmental, Inc., after closure of their Atlanta office.

PROJECT MANAGER, RERC ENVIRONMENTAL, INC., 1998-1999

Because of his remediation consulting experience, Mr. White was hired to conduct Due Diligence Environmental and Engineering Assessments on commercial properties for national lenders prior to refinance or acquisition. His responsibilities also included Phase II Limited Subsurface Investigations on properties identified with Recognized Environmental Conditions.

PROJECT MANAGER, ENVIRONMENTAL CORPORATION OF AMERICA, 1996-1998

After initially being hired as field technician to perform environmental sampling, construction materials testing, and routine fieldwork, Mr. White was soon given UST and dry-cleaner remediation projects to manage and oversee as well. Recognized for his mechanical aptitude, he was asked to design, install, trouble-shoot, upgrade, and maintain remediation systems. In addition, he successfully developed a daughter company to market and operate a Thermal Oxidizer treating offgas from high-vacuum recovery remediation on sites with subsurface hydrocarbon releases.

PROFESSIONAL CERTIFICATIONS

Registered Professional Geologist: ALABAMA #1078, FLORIDA #PG2242, GEORGIA #PG001601, NORTH CAROLINA #1934, TENNESSEE # TN4832
EPA-certified, Asbestos (AHERA) Inspector
OSHA 40-hour HAZWOPER certification (1997) with annual 8-hour refresher training

EDUCATION

Bachelor of Science, Criminal Justice, Guilford College
Master of Science, Geology, Georgia State University

APPENDIX J
OWNER ENVIRONMENTAL QUESTIONNAIRE

OWNER ENVIRONMENTAL QUESTIONNAIRE & DISCLOSURE STATEMENT

The questionnaire **MUST** be completed and signed by the current property owner, notarized in the spaces indicated and submitted with the application. The Owner must supply and attach evidence of ownership of the property, i.e. a deed. In preparing this document, the property owner must make a good faith effort to correctly answer all questions in this checklist. *Care should be taken to check the answers against whatever records are in the owner's possession.* If any of the following questions are answered in the affirmative, or if answers are unknown and/or qualified, the Environmental Professional must determine whether further inquiry is warranted. A gap in the Owner's knowledge about any item on the questionnaire below does not relieve the Environmental Professional from the requirement that the item be fully addressed in the Phase I Report. The property owner must fully document the reason for any affirmative answer, and provide the Environmental Professional with all appropriate supporting information.

Purchaser: _____
(Phone) _____
Owner/seller: PB GA OREGO LLC
(Phone) 1-312-564-1634
Subject property: Century Center at Braselton

QUESTIONNAIRE - PART A:

1. Is the property, or any adjacent property, currently used for commercial, industrial or manufacturing purposes including, but not limited to dry cleaners and gas stations? Adjacent properties include those that border the site and properties across the street from the site.

Yes No Unknown

Provide the name and describe the type of business operating at the property:

Provide the name and type of business operating adjacently **north** of the subject property:

Single Family House .

Provide the name and type of business operating adjacently **south** of the subject property:

Retail Strip Shopping Center .

Provide the name and type of business operating adjacently **east** of the subject property:

? unknown

Provide the name and type of business operating adjacently **west** of the subject property:

? unknown

2. Has the property or any adjacent property been used in the past for commercial, industrial or manufacturing purposes including, but not limited to, dry cleaners and gasoline stations?

Yes No Unknown (If yes, please describe including its specific use)

Owner:

Date(s):

Current Use of property:

vacant land

Previous use of property to the north:

unknown

Previous use of the property to the south:

unknown

Previous use of the property to the east:

unknown

Previous use of the property to the west:

unknown

3. Are there any pesticides, automotive or industrial batteries, paints or other chemicals stored on the property or at the facility?
 Yes No Unknown (If yes, please describe)
4. Are there currently any plastic or metal industrial drums (ranging from 5 to 55-gallons) located on the property or at the facility or were there in the past?
 Yes No Unknown (If yes, please describe)
5. How and where were items identified in Questions #3 & #4 disposed (if any of the specifics are unknown, provide names and present employers of people who may be able to provide additional information)?
6. Has fill dirt ever been brought onto the site?
 Yes No Unknown (If yes, please describe)
7. Have any substances identified as hazardous, unidentified waste materials, tires, automotive or industrial batteries or any other waste materials, including construction debris, been dumped above grade, buried and/or burned on the site?
 Yes No Unknown (If yes, please describe including where and what disposal took place)
8. Is there any obvious stained soil, or other evidence of past waste disposal on the property?

Yes No Unknown (If yes, please describe including location on the property)

9. (a) Are there any above or underground storage tanks currently located on the property?

Yes No Unknown (If yes, please describe including location on the property. If no, skip to question #10)

(b) Are the existing storage tanks empty, out of service, or closed?

Yes No Unknown (If yes, please describe including the date and name of the contractor used, and provide a copy of any report generated)

(c) Have any tanks been removed? (If 'yes' provide information on when, give the name of the contractor used, and provide a copy of any report generated).

Yes No Unknown (If yes, please describe including date removed and name of contractor used, and provide a copy of any report generated)

10. Are there any prospective buyer(s) in the past that may have conducted an environmental assessment of the subject property.

Yes No Unknown (If yes, please provide names, addresses, and telephone numbers. Also, provide the name, address and telephone number of **your** Lender on this property. *Attach any past environmental reports you have, or provide information on how to obtain a copy of the report(s) if you do not have them.*

11. Does the property discharge waste water (other than storm water) directly to a ditch or stream on or adjacent to the property?

Yes No Unknown (If yes, please describe)

12. Is the property located near or in an area where conventional fuels (e.g. petroleum products), hazardous gases, (e.g. propane), and/or chemicals (e.g. benzene or hexane) of a flammable nature are stored?

Yes No Unknown (If yes, please describe)

13. Has there been any health complaints related to the indoor or outdoor air at? on the grounds of the property or any building located on the property?

Yes No Unknown (If yes, please describe)

14. Does the owner of the property or operator of the facility? have any knowledge of environmental liens or governmental notification (including information requests) relating to violations or potential violations of environmental laws with respect to the property or any facility located on the property?

Yes No Unknown (If yes, please describe)

15. Has the owner of the property or operator of the facility been informed of the presence of hazardous substances or environmental violations with respect to the property or any facility located on the property?

Yes No Unknown (If yes, please describe)

16. Are you aware of any environmental assessment of the property that indicated the presence of hazardous substances or petroleum products on, in, at, or under the property site?

Yes No Unknown (If yes, please describe)

17. Are you aware of any environmental assessment of the subject property that has recommended further assessment or testing of the property?

Yes No Unknown (If yes, please describe)

18. Are there any past, current, or pending lawsuits or administrative proceedings for alleged damages related to environmental issues or problems involving the property or any owner or tenant of the property?

Yes No Unknown (If yes, please describe)

19. Have pesticides, herbicides, or other agricultural chemicals ever been stored on, mixed on, or applied to the property?

Yes No Unknown (If yes, please describe)

QUESTIONNAIRE - PART B:

1. Are there any structures on the property site more than fifty (50) years old, or (is the property) located in a designated historic district?

Yes No Unknown (If yes, please describe & submit photographs of all interior rooms and exterior facades, and include a copy of the proposed rehabilitation work scope and a location map.)

2. Is the property site located in a 100-year floodplain?

Copy the portion of floodplain map indicating the site location. Attach a copy of the Flood Plain Map and include panel number on the copy.

Yes No Unknown (If yes, please describe below.)

3. Does the site have the potential to affect or be affected by? Yes No

- | | | | | |
|----|--|--------------------------|-------------------------------------|---|
| a. | Coastal Areas Protection and Management | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| b. | Runway Clear Zones & Accident Potential Zones | <input type="checkbox"/> | <input type="checkbox"/> | ? |
| c. | Endangered Species | <input type="checkbox"/> | <input type="checkbox"/> | ? |
| d. | Farmland Protection | <input type="checkbox"/> | <input type="checkbox"/> | ? |
| e. | Compatibility with Local Codes, Plans and Zoning | <input type="checkbox"/> | <input type="checkbox"/> | ? |
| f. | Wetlands Designated Land | <input type="checkbox"/> | <input type="checkbox"/> | ? |
| g. | Thermal & Explosive Hazards | <input type="checkbox"/> | <input type="checkbox"/> | ? |
| h. | Toxic Chemicals & Radioactive Materials | <input type="checkbox"/> | <input type="checkbox"/> | ? |
| i. | Solid Waste Management | <input type="checkbox"/> | <input type="checkbox"/> | ? |
| j. | Local Zoning Plans Compatibility | <input type="checkbox"/> | <input type="checkbox"/> | ? |

(If yes to any, please describe.)

} Unknown

4. Is the site within 1,000 feet of a major road/highway/freeway (i.e. a roadway which experiences an average daily traffic count of 10,000 or greater)?

Yes No Unknown

If yes, the following must be completed:

- What is the name of the major road/highway/freeway? _____
- List the distance of any stop sign (not a traffic signal) that is less than 600 feet from the site _____
- What is the average speed of travel on this major road/highway/freeway? _____
- List the average number of automobiles for both directions during a 24-hour day _____
- List the average number of trucks for both directions during a 24-hour day _____

Generally, much of this information can be obtained through the City/County Highway or Transportation Department

5. Is the site within 3,000 feet of a railroad?

Yes No Unknown

If yes, the following must be completed:

- What is the name of the railway operating on this line? _____
- List the average number of trains for both directions during a 24-hour day _____
- List the average number of diesel locomotives per train _____
- List the average number of railway cars per train _____
- List the average train speed _____
- Is the track welded or bolted? _____
- Is the site near a grade crossing that requires prolonged use of the train's horn? Yes No (If no, skip to question # 6)
- How far from the grade crossing are the whistle posts located? _____

Generally, much of this information can be obtained by contacting the Supervisor of Customer Relations and/or the Engineering Department for the railway

6. Is the site within 15 miles of a military airport?

Yes No Unknown (If yes, please attach a copy of the airport's current noise contour information.) *This information is available for most military airports and can be generally obtained by contacting the Military Agency in Charge of Airport Operations.* If noise contours are not available, please obtain the following:

- List the average number of nighttime jet operations (10 p.m.-7 a.m.)

- List the average number of daytime jet operations (7 a.m. – 10 p.m.)

- List the flight paths of the major runways

7. Is the site within 5 miles of a private/commercial airport or airfield?

Yes No Unknown (If yes, please attach a copy of the airport's current noise contour information. This information is available for most private/commercial airports and can be obtained by contacting the FAA Control Tower or Airport Operations. If noise contours are not available, please obtain the following information)

- List the average number of nighttime jet operations (10 p.m. - 7 a.m.)

- List the average number of daytime jet operations (7 a.m. – 10 p.m.)

- List the flight paths of the major runways

QUESTIONNAIRE - PART C:

This questionnaire should be completed by:

Valuation Reduction: Relationship of the purchase price to the fair market value of the property, if it were not contaminated: _____

1. Have you identified the type of property transaction (for example-- sale, purchase, ground lease, etc.) to the Environmental Professional?

Yes No (If yes, please describe) _____

2. Does the purchase price being paid for this property reasonably reflect the fair market value of the property?

Yes No (If no, have you considered whether the lower purchase prices is because contamination is known or believed to be present at the property?)

DR Robert J. Catalina
Robert J. Catalina
Property Owner - Dover Area LLC

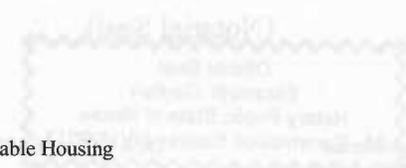
Signal, seal and deliver this to _____
of _____
in the _____

Robert J. Catalina
Name

[Signature]
Notary Public

[Signature]
Title

My commission expires on _____
8-13-2012



CERTIFICATION

This questionnaire above was completed by:

Owner/Developer Name: PB Real Estate, LLC

Relationship to Site: Owner

Address: 70 W. Madison Street
Chicago, IL 60602

E-mail Address: acathlina@theprivatebank.com

Phone Number: (313) 564-1634

Date of Completion: June 8, 2012

I certify to the best of my knowledge and belief that the above statements and facts submitted are true, accurate and complete.

Signed, sealed and delivered this 8th day
of June, 2012, in the
Presence of:

[Signature]
Witness

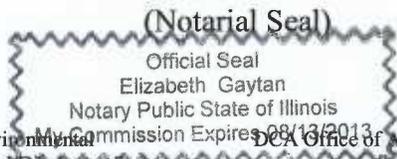
By: Andrew J. Cathlina
Andrew J. Cathlina
Property Owner of PBGA OREO LLC

[Signature]
Notary Public

Andrew J. Cathlina
Name

My commission Expires on:
8-13-2013

MANAGING DIRECTOR
Title



APPENDIX K
PROPERTY LOG AND INFORMATION CHECKLIST

PROPERTY LOG AND INFORMATION CHECKLIST

This form **MUST** be completed by the Qualified Environmental Professional who performed the Phase I and/or Phase II. All entries must be fully documented and explained in the environmental reports. This form, together with all supporting documentation relating to the Phase I, must be submitted to DCA before any application can be accepted for processing.

PROPERTY LOG

Property Address:

1018 Beaver Dam Road, Braselton, Barrow County, Georgia 30548

Developer's Name and Address:

**Dave Dixon
Braselton Court, LP
2000 RiverEdge Parkway, Suite 950, Atlanta, Georgia 30328**

Developer's e-mail Address:

Dave@norsouth.com

Developer's Telephone Number:

770.850.8280

Qualified Environmental Professional's Name:

Robert Brawner

Qualified Environmental Professional's Telephone Number and e-mail address:

**(404) 815-8005 x 105
Robert@onecginc.com**

Environmental Consulting Firm's Name and Address:

One Consulting Group, Inc., Post Office Box 54382, Atlanta, Georgia 30308

Date Phase I Environmental Site Assessment Completed:

June 14, 2012

Summary of Phase I Results:

Environmental Site Assessment does not document recognized environmental conditions on or near the Site, and recommends no further investigation.

INFORMATION CHECKLIST

Check [] any information sources used to perform the Phase I Review.

1. Overall Property Description

- N/A Building Specifications
- X Zoning or Land Use Maps
- X Aerial Photos (e.g., Sanborn)
- N/A List of Commercial Tenants On-Site
- X Title History
- X Site Survey
- X Verification of Public Water and Sewer
- X Interviews with Local Fire, Health, Land Use or Environmental Officials
- N/A Interviews with Builder, and/or Property Manager
- X Review of records of local, state and federal regulatory agencies
- X Review of adjacent properties
- Other (Specify)

2. Asbestos

- Dated Building Construction Or Rehabilitation Specifications
- Engineer's/Consultant's Asbestos Report
- Other (Specify)

The Site is vacant land, with no above ground structures. This section is not applicable.

3. Polychlorinated Biphenyls

- X Utility Transformer Records
- X Site Survey of Transformers
- Site Soil and Groundwater PCB Test Results
- X Other (Specify)

Telephonic conversation with electric utility

4. Radon
- Water Utility Records
 - Gas Utility Records
 - On-Site Radon Test Results
 - Other (Specify)

The Radon Map of Georgia was reviewed online at www.epa.gov/radon to determine the radon risk associated with the subject property.

5. Underground Storage Tanks
- Oil, Motor Fuel and Waste Oil Systems Reports, EPD, LUST & ERNS Records
 - CERCLIS/RCRIS Results of Neighborhood search (within radius of one mile)
 - Site Soil and Groundwater Tests
 - Site Tank Survey
 - Other (Specify)

6. Waste Sites
- CERCLIS/RCRIS Results of neighborhoods search (within radius of one mile)
 - State EPD site lists for neighborhoods (within radius of one mile)
 - Federal Facilities Docket
 - Site Soil and Groundwater Test Results
 - Other (Specify)

7. Lead Based Paint
- Lead Paint Survey
 - Certification/Compliance Records
 - Site Soil Test Results
 - Other (Specify)

There have been no structures on the Site. This section is not applicable.

8. Additional Hazards

- Urea Formaldehyde Foam Insulation Survey
- Interior Air Test Results
- Lead in Drinking Water Test Results
- Mold Inspection Results
- Other (Specify)

A copy of the annual water quality report was reviewed online and is provided in Appendix O of the Environmental Site Assessment Report.



Checklist completed by:

Name (Type or Print): **Robert Brawner, One Consulting Group, Inc.**

Date: **June 14, 2012**

APPENDIX L
PROOF OF INSURANCE

APPENDIX M
LETTERS OF REFERENCE

**ENVIRONMENTAL CONSULTANT
LETTER OF REFERENCE**

April 9, 2009

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that our Company, Cocke, Finkelstein Inc. and affiliated companies have used the services of One Consulting Group, Inc. to perform Environmental Site Assessments, Soil and Groundwater Testing, and Building Material Surveys. One Consulting Group has been an invaluable consultant and advisor to our firm for many years. It has been a reasonable and rational advisor warning us of potential environmental situations while educating us that most environmental problems are more of a situation to resolve rather than a cause for alarm. We do not look at a real estate investment without consulting One Consulting Group.

Feel free to call or email me with any questions you may have regarding One Consulting Group. You may reach me at byron@cockefinkelstein.com or at 404 512 9305.

Sincerely,

Cocke, Finkelstein Inc.
Company Name

W. Byron Cocke, Principal
Name and Title

April 9, 2009
Date


Signature


COCKE FINKELSTEIN INC.

Office 404 880 4141
Fax 404 880 4144
331 Elizabeth St. Suite C
Atlanta, GA 30307

**ENVIRONMENTAL CONSULTANT
LETTER OF REFERENCE**

April 9, 2009

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that our Company, Carvalho & Associates, P.C., has used the services of One Consulting Group, Inc. to perform Environmental Site Assessments, Soil and Groundwater Testing, and Building Material Surveys.

One Consulting Group, Inc. has consistently completed the requested work in a timely and cost effective manner, and provided comprehensive technical support. The reports we received were prepared in accordance with the applicable standards of care, and in a highly professional manner.

I would recommend One Consulting Group, Inc. to clients and colleagues without reservation. If you require additional information or further assistance, please do not hesitate to contact the undersigned at (678) 354-0066.

Very respectfully,

CARVALHO & ASSOCIATES, P.C.



Michael P. Carvalho, Esq.
Managing Partner



Branch Banking & Trust Co.

Commercial Real Estate Lending
525 E. Crossville Road
Roswell, GA 30075

**ENVIRONMENTAL CONSULTANT
LETTER OF REFERENCE**

May 8, 2009

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that our Company, Branch Banking & Trust Company, has used the services of One Consulting Group, Inc. to perform Environmental Site Assessments, Soil and Groundwater Testing, and Building Material Surveys.

The quality of their work, efficient service and compliance with environmental standards has been satisfactory to Branch Banking & Trust Company.

Please call me at (678) 277-4106 if I can be of any further assistance.

Sincerely,

BRANCH BANKING & TRUST CO.

A handwritten signature in black ink, appearing to read "Neal L. Pickens", with a long horizontal flourish extending to the right.

Neal L. Pickens
Vice President
Commercial Real Estate Lending



**ENVIRONMENTAL CONSULTANT
LETTER OF REFERENCE**

April 13, 2009

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that our Company, Stout Walling Atwood, LLC has used the services of One Consulting Group, Inc. to perform Environmental Site Assessments, Soil and Groundwater Testing, and Building Material Surveys.

I have worked with Robert Brawner, the principal of the One Consulting Group, Inc. for a number of years. Robert is one of the few environmental consultants that not only identifies the problem but can suggest ways of resolving the problem.

I recommend One Consulting Group, Inc. without reservation.

Stout Walling Atwood, LLC

By: 
Carter L. Stout, Member

**ENVIRONMENTAL CONSULTANT
LETTER OF REFERENCE**

April 9, 2009

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

I declare that our Company, Darby Bank & Trust has used the services of One Consulting Group, Inc. to perform Environmental Site Assessments, Soil and Groundwater Testing, and Building Material Surveys.

I have used One Consulting Group on a number of projects. They are very precise, informative and easy to work with. They are my one go to source.

Sincerely

Company Name

Name and Title

Darby Bank & Trust Co

Carter Mobley Vice-President Commercial Lender

Date

Signature

04/09/09



APPENDIX N
ENVIRONMENTAL CERTIFICATION

ENVIRONMENTAL CERTIFICATION

Project Name: **Braselton Court, One Group Project #A2028**

Project Location: **Beaver Dam Road (GAHYW11), Braselton, Barrow County, Georgia 30548**

The undersigned being first duly sworn on oath do certify to the Georgia Department of Community Affairs (DCA)/Georgia Housing and Finance Authority (GHFA) that the statements contained in this certification are true and correct. The undersigned also acknowledge that deviations from the requirements contained in the certification and checklist could result in scoring deductions (Page, Section and/or Appendix numbers must be included for each item).

- | | |
|---|---|
| 1. The Phase I Report for the above referenced project has been prepared according to the applicable DCA required format. | cover, section 2.1-
page 3
<hr/> |
| 2. The Phase I Report and/or update was performed under the supervision of an "Environmental Professional" as defined in 40 C.F.R. § 312.10(b) (hereinafter referred to as an Environmental Professional). Résumés describing the qualifications of all personnel involved with the Phase I environmental site assessment must be included. | cover, Appendix I
<hr/> |
| 3. The Environmental Professional is not affiliated with the Owner/developer or a buyer or seller of the project. | Section 2.7, Page 5
<hr/> |
| 4. The Phase I Report and/or update was prepared less than 180 days prior to Application submission and within 30 days of the site reconnaissance. In addition, the date of the Report appears of the cover page of the Report. | cover, section 5.1-
page 13
<hr/> |
| 5. The Georgia Housing and Finance Authority and DCA have the right to rely upon the Phase I and/or Phase II Report prepared for the property in the same way as the Owner, client and any other authorized users of the Report(s). | section 2.6-page 5
<hr/> |
| 6. The Phase I Report was prepared in accordance with the applicable ASTM and DCA standards. | cover, section 2.1-
page 3
<hr/> |
| 7. The Environmental Professional employed by the consulting firm has supervised the performance of the Phase I, reviewed, signed and stamped both the Phase I and Phase II Reports (if applicable) and any amendments, addenda and updates thereto. | cover, Appendix I
<hr/> |

8. The Environmental Professional has included a comprehensive historical review of the subject property back to 1940 or the property's first developed use, whichever is earlier.

section 2.2-page 3,
section 5.5- pages 17-
18

9. The Phase I includes the professional opinion of the Environmental Professional as to any potential environmental risks and as to any recognized environmental conditions identified during the comprehensive historical review.

section 1.2-page 2,
section 7.0-page 21,
section 8.0-page 22

10. The Environmental Professional has:

* Commercial General Liability insurance, total combined single limits of \$1,000,000.00 per occurrence and \$2,000,000.00 in the aggregate; *and*

Appendix L

* Professional Errors and Omissions Insurance with limits of \$2,000,000.00 each claim and \$2,000,000.00 in the aggregate with coverage extended to include third party liability for death, bodily injury, diminution of value of property and property damage.

Appendix L

* Pollution Liability Insurance with limits of \$2,000,000.00 each claim and \$2,000,000.00 in the aggregate.

Appendix L

11. The Georgia Housing and Finance Authority and DCA have been named as 1) additional insureds and 2) certificate holders on the Accord 25 form (the required insurance certificate) for the commercial liability insurance policy.

Appendix L

12. A 30 day cancellation period is included on the insurance certificate.

Appendix L

13. The Owner Environmental Questionnaire & Disclosure Statement has been completed by the current Owner of the property and included in the Phase I Report.

Appendix J

14. The completed Phase I Documentation: DCA Property Log and Information Checklist has been completed by the Environmental Professional and included in the Phase I Report.

Appendix K

15. If required, the HOME and HUD Environmental Questionnaire is completed and included in the Phase I (includes projects applying for HOME funds and projects with other HUD funding sources listed, including PBRA).

Appendix R

16. If, in accordance with Section II.B.5.b. of the DCA standards, a noise assessment is required, the Report includes a noise assessment which was completed in accordance with the HUD Noise Assessment Guidelines (“NAG”) and 24 C.F.R § 51.100 *et seq.* (applies to all projects, whether or not HUD funds are include in the financial structure).

Section 5.4.22-page
16, Appendix F

17. In cases of elevated noise levels, the Report includes a noise attenuation plan completed in accordance with the HUD Noise Assessment Guidelines (“NAG”) and 24 C.F.R § 51.100 *et seq.* (applies to all projects, whether or not HUD funds are include in the financial structure).

Section 5.4.22-page
16, Appendix F

18. The Environmental Consultant Signature page has been signed by the Environmental Professional, the Principal of the Consultant, and the Professional Engineer or Professional Geologist and has been stamped by the Professional Engineer or Professional Geologist. The Environmental Consultant Signature page is included in the Phase I and/or Phase II Report.

cover, Appendix I


Applicant Signature *MANAGER, V/S PARTNERS, LLC*
As: GENERAL PARTNER

14-Jun-12

Date



14-Jun-12

Environmental Professional Signature & Stamp

Date

APPENDIX O

**CONSUMER CONFIDENCE REPORT ON WATER
QUALITY**

BARROW COUNTY ANNUAL WATER QUALITY REPORT - 2010

INTRODUCTION

The Barrow County Water and Sewerage Authority (BCWSA) is pleased to provide you with this Annual Water Quality Report for the past year's performance of our water suppliers. Included in this Report is information about where your water comes from, what it contains and how it compares to standards set by regulatory agencies. The BCWSA is committed to provide our service area with clean, safe and reliable drinking water. For more information, please call the BCWSA office at 770-307-3014.

This report contains very important information about your drinking water. Translate it or speak with someone who understands it.

Este informe contiene información muy importante. Tradúscalo o hable con un amigo quien lo entienda bien.

WHERE DOES MY WATER COME FROM?

The BCWSA purchased its drinking water from the Upper Oconee Basin Water Authority. The water supply sources for the Upper Oconee Basin Water Authority are Bear Creek and the Middle Oconee River.

NOTES ABOUT CONTAMINANTS

The sources of drinking water (both tap water and bottled water) include rivers, lakes, streams, ponds, reservoirs, springs and wells. As water travels over the surface of the land or through the ground it dissolves naturally-occurring minerals (and in some cases radioactive material). This same traveling water can pick up substances resulting from the presence of animals or human activity.

Contaminants that may be present in source water include the following:

- Microbial contaminants, such as viruses and bacteria, which may come from sewage treatment plants, septic systems, agricultural livestock operations and wildlife.
- Inorganic contaminants, such as salt and metals, which can be naturally occurring or result from urban storm runoff, industrial or domestic wastewater discharges, oil and gas production, mining or farming.
- Pesticides and herbicides, which may come from a variety of sources such as agriculture, urban storm water runoff and residential uses.
- Organic chemical contaminants, including synthetic and volatile chemicals (which are by-products of industrial processes and petroleum production) can also come from gas stations, urban storm water runoff and septic systems.
- Radioactive contaminants, which can be naturally occurring or be the results of oil and gas production and mining activities.

In order to insure that tap water is safe to drink, the EPA prescribes regulations that limit the amount of certain contaminants in water provided by public water systems. Food and Drug Administration regulations established limits for contaminants in bottled water, which must provide the same protection for public health.

CONTAMINANTS AND HEALTH RISK

If present, elevated levels of lead can cause serious health problems, especially for pregnant women and young children. Lead in drinking water is primarily from materials and components associated with service lines and home plumbing. Barrow County Water and Sewerage Authority is responsible for providing high quality drinking water, but cannot control the variety of materials used in plumbing components. When your water has been sitting for several hours, you can minimize the potential for lead exposure by flushing your tap for 30 seconds to 2 minutes before using water for drinking or cooking. If you are concerned about lead in your water, you may wish to have your water tested. Information on lead in drinking water, testing methods, and steps you can take to minimize exposure is available from the Safe Drinking Water Hotline or at <http://www.epa.gov/safewater/lead>.

Drinking water, including bottled water, may reasonably be expected to contain at least small amounts of some contaminants. The presence of contaminants does not necessarily indicate that water poses a health risk. More information about contaminants and potential health effects can be obtained by calling the EPA's Safe Drinking Water Hotline (1-800-426-4791).

IMPORTANT HEALTH INFORMATION

Some people may be more vulnerable to contaminants in drinking water than the general population. Immuno-compromised persons such as persons with cancer undergoing chemotherapy, persons who have undergone organ transplants, people with HIV / AIDS or other immune system disorders, some elderly persons and infants can be particularly at risk from infections. These people should seek advice about drinking water from their health care providers. EPA / CDC guidelines on appropriate means to lessen the risk of infection by Cryptosporidium and other microbial contaminants are available from the **Safe Drinking Water Hotline (1-800-426-4791)**.

WHAT IS CRYPTOSPORIDIUM?

Cryptosporidium (Crypto) is a one-celled parasite protozoan, which is often found in water sources that receive runoff from animal waste. Crypto can infect humans and have severe impacts on certain people including organ transplant recipients, immuno-compromised persons, young children and persons undergoing cancer treatment. Under the U.S. EPA's Information Collection Rule, quarterly samples have been collected from the Upper Oconee Basin Water Authority's raw and treated water and analyzed. Crypto has not been detected in neither source water or drinking water. Samples have been analyzed for over five years and Crypto has never been detected.

WATER QUALITY DATA

The following tables list all the drinking water contaminants that we detected during the 2010 calendar year. The presence of these contaminants in the water does not necessarily indicate that the water poses a health risk. Unless otherwise noted, the data presented in these tables is from testing done January 1-December 31,2010.

IS OUR WATER SYSTEM MEETING OTHER RULES THAT GOVERN OUR OPERATIONS?

EPD and EPA require us to test our water on a regular basis to ensure its safety. During 2010, we submitted monthly water samples for bacteriological analysis in accordance with our Operating Permit. All samples tested satisfactory.

The 1996 Amendments to the Federal Safe Drinking Water Act (SWDA,) brought about a new approach for either past strengths of the Surface Water Treatment Rule, expansion of water monitoring, and other compliance measures, the EPA advocates prevention of contamination as an important tool in the protection of public water supplies. Georgia's EPD mission is to develop a source water assessment plan for each public water system to help protect the sources ensuring quality drinking water that meets all state and federal regulations and to assist the promotion and implementations of the protection plans. Barrow County is pleased to inform you that all of our water suppliers are in full compliance with the comprehensive Source Water Assessment Programs (SWAP). You can access detailed information of the plans on the Georgia Regional Development Center's website. <http://www.negrdc.org/swap/index.html>.

READING THE RESULTS - Definitions of Terms and Abbreviations Used in the Report

- AL** Action Level (AL): The concentration of a contaminate which if exceeded, triggers treatment or other requirements which a water system must follow.
- MCL** Maximum Contaminate Level (MCL): The highest level of a contaminant that is allowed in drinking water. MCLs are set as close to the MCLGs as feasible using the best available treatment technology.
- MCLG** Maximum Contaminate Level Goal (MCLG): The level of a contaminant in drinking water below, which there is no known or expected risk to health. MCLGs allow for a margin of safety.
- m/L** Milliliter: A milliliter is one thousandth of a liter. One liter is equal to slightly more than a quart.
- n/a** Not applicable.
- nd** Not detectable at testing limit.
- NTU** Nephelometric Turbidity Unit (NTU): A measure of suspended material in water.
- ppm** A part per Million means one part per 1,000,000 (same as milligrams per liter) and corresponds to 1 minute in 2 years, or 1 penny in \$10,000.
- ppb** A part per Billion means one part per 1,000,000,000 (same as micrograms per liter) and corresponds to 1 minute in 2,000, or 1 penny in \$10,000,000.
- TT** Treatment Technique (TT): A required process intended to reduce the level of a contaminant in drinking water.
- Turbidity** Turbidity is a measure of the cloudiness of water.
- (a) Water from a treatment plant does not contain lead or copper. However, based upon the Georgia Environmental Protection Division (EPD) testing requirements, water is tested at the tap. These test show that where a customer may have lead or lead soldered copper pipes, the water is not corrosive. This means the amount of lead or copper absorbed by the water is limited to safe levels.
- (b) Fluoride is added in treatment to bring the natural levels to the EPA Optimum of 1 part per million. This optimum concentration promotes strong teeth.
- (c) The EPD requires that no single reading for turbidity exceed 2 NTUs.
- (d) The EPD requires that no more than 5% of all readings exceed 0.5 NTU.
- > Greater than.
- < Less than.
- ne** Not Established.

Upper Oconee Basin Water Authority

DETECTED CONTAMINANTS TABLE 2010

<u>Substance</u>	<u>Units</u>	<u>MCL</u>	<u>MCLG</u>	<u>Highest Level</u>	<u># of Samples</u>	<u>Violations (YES/NO)</u>	<u>Source Of Substance</u>
<u>Copper</u>	ppm	1.3	1	N/A	N/A	NO	Corrosion of household plumbing system. Erosion of natural deposits; Leaching from wood preservatives.
<u>Lead</u>	ppb	15	0.0	N/A	N/A	NO	Corrosion of household plumbing systems.

UNREGULATED VOLATILE ORGANIC SUBSTANCES

<u>Substance</u>	<u>Units</u>	<u>MCL</u>	<u>MCLG</u>	<u>Amount Detected</u>	<u>Violation (YES/NO)</u>	<u>Source Of Substance</u>
<u>Bromodichloromethane</u>	ppb	ne	ne	4	NO	By-product of drinking water chlorination.
<u>Chloroform</u>	ppb	ne	ne	17	NO	By-product of drinking water chlorination.
<u>Chlorodibromomethane</u>	ppb	ne	ne	0	NO	By-product of drinking water chlorination.

PRIMARY INORGANIC SUBSTANCE

<u>Substance</u>	<u>Units</u>	<u>MCL</u>	<u>MCLG</u>	<u>System Results</u>	<u>Violations (YES/NO)</u>	<u>Source Of Substance</u>
<u>Fluoride</u>	ppm	4.0	4.0	0.81	NO	Erosion of natural deposits: water additive that promotes strong teeth; discharge from fertilizer and aluminum factories.
<u>Nitrate/Nitrite</u>	ppm	10.0	10.0	0.23	NO	Run off from fertilizer use; Leaching from septic tanks, sewage; Erosion of natural deposits.

Upper Oconee Basin Water Authority (Cont.)

DISINFECTION BY-PRODUCTS

<u>Substance</u>	<u>Units</u>	<u>MCL</u>	<u>Violation (YES/NO)</u>	<u>Amount Detected</u>	<u>Source of Substance</u>
<u>Total Trihalomethanes</u>	ppb	80	NO	52	By-product of drinking water chlorination.
<u>Total Haloacetic Acids</u>	ppb	60	NO	50	By-product of drinking water chlorination.

TURBIDITY

<u>Substance</u>	<u>Units</u>	<u>MCL</u>	<u>MCLG</u>	<u>Highest Reported</u>	<u>Violation (YES/NO)</u>	<u>Lowest % Of Samples Meeting Limits</u>	<u>Source Of Substance</u>
<u>Turbidity</u>	NTU	<.3 in 95% of samples/month	n/a	0.035	NO	100%	Soil Runoff

MICROBIOLOGICAL

<u>Substance</u>	<u>MCL</u>	<u>MCLG</u>	<u># of System Positive Results</u>	<u>Violation (YES/NO)</u>	<u>Sources in Drinking Water</u>
<u>Total Coliform Bacteria</u>	0	0	0%	NO	Naturally present in the environment.

APPENDIX P
ENDANGERED SPECIES DOCUMENTATION

RECEIVED

6 April 2012

SITE REVIEW AND TECHNICAL ASSISTANCE REQUEST

APR 12 2012

United States Fish and Wildlife Services
Georgia Ecological Services Field Office
105 Westpark Drive, Suite D, Athens, Georgia 30606

ATHENS, GA
USFWS

**Subject: Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

NG-12-156-60110

**Query: Fisheries and Wildlife Management Areas
Rare Species and Species of Concern
Threatened and Endangered Species**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities. We have reviewed available information on the Georgia Nongame Conservation Section Website as well as performed an initial Site review for endangered species and their critical habitats. At this time, we have not discovered endangered species or critical habitat concerns associated with the Site.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



U. S. Fish and Wildlife Service
105 West Park Drive, Suite D,
Athens, GA 30605
706-613-9493 Fax 706-613-6059

FWS Log No.

NG-12-156-60110

**Robert Brawner
Project Manager**

The service has reviewed the plans for this proposed project. Based on the information you provided, no further action is required under Section 7(a)(2) of the Endangered Species Act. However, if new information or changes in the project involve federally listed species, further consultation with the Service will be required.

Sandra S. Tucker, Field Supervisor

5/10/12
Date

Attachments



MARK WILLIAMS
COMMISSIONER

DAN FORSTER
DIRECTOR

May 21, 2012

Robert Brawner
Project Manager
One Consulting Group
P.O. Box 54382
Atlanta, GA 30308

Subject: Known occurrences of natural communities, plants and animals of highest priority conservation status on or near Proposed Braselton Court, Barrow County, Georgia

Dear Mr. Brawner:

This is in response to your request of April 6, 2012. According to our records, within a three-mile radius of the project site there are the following Natural Heritage Database occurrences:

- US *Amphianthus pusillus* (Pool Sprite) approx. 3.0 mi. N of site
- GA *Cyprinella xaenura* (Altamaha Shiner) approx. 1.0 mi. NW of site in Mulberry Creek & Tributaries
- GA *Cyprinella xaenura* (Altamaha Shiner) approx. 2.5 mi. SE of site in Mulberry Creek & Tributaries
- Hemidactylum scutatatum* (Four-toed Salamander) approx. 2.5 mi. N of site
- US *Isoetes melanospora* (Black-spored Quillwort) approx. 3.0 mi. N of site
- US *Isoetes tegetiformans* (Mat-forming Quillwort) approx. 3.0 mi. N of site

* Entries above preceded by "US" indicates species with federal status (Protected, Candidate or Partial Status). Species that are federally protected in Georgia are also state protected; "GA" indicates Georgia protected species.

Recommendations:

We have no records of high priority species or habitats within the project area. Because this site has already been disturbed, it is not likely to provide habitat for rare species or communities. We are concerned about aquatic habitats that could be impacted by any future construction activities. In order to protect aquatic habitats and water quality, we recommend that all machinery be kept out of creeks during construction. We urge you to use stringent erosion control practices during construction activities. Further, we strongly advocate leaving vegetation intact within 100 feet of creeks, which will reduce inputs of sediments, assist with maintaining riverbank integrity, and provide shade and habitat for aquatic species. We realize that some trees may have to be removed, but recommend that shrubs and ground vegetation be left in place.

Please keep in mind that we have records of three federally listed species, *Amphianthus pusillus* (Pool Sprite), *Isoetes melanospora* (Black-spored Quillwort) and *Isoetes tegetiformans* (Mat-forming Quillwort) within three miles of the proposed project. These species depend on rock outcrop habitats and should not be negatively impacted if no outcrops occur within the project area. The Endangered Species Act states that taking or harming of a listed species is prohibited. We recommend all requestors with projects located near federally protected species consult with the United States Fish and Wildlife Service. For southeast Georgia, please contact Strant Colwell (912-265-9336, ext.30 or Strant_Colwell@fws.gov). In southwest Georgia, please contact John Doresky (706-544-6999 or John_Doresky@fws.gov). In north Georgia, please contact Robin Goodloe (706-613-9493, ext.221 or Robin_Goodloe@fws.gov).

Disclaimer:

Please keep in mind the limitations of our database. The data collected by the Nongame Conservation Section comes from a variety of sources, including museum and herbarium records, literature, and reports from individuals and organizations, as well as field surveys by our staff biologists. In most cases the information is not the result of a recent on-site survey by our staff. Many areas of Georgia have never been surveyed thoroughly. Therefore, the Nongame Conservation Section can only occasionally provide definitive information on the presence or absence of rare species on a given site. Our files are updated constantly as new information is received. **Thus, information provided by our program represents the existing data in our files at the time of the request and should not be considered a final statement on the species or area under consideration.**

If you know of populations of highest priority species that are not in our database, please fill out the appropriate data collection form and send it to our office. Forms can be obtained through our web site (<http://www.georgiawildlife.com/node/1376>) or by contacting our office. If I can be of further assistance, please let me know.

Sincerely,



Katrina Morris
Environmental Review Coordinator

Data Available on the Nongame Conservation Section Website

- Georgia protected plant and animal profiles are available on our website. These accounts cover basics like descriptions and life history, as well as threats, management recommendations and conservation status. Visit <http://www.georgiawildlife.com/node/2721>.

- Rare species and natural community information can be viewed by Quarter Quad, County and HUC8 Watershed. To access this information, please visit our GA Rare Species and Natural Community Information page at: <http://www.georgiawildlife.com/conservation/species-of-concern?cat=conservation>.
- Downloadable files of rare species and natural community data by quarter quad and county are also available. They can be downloaded from: <http://www.georgiawildlife.com/node/1370>.

APPENDIX Q
SHPO REVIEW DOCUMENTATION



HISTORIC PRESERVATION DIVISION

MARK WILLIAMS
COMMISSIONER

DR. DAVID CRASS
DIVISION DIRECTOR

MEMORANDUM

TO: Robert Brawner
Project Manager
One Consulting Group, Inc.
Post Office Box 54382
Atlanta, Georgia 30308

FROM: *ecb*
Elizabeth Shirk
Environmental Review Coordinator
Historic Preservation Division

RE: Finding of "No Historic Properties Affected"

PROJECT: **Construct Braselton Court Apts, Beaver Dam Rd, Nr SR 211,
Braselton
Federal Agency: HUD
HP-120514-002**

COUNTY: Barrow

DATE: June 7, 2012

The Historic Preservation Division (HPD) has reviewed the information received concerning the above-referenced project. Our comments are offered to assist federal agencies and their project applicants in complying with the provisions of Section 106 of the National Historic Preservation Act, as amended.

Based on the information submitted, HPD has determined that no historic properties or archaeological resources that are listed in or eligible for listing in the National Register of Historic Places will be affected by this undertaking. Please note that historic and/or archaeological resources may be located within the project's area of potential effect (APE), however, at this time it has been determined that they will not be impacted by the above-referenced project. Furthermore, any changes to this project as proposed will require further review by our office for compliance with Section 106.

If we may be of further assistance, please do not hesitate to contact Erin Parr, Environmental Review Specialist, at (404) 651-6546. Please refer to the project number assigned above in any future correspondence regarding this project.

ES:kac

cc: Burke Walker, Northeast Georgia Regional Commission
Cassandra Knight, Georgia Department of Community Affairs

**ENVIRONMENTAL CONSULTANT
PROFESSIONAL OPIONION REGARDING HISTORIC
PRESERVATION**

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies/Gentlemen:

It is my professional opinion that the proposed project will not have an effect upon properties included in or eligible for inclusion in the National Register of Historic Places (hereinafter "National Register") pursuant to Section 800.13 of the historic preservation regulations, 36 CFR Part 800. 36 CFR Part 800 also implements Section 106 of the National Historic Preservation Act, 16 U.S.C. 470f (hereinafter Section 106").



June 12, 2012

Date

Environmental Professional

Georgia Historic Preservation Division

Environmental Review Form

At a minimum, the Historic Preservation Division (HPD), Georgia State Historic Preservation Office (SHPO), may require the following information in order to review projects in accordance with applicable federal or state laws (Section 106 of the National Historic Preservation Act or the Georgia Environmental Policy Act, etc). Please note that responsibility for preparing documentation, including the identification of historic resources and the assessment of potential effects resulting from an undertaking, rests with the federal or state agency or its designated applicant. If insufficient information is provided, we may request additional materials. The role of the SHPO is to review, comment, and consult with federal/state agencies, applicants, and consultants. *Please note that the US Corps of Engineers (USACE) does not delegate compliance to applicants and all information prepared for permits through this agency should be coordinated directly with USACE. Also, if you are submitting a cell tower project do not use this form. Please submit all cellular projects on either the Form 620 or 621.*

I. General Information

A. **Project Name:** Braselton Court
Project Address: Beaver Dam Road (East of GA HWY 11)
City: Braselton
County: Barrow
State, Zip Code: Georgia, 30548
U. S. Congressional District - see http://www.census.gov/qeo/www/cd108th/GA/plc_c8_13.pdf : 9

B. **Federal Agency:** United States Department of Housing and Urban Development, Home Investment Partnership Program

State Agency: Georgia Department of Community Affairs

C. Agency's Involvement:

Funding Unknown
 License/Permit Other, please explain:
 Direct/Is performing the action _____

D. Project Type:

Road/Highway Construction or **New Construction**
 Improvements Relicensing
 Demolition Utilities/Infrastructure
 Rehabilitation Unknown
 Addition to Existing Building/Structure Other: _____

E. Level of Review:

Section 106 of the National Historic Preservation Act (Federal)
 Section 110 of the National Historic Preservation Act
 Georgia Environmental Policy Act (State)
 State Agency Historic Property Stewardship Program (State Stewardship)
 Technical Assistance
 Unknown

F. **Project Description and Plans** (Please include details as to what will be constructed, what will be altered and how and what will be demolished, as applicable. Attach additional pages if necessary):

Currently, the proposed Site is vacant, graded land. The proposed improvements will include grading and construction of a multi-story apartment complex.

G. Contact Information:

Applicant Consultant

Robert Brawner, Project Manager
One Consulting Group, Inc.
Post Office Box 54382, Atlanta, Georgia 30308
Telephone: (404) 815-8005
Facsimile: (404) 815-8002
Electronic Mail: robert@onecginc.com

Agency Contact Info (either State or Federal, according to review type): **State**

Cassandra Knight
Georgia Department of Community Affairs
60 Executive Park South NE
Atlanta, Georgia 30329
Telephone: (404) 679-4940
Facsimile: (404) 679-0667
Electronic Mail: cknight@dca.state.ga.us

H. Attach a **map** indicating the precise location of the project, preferably a clear color copy of a USGS topographic quadrangle map (7.5 minute). For projects in urban areas, please also include a city map that shows more detail. For additional help and information you may want to refer to the following websites: <http://terraservert.microsoft.com/>, <http://topomaps.usgs.gov>¹.

I. Has this identical project or a related project been previously submitted for review? **NO**

II. Information Defining the Area of Potential Effect (APE)

A. The APE varies with project types, and can be direct or indirect (**physical or visual**). The APE is defined as “the geographic area or areas within which an undertaking may cause changes in the character or use of historic properties, if any such properties exist.” Factors considered when determining the APE include topography, vegetation, existing development, orientation of an existing resource to the project, physical sitting of a resource, and existing and planned future development. For example:

1. Rehabilitation, renovation, and/or demolition of an historic building or structure, or new construction: the APE might include the building itself and the adjacent setting.
2. Streetscapes: the APE might include the views from the street.
3. Pedestrian/bicycle facilities: the APE might extend the length of the corridor and for some distance on both sides of the corridor.
4. Underground utilities: the APE would usually be limited to the area of ground disturbance.

Based on this information, **describe the Area of Potential Effect** for your project: **It will be the proposed footprint and top of roof elevation for the proposed development.**

B. **Attach a map or site plan and project plans (as applicable)**, which indicate the boundaries of the APE and provide information about project scope of work (this may be the same map used above to show project location), please see the examples on our website.

C. **Provide high-resolution color photographs**, which illustrate the project area and the entire APE as defined above. Photography should document not only the project area, but also any adjacent properties that are within the APE. If the APE includes buildings or structures, please include clear views of each. All photography should be keyed to a site map and project plans (as applicable), please see our examples. Photographs should be individually numbered, and corresponding numbers should be placed on the map or site plan, showing location and direction of view. Should your project entail the alteration of existing historic structures, please provide photographs of existing conditions of sites, buildings and interior areas to be impacted.

¹ Please note, this is not a complete list of websites with topographic map information. These websites are not controlled by HPD and HPD bears no responsibility for their content.

III. Site Information

A. To your knowledge, has a cultural resources assessment or a historic resources survey been conducted in the project area? **NO**

B. Attach any available information concerning known or suspected archaeological resources in the area of potential effect. (Note: Research at the Georgia Archaeological Site File in Athens may be undertaken only by a qualified archaeologist or site file staff. For questions, please call 706-542-8737.) **Please note that as part of the review process, HPD may request an archaeological survey.**

C. In the past has this property been used for:

- 1. Farming **Potentially**
- 2. Pasture **Potentially**
- 3. Mining **NO**
- 4. Timbering **NO**
- 5. Road construction **NO**
- 6. Housing **NO**
- 7. Landfill **NO**
- 8. Commercial **NO**
- 9. Industrial **NO**
- 10. Other (explain): **Not applicable**

D. Describe what is on the property today (i.e. buildings, parking lot, house, barn, outbuildings, woods, grass, garden, etc.): **Vacant, graded land.**

E. Does the project include any land disturbing activities? (haul roads, cut or fill areas, excavations, landscaping activities, ditching, utility burial, grading, water tower construction etc.) **YES** If yes, please describe the nature of the work and the approximate three dimensional extent of work: **Construction of a 80 unit apartment complex with one multi-story building with a slab on-grade foundation and foundation walls. Site improvements will include surface parking, site retaining walls, underground utilities, site lighting and storm water detention. Trees, landscaping, and ground cover will be planted also.**

F. If not provided in response to previous sections, please include a project specific map and/or preliminary site plan that fully describe the project boundaries and areas of land disturbing work. Note in detail all changes and additions proposed to be made to the existing site.

See attached.

IV. Building and Structure Information

A. Is the project located within or adjacent to a National Register of Historic Places (NRHP) listed or eligible historic district? **The Site has not been identified as a Historic Site, and is not within a one mile radius of any potential historic districts or Sites.**

B. Within the project APE, are there any other buildings or structures that are 50 years old or older? **Yes, there is a single-family residence to the east of the proposed Site. However, no historical significance has been discovered associated with this structure. As per the query, only its age causes it to be noteworthy.**

C. Are any of the buildings or structures identified above listed or eligible for listing in the NRHP? **No.**

D. Does the project involve the rehabilitation, renovation, relocation, demolition or addition to any building or structure that is 50 years old or older? **No.**

(Note: Background research for previously identified properties within an APE may be undertaken at HPD, including the National Register of Historic Places files, county architectural surveys, and identified sites files. To make a research appointment, please call 404-651-5911. Some information may also be available on the web.)

V. Additional Information for Effects Determination

An effect occurs when an action alters the characteristics of a property that may qualify it for the National Register or alters the features of a property's location, setting or use that contribute to its significance. How is the project going to affect any of the properties identified in the previous section?

- A. Will the project take away or change anything within the apparent or existing boundary of any of these historic properties? **No.**
- B. Will the project change the view from or the view of any of these properties? **No.**
- C. Will the project introduce any audible or atmospheric elements to the setting of any of these historic properties? **No.**
- D. Will the project result in the transfer, lease or sale of any of these historic properties? **No.**

Please note: *HPD's ability to complete a timely project review largely depends on the quality of the material submitted. For complex projects, some applicants may find it advantageous to hire a historic preservation professional with expertise in history, architectural history and/or archaeology.*

We are unable to accept project submittals via facsimile or e-mail. *There is a 30-day review and comment period. For questions regarding this form or the review process, please contact HPD's Environmental Review Specialist at 404-651-6546.*

When completed, please send this form along with the supporting material to:

**Dr. David Crass, Acting Division Director,
Historic Preservation Division
Attention: Environmental Review
254 Washington Street, SW
Ground Level
Atlanta, Georgia 30334**

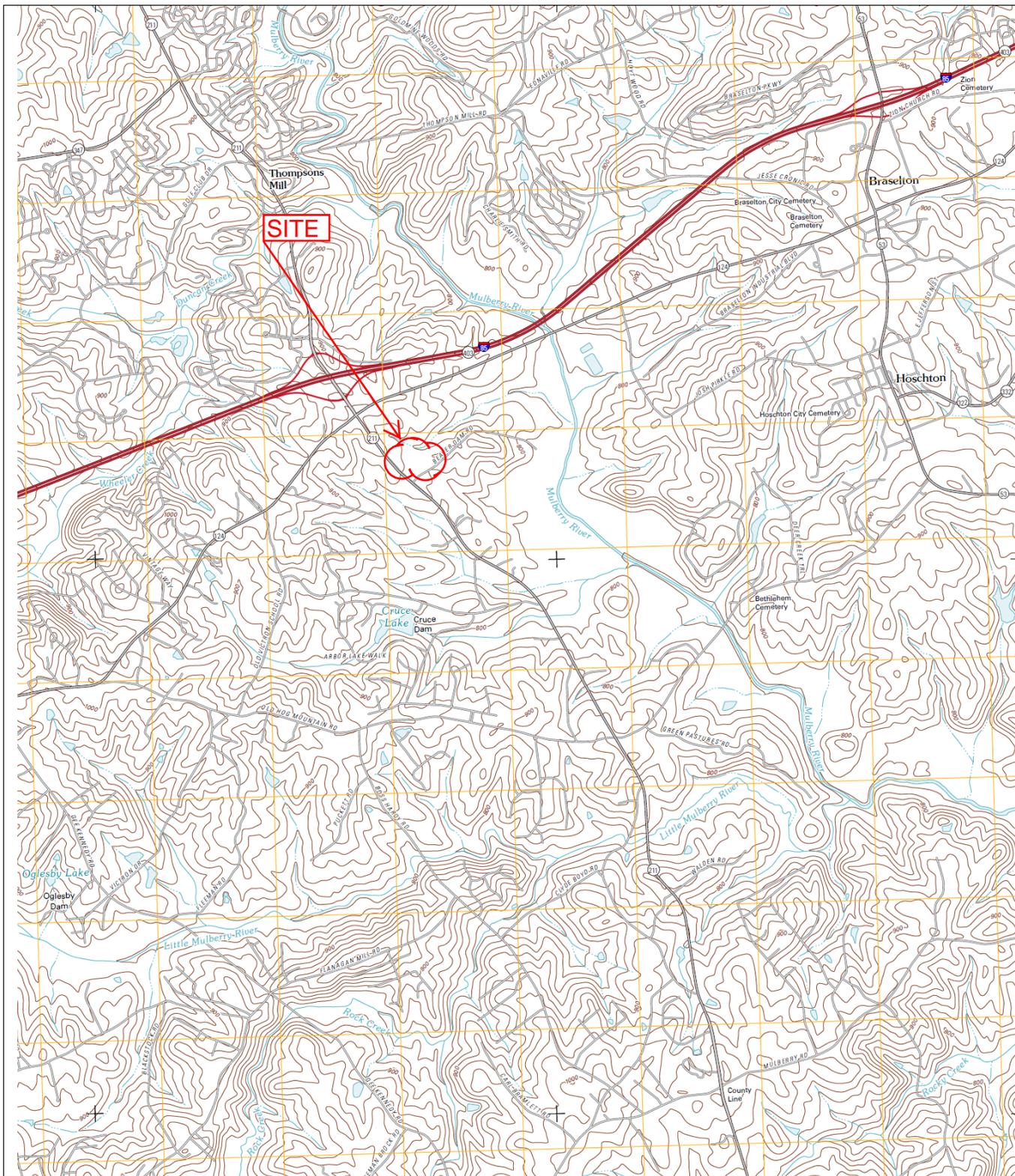
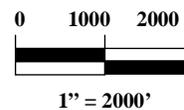


Figure 1 – Topographic Map

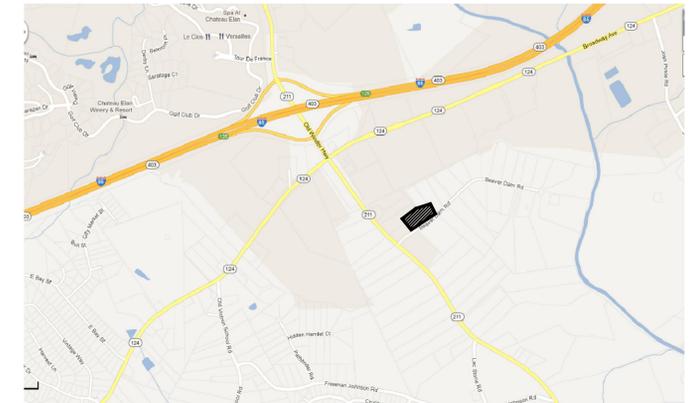
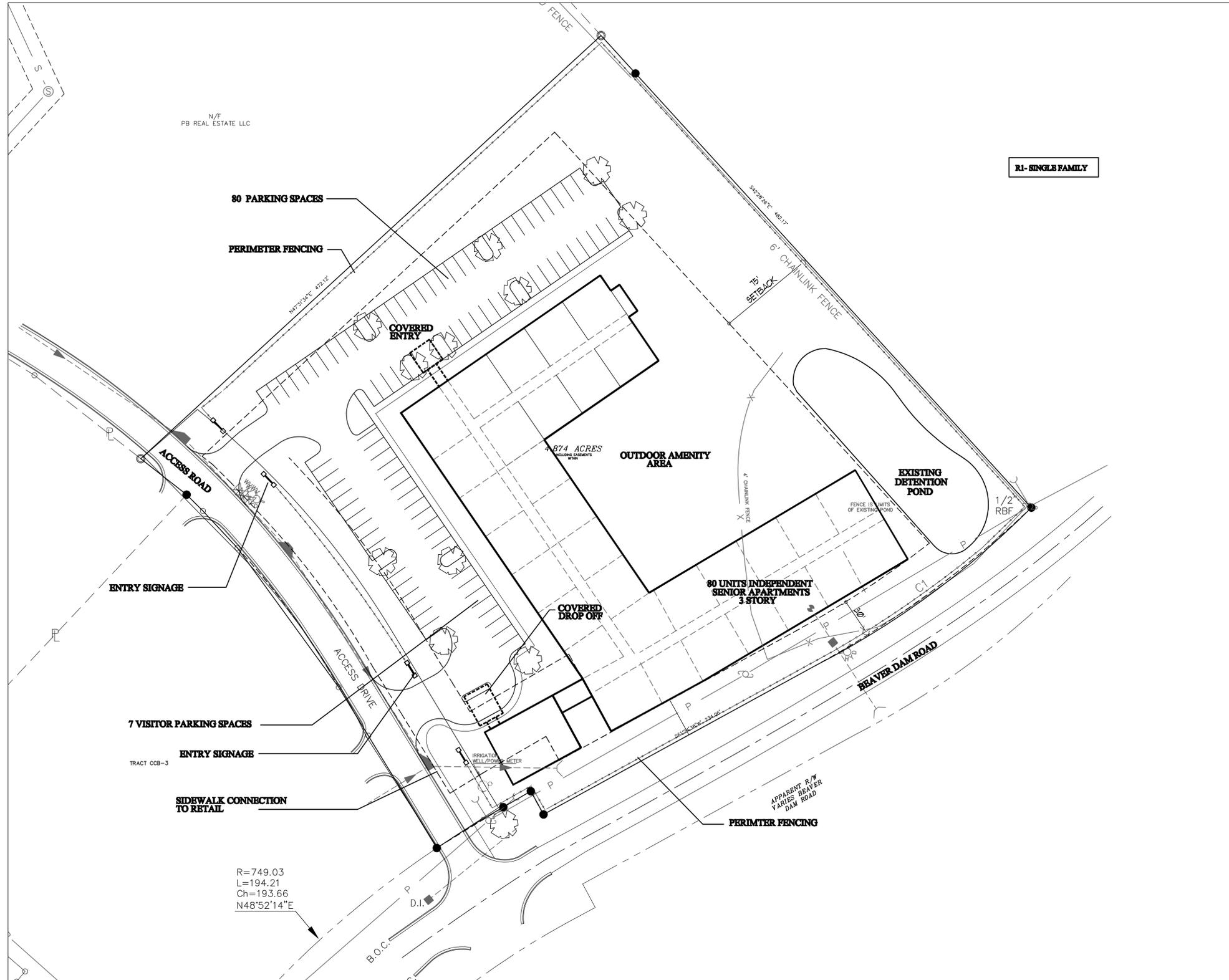
Map Date: 2011

**Proposed Braselton Court
Beaver Dam Road & GA HWY 211
Braselton, Barrow County, Georgia**



One Group Project#A2028

Source: USGS Auburn GA Quad, 7.5-Minute, Topo



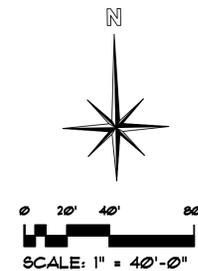
VICINITY MAP

PROJECT SUMMARY

PROJECT AREA = 4.6 ACRES
 INDEPENDENT SENIOR LIVING APARTMENTS
 80 AGE RESTRICTED APARTMENTS
 3 STORY BUILDING
 VISITOR PARKING AREA
 7 VEHICULAR SPACES
 RESIDENT PARKING AREA
 80 PARKING APACES

SITE DISCRPTION

EXISTING ZONING - O/I
 PROPOSED ZONING - O/I -MULTI FAMILY
 3 STORY BUILDING - 114,000 SF.
 PROPOSED PARKING - 87 SPACES
 PROPOSED BUILDING HT - 3 STORY WITH PROPER FIRE PREVENTION



BRASELTON COURT

HWY 211 NW & BEAVER DAM ROAD
 NORSOUTH DEVELOPMENT CO. OF GEORGIA

3-15-2012
 SCALE: 1" = 40'-0"
CONCEPTUAL SITE PLAN

FOLEY DESIGN ASSOCIATES ARCHITECTS INC.
 1513 Cleveland Avenue Building 100 Suite 102 East Point, Georgia 30344 (404) 761-1299



Photo #1 – May 2, 2012

View of Site frontage along Beaver Dam Road, detention pond evident

South to northeast view



Photo #2 – May 2, 2012

View of Site frontage along Beaver Dam Road

South to northwest view



Photo #3 – May 2, 2012

On-Site detention pond on east corner

South to north view



Photo #4 – May 2, 2012

Site view along center, adjacent commercial development evident

East to west view



Photo #5 – May 2, 2012

Site view along center, adjacent commercial development evident

West to east view



Photo #6 – May 2, 2012

Site view along center, adjacent single-family residence evident

West to east view



Photo #7 – May 2, 2012

Site view along center

South to north view



Photo #8 – May 2, 2012

Site view along center, access drive evident

East to west view



Photo #9 – May 2, 2012

Site frontage along Beaver Dam Road

East to west view



Photo #10 – May 2, 2012

Site frontage along Beaver Dam Road

East to west view



Photo #11 – May 2, 2012

Vacant, undeveloped land to the south

North to south view



Photo #12 – May 2, 2012

Light commercial and medical development
to the north

South to north view



Photo #13 – May 2, 2012

Single-family residence to the east

South to north view



Photo #14 – May 2, 2012

Access road to the west then undeveloped land

East to west view



Photo #15 – May 2, 2012

Nearby above-ground storage tank on PETCO Distribution warehouse to the north

North to south view



MAYOR
Bill Orr
COUNCIL MEMBERS
District 1
Richard Mayberry
District 2
Peggy B. Slappey
District 3
Tony Funari
District 4
Dudley Ray

Council Meeting
Minutes
May 14, 2012

The Town of Braselton met for its regular meeting on Monday, May 14, 2012. Mayor Bill Orr called the meeting to order at 7:00 p.m. and led those in attendance in the pledge of attendance. Council members present were Richard Mayberry, Peggy Slappey, Tony Funari and Dudley Ray.

Mayor Orr made a motion to approve the minutes from the April 9, 2012 meeting. Councilmember Funari seconded the motion, which passed unanimously.

There were no citizen comments. Chief Esco presented Officer Josh Stewart with an Award of Excellence.

Councilmember Slappey made a motion to approve Conditional Use Case 12-100-CU, application from Norsouth Development Company with the condition, "This conditional use approval shall only be for an 80 unit maximum independent living apartment complex that will be limited to occupants' age 55 years or older. An exception to the age restriction may be permitted for one unit to house an on-site staff person. Notice of said age restriction in compliance with the Housing for Older Persons Act (HOPA) shall be set forth as a deed restriction on the conveyance deed for the underlying real property." Mayor Orr seconded the motion, which passed unanimously.

Councilmember Funari made a motion to approve the alcoholic beverage license for Clifford Wright for Newport Enterprises LLC d/b/a Jack's Old South BBQ. Councilmember Slappey seconded the motion, which passed unanimously.

Mayor Orr made a motion to approve the Barrow County Statewide Mutual Aid for GEFA. Councilmember Mayberry seconded the motion, which passed unanimously.

Councilmember Funari made a motion to accept the recommendation of the committee and select Mulkey Engineering for the Town Green/TE II Design and Engineering. Mayor Orr seconded the motion, which passed unanimously.

At 7:10 pm, Mayor Orr made a motion to adjourn into Executive Session for the purpose of discussing pending or potential litigation. Councilmember Mayberry seconded the motion, which passed unanimously.

"It's Better in Braselton"

At 8:07 pm, Councilmember Funari made a motion to adjourn Executive Session and enter into Open Session. Councilmember Mayberry seconded the motion, which passed unanimously.

No action was taken on items in Executive Session.

At 8:08 p.m., Councilmember Mayberry made a motion to adjourn. Councilmember Slappey seconded the motion, which passed unanimously.

Approved:

Bill Orr, Mayor

Attest:

Jennifer Dees, Manager and Clerk

“It’s Better in Braselton”



MAYOR
Bill Orr
COUNCIL MEMBERS
District 1
Richard Mayberry
District 2
Peggy B. Slapney
District 3
Tony Funari
District 4
Dudley Ray

Work Session Agenda

May 10, 2012

4:00 p.m.

I. CALL TO ORDER

II. PUBLIC HEARING

2a. Review of Public Hearing Procedures

2b. Case# 12-100-CU

Application for a conditional use approval from Norsouth Development Company of Georgia on property identified as Barrow County Tax Parcel BR023-023 and 020(partial). The property has frontage along Beaver Dam Road (approximately 280 ft. from the S.R. 211 intersection). The property owner is PB Real Estate, LLC. The approximate acreage of the entire property is 4.8 acres. The zoning classification on the property is O-I (Office-Institutional). The applicant requests a conditional use approval to build eighty (80) senior adult (restricted to age 55 years and older) apartments.

Planning Director and Planning Commission recommend approval with one condition:

This conditional use approval shall only be for an 80 unit independent living apartment complex that will be limited to occupants' age 55 years or older.

III. ITEMS FOR DISCUSSION

3a. Alcoholic Beverage License for Clifford Wright for Newport Enterprises LLC d/b/a Jack's Old South BBQ at 6323 Grand Hickory Drive, Suite 100A for Malt Beverage Consumption

3b. Barrow County Statewide Mutual Aid for GEMA

3c. Recommendation on Town Green Design and Engineering

IV. ADJOURN

"It's Better in Braselton"



MAYOR
Bill Orr
COUNCIL MEMBERS
District I
Richard Mayberry
District 2
Peggy B. Slappey
District 3
Tony Funari
District 4
Dudley Ray

Minutes of the Town of Braselton Planning Commission
April 23, 2012

The Town of Braselton Planning Commission met on April 23, 2012 at 7:00 p.m. Those members in attendance were: Tony Price, Edd-Price – Vice Chairperson, and Chris Meadows. Allan Slovin and April Angeles were absent

Mr. Price reviewed the public hearing procedures.
There was one item on the agenda.

Case# 12-100-CU

Application for a conditional use approval from Norsouth Development Company of Georgia on property identified as Barrow County Tax Parcel BR023-023 and 020(partial). The property has frontage along Beaver Dam Road (approximately 280 ft. from the S.R. 211 intersection). The property owner is PB Real Estate, LLC. The approximate acreage of the entire property is 4.8 acres. The zoning classification on the property is O-I (Office-Institutional). The applicant requests a conditional use approval to build eighty (80) senior adult (restricted to age 55 years and older) apartments.

Brendan Barr, of Norsouth Development, presented the application on behalf of the applicant.

There were no public comments in support or opposition to the application.

The public hearing closed.

The Planning Director recommended approval of the application with one recommended condition: *This conditional use approval shall only be for an 80 unit independent living apartment complex that will be limited to occupants' age 55 years or older.*

Tony Price made a motion to approve the application with the recommended condition of the Planning Director. Chris Meadows seconded the motion. The motion passed 3-0.

The meeting was adjourned at 7:45pm.

"A past to preserve and a future to mold."

APPENDIX R
ADDITIONAL HOME REQUIREMENTS

Environmental Assessment and Compliance Findings for the Related Laws

U.S. Department of Housing and Urban Development

1. Project Number	
HUD Program	
2. Date Received	

RMS: HI-00487R

Findings and Recommendations are to be prepared **after** the environmental analysis is completed. Complete items 1 through 15 as appropriate for all projects. For projects requiring an environmental assessment, also complete Parts A and B. For projects categorically excluded under 24 CFR 50.20, complete Part A. Attach notes and source documentation that support the findings.

3. Project Name and Location (Street, City, County, State) Braselton Court 1018 Beaver Dam Road Braselton, Barrow County, Georgia	4. Applicant Name and Address (Street, City, State, Zip Code), and Phone Braselton Court, LP 2000 RiverEdge Parkway, Suite 950 Atlanta, Georgia 30328 (404) 460-2868
---	--

5. <input type="checkbox"/> Multifamily <input checked="" type="checkbox"/> Elderly <input type="checkbox"/> Other If Other, explain.	6. Number of <u>80</u> Dwelling Units <u>1</u> Buildings <u>3</u> Stories <u>5</u> Acres	7. Displacement <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If Yes, explain.
--	--	---

8. New Construction Rehabilitation Other
(If Other, explain)

9. Has an environmental report (Federal, State, or local) been used in completing this form? No Yes
If Yes, identify: One Group ESA dated 6/2012

10. Planning Findings. Is the project in compliance or conformance with the following plans?

Local Zoning	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Not Applicable
Coastal Zone	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Not Applicable
Air Quality (SIP)	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> Not Applicable

Explain any "No" answer: _____

11. Environmental Finding (check one)

Categorical exclusion is made in accordance with § 50.20 or

Environmental Assessment and a **Finding of No Significant Impact (FONSI)** is made in accordance with § 50.33 or

Environmental Assessment and a **Finding of Significant Impact** is made, and an Environmental Impact Statement is required in accordance with §§ 50.33(d) and 50.41.

Are there any unresolved conflicts concerning the use of the site?

No Yes (explain): _____

Project is recommended for approval (List any conditions and requirements) Project is recommended for rejection (State reasons)

12. Preparer (signature) 	Date <u>6/14/12</u>	13. Supervisor (signature)	Date
---	------------------------	----------------------------	------

14. Comments by Environmental Clearance Officer (ECO) (required for projects over 200 lots/units)

ECO (signature) X	Date
----------------------	------

15. Comments (if any) by HUD Approving Official

HUD Approving Official (signature) X	Date
---	------

Part A. Compliance Findings for §50.4 Related Laws and Authorities

§ 50.4 Laws and Authorities	Project is in Compliance		Source Documentation and Requirements for Approval
	Yes	No	
16. Coastal Barrier Resources	✓		Georgia Department of Community Affairs CRM list
17. Floodplain Management (24 CFR Part 55)	✓		Site visit;FEMA FHBM & FIRM;USGS topographic map;survey
18. Historic Preservation (36 CFR Part 800)	✓		Site visit;National Register of Historic Places;SHPO Review
19. Noise Abatement (24 CFR Part 51 Subpart B)	✓		Site visit;noise assessment report;USDOT;FAA
20. Hazardous Operations (24 CFR Part 51 Subpart C)	✓		Site visit;HUD Guidebook (Hazardous Com./Ind. Facilities)
21. Airport Hazards (24 CFR Part 51 Subpart D)	✓		Site visit;aerial maps;USGS topographic map;survey
22. Protection of Wetlands (E. O. 11990)	✓		Site visit;National Wetlands Inventory (NWI);survey
23. Toxic Chemicals & Radioactive Materials (§ 50.3(i))	✓		Site visit;Environmental databases; Fire Authority Inquiry
24. Other § 50.4 authorities (e.g., endangered species, sole source aquifers, farmlands protection, flood, insurance, environmental justice)	✓		Site visit;reviewer experience;FFIEC;USFWS;NRCS;GADNR

Part B. Environmental/Program Factors

Factors	Anticipated Impact/Deficiencies			Source Documentation and Requirements for Approval
	None	Minor	Major	
25. Unique Natural Features and Areas	✓			Site visit;aerial photographs;USGS topographic map
26. Site Suitability, Access, and Compatibility with Surrounding Development	✓			Site visit;reviewer experience
27. Soil Stability, Erosion, and Drainage	✓			Site visit;FEMA;NWI;geotech PE & reviewer experience
28. Nuisances and Hazards (natural and built)	✓			Site visit;aerial photographs;reviewer experience
29. Water Supply / Sanitary Sewers	✓			Site visit;interview;local water inquiry
30. Solid Waste Disposal	✓			Site visit;interviews
31. Schools, Parks, Recreation, and Social Services	✓			Site visit;aerial photographs;reviewer experience
32. Emergency Health Care, Fire and Police Services	✓			Site visit;local fire inquiry;local emergency inquiry
33. Commercial / Retail and Transportation	✓			Site visit;aerial photographs;reviewer experience
34. Other	✓			

Sample Field Notes Checklist

Project Number	HUD Program
----------------	-------------

Project Name:
Braselton Court

Location (street, city, county/State, & zip code)
1018 Beaver Dam Road, Braselton, Georgia 30548

Number of Dwelling Units 80	Project site is in a location described as
<input checked="" type="checkbox"/> New construction <input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Central city <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Infill urban development <input type="checkbox"/> In developing rural area <input type="checkbox"/> In undeveloped area

Note to Reader: An Environmental Assessment (EA) is a concise public document that a Federal agency must prepare in order to comply with the National Environmental Policy Act (NEPA) and the related Federal environmental laws and authorities. The EA must support decision making process and provide a clear rationale, justification, and documentation for ratings assigned.

Instructions

It is recommended that this checklist be used by HUD staff who prepare the Environmental Assessment (EA; form HUD-4128). It will constitute full documentation for many factors on the EA, and partial documentation for others. It will avoid narrative reports and expedite the environmental review process. This checklist, which is a slightly revised version of Appendix C of Handbook 1390.2, should be used pending revision of Handbook 1390.2.

The number for each checksheet topic is the number that appears on form HUD-4128. Also, each checklist title/heading is followed by a reference to where the topic appears in the current Handbook 1390.2.

Before the site visit, review the Phase I and all background information submitted with the application (if applicable). During the site visit, the preparers of form HUD-4128 are to: (i) answer all relevant questions on this checklist; (ii) use the spaces provided for comments to include supplemental information as well as to record any recommended mitigation measures or requirements for project approval; (iii) key your answers to the relevant questions (using additional sheets of paper to provide more detailed information); and (iv) use the spaces provided for source documentation to cite the information source used (e.g., title of

a technical report, map, or special study; site inspection/field observation; name and location of the qualified data source(s) that provided the information, for example, the local planning agency, the local housing and/or community development agency, the State environmental protection agency, the State Historic Preservation Officer, or other qualified data source.)

Preparers are to obtain and use, as appropriate, any environmental report (Federal, State, or local) that may have already been prepared for the property or area in which the property is located.

Several different types of maps will be useful in completing the review, such as the project plan or plot map, a location map showing major features and facilities in the vicinity, the USGS topographic map and FEMA flood map for the site area, and zoning/land use maps. *Many of the conditions can and should be recorded directly on the project plan.* Distances to major features and facilities (e.g., schools and fire stations) and a description of the surrounding area are examples. The plan can then be referenced as "source documentation" on form HUD-4128.

9. Environmental Report

List the Federal, State, or local agencies contacted to obtain their existing environmental reports and other data for the HUD environmental review for the proposed project.

USEPA, USGS, FEMA, US Fish and Wildlife Service, Georgia Environmental Protection Division, Barrow County Government

List the major reports obtained. (attach the report(s) or otherwise list the title, author, publication date)

Flood Insurance Rate Map;NWI Map;UST Facility list;CERCLA facility list;RCRA facility list; Wild and Scenic River list;See Appendix F of ESA for additional listings

10. Planning Findings

Is the project in compliance or conformance with the local zoning?

Yes No Not Applicable If No or Not Applicable, explain.

Barrow County Zoning confirmation letter is attached in ESA Appendix G

Is the project located within a coastal management zone (CZM)?

Yes No Not Applicable

If your answer is Yes, the State Coastal Zone Management (CZM) Agency must make a finding that the project is consistent with the approved State CZM program.

Is the State's finding attached to this checksheet?

Yes No

Is the project in compliance with the air quality State Implementation Plan (SIP)?

Yes No Not Applicable

Comments:

Compliance of project has been determined by Georgia Department of Community Affairs

Source documentation:

Site visit; local tax authority inquiry; local building/code/planning authority inquiry; Georgia Department of Community Affairs CZM and SIP Designations

Are there any unresolved conflicts concerning the use of the site?

Yes No If your answer is Yes, briefly explain:

16. Coastal Barrier Resources

Is the project located within a coastal barrier designated on a current FEMA flood map or Department of Interior coastal barrier resources map?

Yes No If your answer is Yes, the law prohibits Federal funding of projects in designated coastal barriers.

17. Flood Management (24 CFR Part 55) (see CF 3 and 4 of Handbook 1390.2)

Is the project located within a floodplain designated on a current FEMA flood map?

Yes No Identify FEMA flood map used to make this finding:

Community Name and Number: Barrow County Georgia, Panel 50

Map Panel Number and Date of Map Panel: 13013C0050C, dated December 18, 2009

If your answer is Yes, use § 55.12 and the floodplain management decisionmaking process (§ 55.20) to comply with 24 CFR Part 55.

Comments:

Floodplains were not identified on or adjacent to the proposed Site development

Source documentation: (attach § 55.20 analysis)

Site visit; FEMA; National Wetlands Inventory; survey

18. Historic Preservation (see CF 2 of Handbook 1390.2)

Has the SHPO been notified of the project and requested to provide comments?

Yes No

Is the property listed on or eligible for listing on the National Register of Historic Places?

Yes No

Is the property located within or directly adjacent to an historic district?

Yes No

Does the property's area of potential effects include an historic district or property?

Yes No

If your answer is Yes to any of the above questions, consult with the State Historic Preservation Officer (SHPO) and comply with 36 CFR part 800.

Has the SHPO been or is being advised of HUD's finding?

Yes No

Comments:

None

Source documentation:

National Register of Historic Places; SHPO submittal and review; SHPO response

19. Noise Abatement (see CF 1 of Handbook 1390.2)

Is the project located near a major noise source, i.e., civil airports (within 5 miles), military airfields (15 miles), major highways or busy roads (within 1000 feet), or railroads (within 3000 feet)?

Yes No If your answer is Yes, comply with 24 CFR 51, Subpart B which requires a noise assessment for proposed new construction. Use adopted DNL contours if the noise source is an airport.

Comments:

Site is designated as "Normally Acceptable"

Source documentation: (attach NAG worksheets)

Site visit; aerial maps; Noise Assessment provided in Appendix J

20. Hazardous Industrial Operations (see CF 5 of Handbook 1390.2)

Are industrial facilities handling explosive or fire-prone materials such as liquid propane, gasoline or other storage tanks adjacent to or visible from the project site?

Yes No If your answer is Yes, use HUD Hazards Guide and comply with 24 CFR Part 51, Subpart C.

Comments: **None.**

Source documentation: (attach ASD worksheets)

Site visit; fire inquiry; GAEPD UST list; GAEPD Hazardous Material facility list; Pipeline Release inquiry; inquiries with pipeline right of way managers

21. Airport Hazards (see CF 5 of Handbook 1390.2)

Is the project within 3,000 feet from the end of a runway at a civil airport?

Yes No

Is the project within 2-1/2 miles from the end of a runway at a military airfield?

Yes No If your answer is Yes to either of the above questions, comply with 24 CFR Part 51, Subpart D.

Comments: **None.**

Source documentation:

Site visit; aerial maps; available FAA information review

22. Protection of Wetlands (E.O. 11990) (see CF 3 and 4 of Handbook 1390.2)

Are there drainage ways, streams, rivers, or coastlines on or near the site?

Yes No

Are there ponds, marshes, bogs, swamps or other wetlands on or near the site?

Yes No

For projects proposing new construction and/or filling, the following applies:

Is the project located within a wetland designated on a National Wetlands Inventory map of the Department of the Interior (DOI)?

Yes No If your answer is Yes, E.O. 11990, Protection of Wetlands, discourages Federal funding of new construction or filling in wetlands and compliance is required with the wetlands decisionmaking process (§ 55.20 of 24 CFR Part 55. Use proposed Part 55 published in the Federal Register on January 1, 1990 for wetland procedures).

Comments: **Wetlands were not identified on the site. Eight step process was completed at the first step.**

Source documentation: (attach § 55.20 analysis for new construction and/or filling)

Site visit; aerial maps; FEMA FIRM; National Wetlands Inventory; USGS Topographic Map; survey

23. Toxic Chemicals and Radioactive Materials (see CF 5 of Handbook 1390.2)

Has a Phase I (ASTM) Report been submitted and reviewed?

Yes No If your answer is No, is a Phase I (ASTM) report needed?

Yes No

Are there issues that require a special/specific Phase II report before completing the environmental assessment?

Yes No

Is the project site near an industry disposing of chemicals or hazardous wastes?

Yes No

Is the site listed on an EPA Superfund National Priorities or CERCLA, or equivalent State list?

Yes No

Is the site located within 3,000 feet of a toxic or solid waste landfill site?

Yes No

Does the site have an underground storage tank?

Yes No

If your answer is Yes to any of the above questions, use current techniques by qualified professionals to undertake investigations determined necessary and comply with § 50.3(i).

Are there any unresolved concerns that could lead to HUD being determined to be a Potential Responsible Party (PRP)?

Yes No

Comments:

None

Source documentation: (attach Phase I (ASTM) Report)

24. Other

a. Endangered Species (see EF 3.4 of Handbook 1390.2)

Has the Department of Interior list of Endangered Species and Critical Habitats been reviewed?

Yes No

Is the project likely to affect any listed or proposed endangered or threatened species or critical habitats?

Yes No If your answer is Yes, compliance is required with Section 7 of the Endangered Species Act, which mandates consultation with the Fish and Wildlife Service in order to preserve the species.

Comments:

None

Source documentation

Site visit;reviewer experience;Endangered Species and Critical Habitats List;USFWS endangered species inquiry

b. Sole Source aquifers

Will the proposed project affect a sole source or other aquifer?

Yes No

Comments

The Site will receive its drinking water supply from the Barrow County Water System.

Source documentation

Initial Impact Screening;USGS;GAEPD;Local water authority compliance inquiry.

c. Farmlands Protection (see EF 3.3 of Handbook 1390.2)

If the site or area is presently being farmed, does the project conform with the Farmland Protection Policy Act and HUD policy memo?

Yes No

If your answer is Yes, compliance is required with 7 CFR Part 658, Department of Agriculture regulations implementing the Act.

Comments:

Not applicable.

Source documentation:

d. Flood Insurance

Is the building located or to be located within a Special Flood Hazard Area identified on a current Flood Insurance Rate Map (FIRM)?

Yes No

If your answer is Yes, flood insurance protection is required for buildings located or to be located within a Special Flood Hazard Area as a condition of approval of the project. In addition, compliance with § 55.12 and the floodplain management decisionmaking process (§ 55.20) is required (refer to item #17 above). Document the map used to determine Special Flood Hazard Area in above item #17 pertaining to community name and number, map panel number and date of map panel.

e. Environmental Justice

Is the project located in a predominantly minority and low-income neighborhood?

Yes No

Does the project site or neighborhood suffer from disproportionately adverse environmental effects on minority and low-income populations relative to the community-at-large?

Yes No

If your answer is Yes, compliance is required with E.O. 12898, Federal Actions to Address Environmental Justice.

Comments:

None.

Source documentation: **Site visit;Federal Financial Institution Examination Council GEOCODER**

25. Unique Natural Features and Areas (see EF 3.2 of Handbook 1390.2)

Is the site near natural features (i.e., bluffs or cliffs) or near public or private scenic areas?

Yes No

Are other natural resources visible on site or in vicinity? Will any such resources be adversely affected or will they adversely affect the project?

Yes No

Comments:

26. Site Suitability, Access, and Compatibility with Surrounding Development (see EF 1.1 and 1.3 of Handbook 1390.2)

Has the site has been used as a dump, sanitary landfill or mine waste disposal area? Yes No
 Is there paved access to the site? Yes No
 Are there other unusual conditions on site? Yes No

Is there indication of:	Yes	No		Yes	No
distressed vegetation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	oil/chemical spills	<input type="checkbox"/>	<input checked="" type="checkbox"/>
waste material/containers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	abandoned machinery, cars, refrigerators, etc.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
soil staining, pools of liquid	<input type="checkbox"/>	<input checked="" type="checkbox"/>	transformers, fill/vent pipes, pipelines, drainage structures	<input type="checkbox"/>	<input checked="" type="checkbox"/>
loose/empty drums, barrels	<input type="checkbox"/>	<input checked="" type="checkbox"/>			

Is the project compatible with surrounding area in terms of:

	Yes	No		Yes	No
Land use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building type (low/high-rise)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Height, bulk, mass	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Building density	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Will the project be unduly influenced by:

	Yes	No		Yes	No
Building deterioration	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Transition of land uses	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Postponed maintenance	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Incompatible land uses	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Obsolete public facilities	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Inadequate off-street parking	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Are there air pollution generators nearby which would adversely affect the site:

	Yes	No		Yes	No
Heavy industry	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Large parking facilities (1000 or more cars)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Incinerators	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Heavy travelled highway (6 or more lanes)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Power generating plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Oil refineries	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cement plants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other(specify)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments:

Source documentation:

Site visit;reviewer experience;aerial photographs;local government inquiry;environmental database review

27. Soil Stability, Erosion, and Drainage (see EF 1.2 of Handbook 1390.2)

Slopes: Not Applicable Steep Moderate Slight

Is there evidence of slope erosion or unstable slope conditions on or near the site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Is there evidence of ground subsidence, high water table, or other unusual conditions on the site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Is there any visible evidence of soil problems (foundations cracking or settling, basement flooding, etc.) in the neighborhood of the site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Have soil studies or borings been made for the project site or the area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/> Unknown
Do the soil studies or borings indicate marginal or unsatisfactory soil conditions?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Is there indication of cross-lot runoff, swales, drainage flows on the property?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Are there visual indications of filled ground?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If your answer is Yes, was a 79(g) report/analysis submitted?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Are there active rills and gullies on site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If the site is not to be served by a municipal waste water disposal system, has a report of the soil conditions suitable for on-site septic systems been submitted?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> N.A.
Is a soils report (other than structural) needed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Are structural borings or a dynamic soil analysis/geological study needed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Comments:

None.

Source documentation:

Site visit;NRCS;FIRM;aerials;USGS topo map

28. Nuisances and Hazards (see EF 1.3 and 1.4 of Handbook 1390.2)

Will the project be affected by natural hazards:

	Yes	No		Yes	No
Faults, fracture	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fire hazard materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cliffs, bluffs, crevices	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wind/sand storm concerns	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Slope-failures from rains	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Poisonous plants, insects, animals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Unprotected water bodies	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous terrain features	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Will the project be affected by built hazards and nuisances:

	Yes	No		Yes	No
Hazardous street	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Inadequate screened drainage catchments	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Dangerous intersection	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazards in vacant lots	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Through traffic	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Chemical tank-car terminals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Inadequate separation of pedestrian/vehicle traffic	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other hazardous chemical storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Children's play areas located next to freeway or other high traffic way	<input type="checkbox"/>	<input checked="" type="checkbox"/>	High-pressure gas or liquid petroleum transmission lines on site	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Inadequate street lighting	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Overhead transmission lines	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Quarries or other excavations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous cargo transportation routes	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Dumps/sanitary landfills or mining	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Oil or gas wells	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Railroad crossing	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Industrial operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Will the project be affected by nuisances:

	Yes	No	Yes	No
Gas, smoke, fumes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Unightly land uses	<input type="checkbox"/>
Odors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Front-lawn parking	<input type="checkbox"/>
Vibration	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Abandoned vehicle	<input type="checkbox"/>
Glare from parking area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vermin infestation	<input type="checkbox"/>
Vacant/boarded-up buildings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Industrial nuisances	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other (specify)	<input type="checkbox"/>

Comments:

No issued found during the ESA

Source documentation:

Site visit; NRCS soil report (attached in stream and wetland investigation); FEMA FIRM; aerial photographs; USGS topographic map; environmental database review

29. Water, Supply, Sanitary Sewers, and Solid Waste Disposal (see EF 2.1, 2.2, and 2.4 of Handbook 1390.2)

Is the site served by an adequate and acceptable:

water supply

Yes No Municipal Private

sanitary sewers and waste water disposal systems

Yes No Municipal Private

trash collection and solid waste disposal

Yes No Municipal Private

If the water supply is non-municipal, has an acceptable "system" been approved by appropriate authorities and agencies?

Yes No

If the sanitary sewers and waste water disposal systems are non-municipal, has an acceptable "system" been approved by appropriate authorities and agencies?

Yes No

Comments:

This assessment found the Site has adequate access to the above public utilities

Source documentation:

Barrow County Water and Sewerage confirmation letters (attached)

31. Schools, Parks, Recreation, and Social Services (see U/EF 4, 5, and 6 of Handbook 1390.2)

Will the local school system have the capability to service the potential school age children from the project?

Yes No

Are parks and play spaces available on site or nearby?

Yes No

Will social services be available on site or nearby for residents of the proposed project?

Yes No

Comments:

None

Source documentation:

Site visit; local education authority inquiry; aerial photographs

32. Emergency Health Care, Fire and Police Services (see U/EF 7, 8, and 9 of Handbook 1390.2)

Are emergency health care providers located within reasonable proximity to the proposed project?

Yes No Approximate response time: 15 Mins

Are police services located within reasonable proximity to the proposed project?

Yes No Approximate response time: 5 mins

Is fire fighting protection municipal volunteer adequate and equipped to service the project?

Yes No Approximate/estimated response time: 15 mins.

Comments:

None

Source documentation:

Site visit; local fire, police, and emergency inquiry

33. Commercial/Retail and Transportation (see U/EF 10 and 11 of Handbook 1390.2)

Are commercial/retail shopping services nearby?

Yes No

Is the project accessible to employment, shopping and services by

public transportation or private vehicle?

Is adequate public transportation available from the project to these facilities?

Yes No

Are the approaches to the project convenient, safe and attractive?

Yes No

11. Conditions and Requirements for Approval

Are mitigation measures required?

Yes No

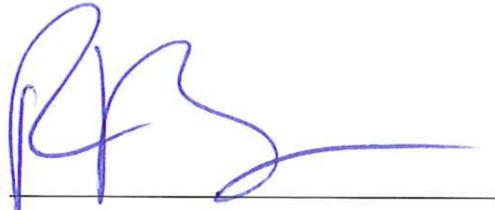
If your answer is Yes, list and describe:

Not applicable

Brief Description of the Project:

The site is scheduled for development as a multi-family housing

Field Inspection on (date) 05/30/2012

By (signature)  _____

HOME and HUD ENVIRONMENTAL QUESTIONNAIRE

Instructions: The following questionnaire must be completed and included as part of the Phase I Report at Application Submission for HOME/HUD funded Projects, including but not limited to PBRA and NSP. All appropriate documentation, including the Owner Environmental Questionnaire and Disclosure Statement, should be used in completing the questionnaire.

Part A of this form should be completed by the Applicant, while Part B of this form should be completed by the Environmental Professional and Part C should be completed jointly by the Applicant and the Environmental Professional.

Please note that, if this project is funded, the completion of this Questionnaire facilitates DCA's ability to quickly complete the Request for the Release of Funds Process, which must be submitted to the US Department of Housing and Urban Development for approval before DCA can release the HOME funds (See 2009 Qualified Allocation Plan, Threshold Criteria, Section 6, Subsection C (3)). The Comments and Source Documentation categories should be used to detail review findings and list the sources of such findings. Source documentation should clearly list the name of the reference document and the corresponding page number where the information can be located. N/A is not an acceptable response for Part C questions. **Tabbing of reference materials is strongly encouraged to expedite the review. Incomplete questionnaires may result in significant delays in the Request for the Release of Funds.**

PART A—TO BE COMPLETED BY THE APPLICANT

Project Name: **Braselton Court**

Project Location Address: **1018 Beaver Dam Road**

City, County, State: **Braselton, Barrow County, Georgia**

Contact person and telephone number: **Thurston Cooke, (678) 460-2862**

Type of project: **Multi-family new construction (Seniors Apartments - HFOP)**

Estimated Project Costs (from Application): **\$11,550,000**

Has the project completed a federal environmental review and received a clearance (i.e. 4128)? Pending If so, who performed the review? Robert Brawner, Principal, One Consulting Group, Inc.

*Make sure to attach it to this document

Project site is in a location described as:

Central city	<u> </u>	Rehabilitation	<u> </u>
Suburban	<u> X </u>	In developing rural area	<u> </u>
Infill urban development	<u> </u>	In undeveloped area	<u> </u>
New construction	<u> X </u>		

Project Description

Braselton Court is a proposed 80-unit community located within a larger mixed-use development in Braselton, Georgia. The subject site is a 4.60 acre parcel located along Thompson Mill Road (Highway 211) and Beaver Dam Road in the southern area of Braselton, Georgia; just east of Interstate 85. The property is accessed from Thompson Mill Road (Highway 211) just east of its intersection with Braselton Highway (Highway 124).

The property will be designated as Housing For Older Persons with residency set aside to occupant's age 55 years and older who are capable of an independent living lifestyle.

Funding will include federal and state Low Income Housing Tax Credits and the applicant has obtain a HOME consent from the Georgia Department of Community Affairs.

Planning/Zoning (complete only if new construction)

Yes No
(X) () Is the project in compliance or conformance with the local zoning?

Comments: **Site is currently zoned Office Institutional (O-I) with conditional use to allow senior apartments**

Source Documentation: **City of Braselton Zoning Confirmation Letter (attached)**

Water, Supply, Sanitary Sewers, and Solid Waste Disposal (complete only if new construction)

Yes No
(X) () Is the site served by an adequate and acceptable water supply
(X) () **Municipal** Private sanitary sewers and waste water disposal systems
(X) () **Municipal** Private sanitary sewers and waste water disposal systems
(X) () **Municipal Private** trash collection and solid waste disposal
() () **Municipal Private** If the water supply is non-municipal, has an acceptable "system" been approved by appropriate authorities and agencies? **Not applicable**
() () If the sanitary sewers and waste water disposal systems are non-municipal, has an acceptable "system" been approved by appropriate authorities and agencies? **Not applicable**

Comments: **None**

Source Documentation: **Site visit; Site Survey provided in Appendix A of the Environmental Site Assessment; Barrow County Water and Sewerage Department; Barrow County 2011 Annual Water Quality Report; Utility Availability Letters Provided by Barrow County Water and Sewer Departments**

Schools, Parks, Recreation, and Social Services (complete only if new construction)

Yes No
() () Will the local school system have the capability to service the potential school age children from the project?
Not applicable
(X) () Are parks and play spaces available on site or nearby?
(X) () Will social services be available on site or nearby for residents of the proposed project?

Comments: **None**

Source Documentation:

Emergency Health Care, Fire and Police Services (complete only if new construction)

Yes No
(X) () Are emergency health care providers located within reasonable proximity to the proposed project?
(X) () Are police services located within reasonable proximity to the proposed project?
(X) () Is fire fighting protection municipal volunteer adequate and equipped to service the project?

Comments: **Expected response times are less than 15 minutes**

Source Documentation:

Commercial/Retail and Transportation (complete only if new construction)

Yes No
(X) () Are commercial/retail shopping services nearby?
(X) () Is the project accessible to employment, shopping and services by **public transportation** or **private vehicle**?
(X) () Is the project accessible to employment, shopping and services by **public transportation** or **private vehicle**?
(X) () Is adequate public transportation available from the project to these facilities?
(X) () Are the approaches to the project convenient, safe and attractive?

Comments: **Site sits adjacent to commercial and retail services, within walking distance**

Source Documentation: **Site visit**

Nuisances and Hazards (complete only if new construction)

Will the project be affected by natural hazards:

Yes	No		Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Faults, fracture	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Slope-failures from rains
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wind/sand storm concerns	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Poisonous plants, insects, animals
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fire hazard materials	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Unprotected water bodies
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cliffs, bluffs, crevices	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous terrain features

Will the project be affected by built hazards and nuisances:

Yes	No		Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous street	<input type="checkbox"/>	<input checked="" type="checkbox"/>	High-pressure gas or liquid petroleum transmission lines on site
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Inadequate screened drainage catchments	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Inadequate street lighting
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dangerous intersection	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Overhead transmission lines
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazards in vacant lots	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Quarries or other excavations
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Through traffic	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Hazardous cargo transportation routes
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Chemical tank-car terminals	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Dumps/sanitary landfills or mining
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Inadequate separation of pedestrian / vehicle traffic	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Oil or gas wells
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other hazardous chemical storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Railroad crossing
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Children's play areas located next to freeway or other high traffic way	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Industrial operations
					Other (specify): _____

Will the project be affected by any of the following nuisances:

Yes	No		Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Gas, smoke, fumes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Glare from parking area
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Unsanitary land uses	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vermin infestation
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Odors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vacant/boarded-up buildings
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Front-lawn parking	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Industrial nuisances
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Vibration	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other (specify): _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Abandoned vehicle			

Comments: **None.**

Source Documentation: **Site visit, Auburn, Georgia USGS Map, Site survey**

Newspaper Contact Information

Name of local newspaper: **The Atlanta Journal and Constitution** (www.ajc.com/contact)

Address: **72 Marietta Street NW**

City: **Atlanta** State: **Georgia** Zip: **30303**

Telephone number: **(404) 526-5573** Fax number: **(404) 526-5904**

Contact name for Classifieds/Public Notice: **Bert Roughton, Jr.**

Contact email address for Classifieds/Public Notice: legalclass@ajc.com

PART B—TO BE COMPLETED BY THE ENVIRONMENTAL PROFESSIONAL

Environmental Laws and Authorities Resource Guide

Along with the 2012 Environmental Manual, the list that follows is to assist the Environmental Professional in the completion of this Questionnaire.

- HUD and HOME Environmental Questionnaire Guidance
- HUD website (www.hud.gov)
- HUD Handbook 1390.2 (available at www.hudclips.org)
- Floodplain Management (24 CFR Part 55)
- Historic Preservation (36 CFR Part 800)
- Noise Abatement (24 CFR Part 51 Subpart B)
- Hazardous Operations (24 CFR Part 51 Subpart C)
- Airport Hazards (24 CFR Part 51 Subpart D)
- Protection of Wetlands and Floodplains (E.O. 11990 and E. O. 11988)
- Toxic Chemicals & Radioactive Materials (§50.3(i))
(e.g., endangered species, farmlands protection, flood, insurance, environmental justice)

Unique Natural Features and Areas

- | Yes | No | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the site near natural features (i.e., bluffs or cliffs) or near public or private scenic areas? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are other natural resources visible on site or in vicinity? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will any such resources be adversely affected or will they adversely affect the project? |

Comments: **No unique natural features and areas were discovered in association with the Site during this assessment.**

Source Documentation: **Auburn, Georgia USGS Topographic map**

Site Suitability, Access, and Compatibility with Surrounding Development

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Has the site has been used as a dump, sanitary landfill or mine waste disposal area? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Is there paved access to the site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are there other unusual conditions on site? |

Is there indication of:

- | Yes | No | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | distressed vegetation |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | oil/chemical spills |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | waste material/containers: |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | abandoned machinery, cars, refrigerators |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | soil staining, pools of liquid |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | transformers, fill/vent pipes, pipelines |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | drainage structures |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | loose/empty drums, barrels |

Will the project be unduly influenced by:

- | Yes | No | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Building deterioration |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Transition of land uses |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Postponed maintenance |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Incompatible land uses |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Obsolete public facilities |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Inadequate off-street parking |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are there air pollution generators nearby which would adversely affect the site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Heavy industry Incinerators |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Power generating plants |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Cement plants? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Large parking facilities (1000 or more cars)? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Heavy traveled highway (6 or more lanes)? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Oil refineries |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Other(specify)? _____ |

Comments: **The Site is accessible via paved municipal streets, Beaver Dam Road**

Source Documentation: **Site visit; Noise Assessment (ESA Appendix J)**

Soil Stability, Erosion, and Drainage

Slopes: Not Applicable ____ Steep ____ Moderate ____ Slight X

- | Yes | No | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is there evidence of slope erosion or unstable slope conditions on or near the site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is there evidence of ground subsidence, high water table, or other unusual conditions on the site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is there any visible evidence of soil problems (foundations cracking or settling, basement flooding, etc.) in the neighborhood of the site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Have soil studies or borings been made for the project site or the area? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Do the soil studies or borings indicate marginal or unsatisfactory soil conditions? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is there indication of cross-lot runoff, swales, drainage flows on the property? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are there visual indications of filled ground? If your answer is Yes, please attach a 79(g) report/analysis. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are there active rills and gullies on site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is a soils report (other than structural) needed? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are structural borings or a dynamic soil analysis/geological study needed? |

Comments: **No concerns were discovered during this assessment**

Source Documentation: **Site visit, Auburn, Georgia USGS Topographic map**

Wetland Protection

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Are there drainage ways, streams, rivers, or coastlines on or near the site? Please provide site map. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the property located in a wetland? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is an incidental portion of the property within a wetland? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will disturbance of the wetland exceed 1/10th of one acre? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are there ponds, marshes, bogs, swamps or other wetlands on or near the site? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project located within a wetland designated on a National Wetlands Inventory map of the Department of the Interior (DOI)? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will proposed construction/landscaping activities disturb the wetland? |

Comments: **Wetlands were not identified on the Site. A perennial stream is present on the adjacent property to the north. However, planned Site development will not impact or disturb this adjacent, state water. As per the 2012 Environmental Manual, the wetland decision making process was performed and concluded at its initial step.**

Source Documentation: **Site visit; National Wetlands Inventory Map; Wetland and Stream Investigation Report prepared by United Consulting, Inc.; Figure 5 - Site Map, ESA - Appendix A**

Coastal Barrier Resources

- | Yes | No | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project located within a coastal barrier designated on a current FEMA flood map or Department of Interior coastal barrier resources map? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project located within a coastal management zone (CZM)? |

Georgia's six coastal counties and five "inland tier" counties include: Chatham, Effingham, Bryan, Liberty, McIntosh, Long, Glynn, Wayne, Brantley, Camden and Charlton counties.

Comments: **Site is not located within a coastal barrier or a coastal management zone**

Source Documentation: **Auburn, Georgia USGS Topographic map**

Historic Preservation

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the subject property/project structure more than 50 years old? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Does the Application currently include Historic Tax Credits? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will Historic Tax Credits be applied for? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the property listed on or eligible for listing on the National Register of Historic Places? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the property located within or directly adjacent to an historic district? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Does the property's area of potential effects include an historic district or property? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | If the proposed properties are affected, have you contracted with a Preservation Professional? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Has the SHPO been notified of the project and requested to provide comments? |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Has the SHPO been or is being advised of HUD's finding? |

If your answer is "Yes" to any of the above questions, consult with the State Historic Preservation Officer (SHPO) and comply with 36 CFR Part 800. Review DCA's Environmental Manual for further instructions and provide the following at Application Submission by attaching to this Questionnaire:

1. Documentation from the local SHPO office to determine eligibility. (This may include evidence of the 106 process completion, or any other information pertinent to the property development.);
2. If it is determined that the proposed project will affect historic properties, you must employ a qualified professional or contract with a qualified professional(s) such as a Preservation Professional. Please provide the qualified professional's documentation.
3. Documentation from the local SHPO office and Preservation Professional that the proposed project development and work scope meets the requirements of the National Register of Historic Places; and
4. A statement from the architect or Preservation Professional of record regarding direct or indirect impacts associated with the property development on the neighborhood and existing buildings, giving the proposed mitigation and or alternatives.
5. Documentation from the local SHPO office and Preservation Professional that the Georgia Historic Preservation Division Environmental Review Form has been submitted.
6. As part of the supporting documentation to DCA, please include the following: Detail site location map of the area in which the development is to occur, one photo of each structure and/or site (house, building, etc.) to be impacted and information on the age of any structures located on the site.

Comments: **None**

Source Documentation: **SHPO Documentation (attached and Appendix Q of ESA); National Register of Historic Places (<http://www.nr.nps.gov/>)**

Floodplain Management

- | Yes | No | |
|--------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is an incidental portion of the property within a floodplain? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project located within a floodplain designated on a current FEMA flood map? |
| | | Identify FEMA flood map used to make this finding: _____ |
| | | Community Name and Number: Barrow County, Georgia, Panel 50 |
| | | Map Panel Number: 13013C0050C |
| | | Date of Map Panel: December 18, 2009 |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Will the proposed construction/landscaping activities occupy or modify the floodplain? |

If your answer is "Yes" to any of above questions, please attach documentation below to Questionnaire:

1. Floodplain maps for the proposed site;
2. Statement from the engineer or architect of record that proposed construction and/or landscaping activities will not occupy or modify the floodplain;
3. A conditional LOMA or LOMR if it has been provided by FEMA; and
4. Documentation from Environmental Professional regarding direct and indirect impacts associated with constructing the project on or near a floodplain and proposed mitigation strategies and/or alternative designs.

In addition, if you answered "Yes" to the last question, please attach the following:

5. Required notices from the Flood Plain Management Requirements (8 step process, see 42 C.F.R. § 55.20) (not required to be submitted at pre-application, but must be submitted by September 30, 2009).

Comments: **The Site is not in the 100 year or 500 year floodplain. As per the 2012 Environmental Manual, the floodplain decision making process was performed and concluded at its initial step.**

Source Documentation: **Federal Emergency Management Agency (www.fema.gov)**

Flood Insurance

Yes **No**
 Is the building located or to be located within a Special Flood Hazard Area identified on a current Flood Insurance Rate Map (FIRM)?

If your answer is "Yes", flood insurance protection is required for buildings located or to be located within a Special Flood Hazard Area as a condition of approval of the project. In addition, compliance with § 55.12 and the floodplain management decision-making process (§ 55.20) is required (refer to floodplain management section above). Document the map used to determine Special Flood Hazard Area in above item #17 pertaining to community name and number, map panel number and date of map panel.

Comments: **None**

Source Documentation: **Federal Emergency Management Agency (www.fema.gov)**

Endangered Species

Yes **No**
 Has the Department of Interior list of Endangered Species and Critical Habitats been reviewed?
 Is the project likely to affect any listed or proposed endangered or threatened species or critical habitats?

If your answer is "Yes" to the second question, compliance is required with Section 7 of the Endangered Species Act, which mandates consultation with the Fish and Wildlife Service in order to preserve the species.

Comments: **No endangered species concerns were discovered during this assessment**

Source Documentation: **Site visit; United States Fish and Wildlife Service (www.fws.gov); and Georgia Natural Heritage Inventory Program**

Wild and Scenic Rivers/Unique Natural Features and Areas

Yes **No**
 Is the project new construction? If so please answer the following questions.
 Is the site near natural features (i.e., bluffs or cliffs) or public or private scenic areas?
 Are other natural resources visible on site or in vicinity? Will any such resources be adversely affected or will they adversely affect the project?
 Is the project site located within one mile of the Chattooga Wild and Scenic River?
If so, please provide a map clearly delineating both the project site and the Wild and Scenic River.

Comments: **The Chattooga River is the only listed river in Georgia on the National Wild and Scenic River System. This river is not in Barrow County and is greater than 100 miles from the Site.**

Source Documentation: **United States Fish and Wildlife Service (www.rivers.org); Google Earth (www.google.earth.com)**

Clean Air Act

Yes **No**
 Is the project located in the Johns Creek Metropolitan area or one of the below listed counties?
 Is the project in compliance with the air quality State Implementation Plan (SIP)?

If the answer is "Yes", please verify whether the project in compliance with the air quality State Implementation Plan (SIP). (Metro Johns Creek (including Barrow, Bartow, Carrol, Fulton, Clayton, Cobb, Coweta, Fulton, Douglas, Fayette, Forsyth, Fulton, Gwinnett, Hall, Heard, Henry, Newton, Paulding, Putnam, Rockdale, Spalding, Walton), Macon (Bibb, Monroe), Others Catoosa, Walker, Floyd)

Comments: **Site is in a non-attainment county; however, it is in compliance with the State SIP**

Source Documentation: (www.georgiaair.org/airpermit/html/planningsupport/naa.htm)

Farmlands Protection (complete only if new construction)

Yes **No**
 Is the site or the area where the site is located presently being farmed?

Comments: **None**

Source Documentation: **Barrow County Tax Assessors Office; Site visit**

Environmental Justice

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Does project require any mitigation plans or measures to be taken? If so please list below. Mitigation measures could include excessive noise, any abatement, toxic conditions etc. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Is the project new construction? If so please answer the following questions. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project located in a predominantly minority and low-income neighborhood?
If so, please provide narrative in supporting documentation. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is there an adverse environmental impact caused by the proposed action, or is the proposed action subject to adverse environmental impact? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Does the project site or neighborhood suffer from disproportionately adverse environmental effects on minority and low-income populations relative to the community at-large? |

If your answer is "Yes" to any of the above questions, compliance is required with E.O. 12898, Federal Actions to Address Environmental Justice. Attach documentation to show that the environmental review considered mitigation or avoidance of adverse impacts from the project to the extent practicable.

(See <http://www.hud.gov/offices/cpd/energyenviron/environment/subjects/justice/index.cfm>)

Comments: No environmental justice concerns associated with the Site were discovered during this assessment

Source Documentation: **Site Visit, Barrow County Planning and Zoning Department**

Noise Abatement

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Is the project within 1000 feet of a major road/highway/freeway (i.e. a roadway with an average daily traffic count of 10,000 or greater)? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project within 3000 feet of a railroad? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project within 15 miles of a military airfield? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is the project within 5 miles of a civil airport? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Is noise a problem on the site and/or is expected to be in the future?
Noise is 65 dnl. |

If any of the above are checked "Yes", please attach the following:

1. A noise assessment conforming to the HUD Noise Assessment Guidelines (NAG) and 24 C.F.R § 51.100 *et seq.* prepared by the Environmental Professional or other qualified engineering professional (for airports, use the adopted DNL contours). Please refer to the Department of Housing and Urban Development's Noise Guidebook, located at: <http://www.hud.gov/offices/cpd/energyenviron/environment/resources/guidebooks/noise/index.cfm>.
2. A noise attenuation plan produced by an engineering professional to describe the proposed mitigation to meet HUD sound guidelines.

Comments: Nearby roadway noise will not impact the Site above 65 decibels

Source Documentation: **Noise Assessment prepared by Arpeggio Consulting, Inc; noise contour figure**

Explosive and Flammable/Hazardous Industrial Operations

Yes No

- Are industrial facilities handling explosive or fire-prone materials such as liquid propane, gasoline or other storage tanks adjacent to or visible from the project site?
(attach ASD worksheets)

If your answer is "Yes", use the HUD Hazards Guide and comply with 24 CFR Part 51, Subpart C (www.hudclips.org).

Comments: **No explosive and flammable/hazardous industrial operation concerns associated with the Site were discovered during this assessment. A large AST was identified 850 of the Site to the northeast; however, it contains ammonia and is not considered an environmental hazard as per this section.**

Source Documentation: **Site visit, local fire authority inquiry, Georgia Environmental Protection Division list of Underground Storage Tank Facilities and Hazardous Material/Waste facilities**

Hazards and Toxic Chemicals

Yes No

- Are industrial facilities handling explosive or fire-prone materials such as liquid propane, gasoline, or other storage tanks visible from or near the project site?
- Is the project located near a dump or landfill site?
- Is the project near an industry disposing of chemicals or hazardous wastes?
- Are there issues that require a special/specific Phase II report before completing the environmental assessment?
- Is site listed on an EPA Superfund National Priorities, CERCLA, or equivalent State list?
- Is the site located within 3,000 feet of a toxic or solid waste landfill site?
- Does the site have an underground storage tank?
- Are there any unresolved concerns that could lead to HUD being determined to be a Potential Responsible Party (PRP)?

If your answer is "Yes" to any of the above questions, use current techniques by qualified professionals to undertake investigations determined necessary and comply with § 50.3(i). Attach Phase I (ASTM) Report) Documentation from the Environmental Professional, including any applicable mitigation measures, that the project will be located at an acceptable distance from the hazardous site.

Comments: **No hazards and toxic chemical concerns associated with the Site were discovered during this assessment.**

Source Documentation: **Site visit; local fire and health department authority inquiry; Georgia Environmental Protection Division list of Underground Storage Tank and Hazardous Material/Waste facilities; Georgia Environmental Protection Division; and Solid Waste Facilities, USEPA National Priority List; Lead Hazard in Soil Assessment prepared by One Consulting Group, Inc.**

Airport Hazards

Yes No

- Is the project within 3,000 feet from the end of a runway at a civil airport?
- Is the project within 2-1/2 miles from the end of a runway at a military airfield?

If your answer is "Yes" to either of the above questions, comply with 24 CFR Part 51, Subpart D.

Comments: **No airport hazards associated with the Site were discovered during this assessment**

Source Documentation: **Site visit, Google Earth (www.google.earth.com)**

Vapor Intrusion

Yes No

- Has a Tier I vapor intrusion assessment (VIA) revealed a vapor intrusion condition exists that may present an unacceptable health risk to occupants?

If your answer is yes, then additional assessment must be performed according to ASTM E 2600-08 standards. For more guidance, please refer to ASTM E 2600.

Comments: **None.**

Source Documentation: **Vapor Encroachment Screen prepared for Site included in Appendix E**

PART C—TO BE COMPLETED BY APPLICANT & ENVIRONMENTAL PROFESSIONAL

COMPLETE ONLY IF PROJECT IS NEW CONSTRUCTION

Please answer the below questions. Attach additional sheets as necessary.

Alternatives and Project Modifications Considered: *Identify other reasonable courses of action that were considered and not selected, such as other sites, design modifications, or other uses of the subject site. Describe the benefits and adverse impacts to the human environment of each alternative and the reasons for rejecting it.*

The proposed Braselton Court Senior Residences is located on a vacant property that's currently zoned O-I. The site was previously cleared and graded. The owner has consulted directly with the current property owner who also owns an adjacent site and officials at the City of Braselton to create a development plan that will take into account the existing environmental site conditions as well as the impact to the adjacent property owners.

One alternative might have been to identify, purchase and redevelop an alternate site ("greyfield"). Given that the subject Site has been left vacant for years creating a source of blight for the otherwise stable community, the subject site is considered superior to this alternative.

A second alternative site would have been an undeveloped-raw land site ("greenfield"). Developing an undeveloped "greenfield" site would have numerous adverse impacts including removal of existing trees. The development plan will reduce both the flow of water from the site and improve the water quality of water leaving the site. Development of an alternate site would have had an adverse impact on the human environment, whereas the subject site and proposed development actually improves the human environment from the existing condition.

Compared to the alternatives, the selected alternative (development of previously cleared and partially developed site) will have the least impact and provide the most benefit to the human environment.

No Action Alternative: *Discuss the benefits and adverse impacts to the human environment of not implementing the preferred alternative.*

There was is no benefit to the "no action alternative".

Mitigation Measures Recommended: *Are there feasible ways in which the proposal or its external factors should be modified in order to minimize adverse environmental impacts and restore or enhance environmental quality?*

The development includes mitigation measures such as the storm water management system. The applicant shall seek energy efficient ("green") certification for the proposed development in accordance with the EarthCraft Multi-Family certification program. The program promotes the efficient site planning and efficient use of resources thus minimizing the impacts on the environment.

Additional Studies Performed: *Please identify any additional studies or work performed.*

Initial Noise Assessment prepared by Arpeggio Accoustic Consulting, LLC,; **Wetland and Stream Investigation Report** prepared by United Consulting, Inc.

List of Sources, Agencies and Persons Consulted:

Christina Davis, Columbia Residential
HUD and HOME Environmental Questionnaire Guidance
HUD website (www.hud.gov)
HUD Handbook 1390.2 (available at www.hudclips.org)
Floodplain Management (24 CFR Part 55)
Historic Preservation (36 CFR Part 800)
Noise Abatement (24 CFR Part 51 Subpart B)
Hazardous Operations (24 CFR Part 51 Subpart C)
Airport Hazards (24 CFR Part 51 Subpart D)
Protection of Wetlands and Floodplains (E.O. 11990 and E. O. 11988)
Toxic Chemicals & Radioactive Materials (§50.3(i))
National Register of Historic Places (www.nps.gov)
Federal Emergency Management Agency (www.FEMA.gov)
United States Geologic Survey (www.usgs.gov)
United States Environmental Protection Agency (www.epa.gov)
Georgia Department of Natural Resources (<http://www.gadnr.org/>)
Georgia Environmental Protection Divisions (<http://www.gaepd.com/>)
United States Department of Fish and Wildlife (www.fws.gov)
Google Earth (www.google.earth.com)
Barrow County Tax Assessors Office
Barrow County Department of Watershed Management
Barrow County Department of Planning and Development
Please refer to Section 9.0 of the ESA for additional references

CERTIFICATION

COMPLETE ONLY IF PROJECT IS NEW CONSTRUCTION (see below for Rehabilitation Projects)

APPLICANT: I certify to the best of my knowledge and belief that the above statements and facts submitted are true, accurate and complete.

Signed, seated and delivered this 12th day of JUNE, 2012, in the Presence of:

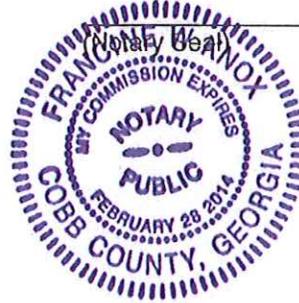
[Signature]
Witness

By: [Signature]
Applicant

Francine M. Knox
Notary Public

DAVID H. DIXON, MANAGER
MS PARTNERS, LLC
Name
AS A GENERAL PARTNER

My commission Expires on: 2-28-14



ENVIRONMENTAL PROFESSIONAL: I certify to the best of my knowledge and belief that the above statements and facts submitted are true, accurate and complete.

Signed, seated and delivered this 12th day of June, 2012, in the Presence of:

[Signature]
Witness

By: [Signature]
Environmental Professional

Teresa Cheshire
Notary Public

Robert Brawner, Principal,
Name

My commission Expires on: 8/23/13

TERESA CHESHIRE
NOTARY PUBLIC, DEKALB COUNTY, GEORGIA
MY COMM. EXPIRES 8/23/2013
(Notary Seal)



BRASELTON
GEORGIA

MAYOR
Bill Orr
COUNCIL MEMBERS
District I
Richard Mayberry
District 2
Peggy B. Slappey
District 3
Tony Funari

May 15, 2012

Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Re: **Braselton Court**
1018 Beaver Dam Road
Braselton, Georgia 30548
Zoning Determination Letter

To Whom It May Concern:

The property located at 1018 Beaver Dam Road and known to us as the Braselton Court tract is currently zoned O-I Office-Institutional, and a senior apartment development is a conditional use in that zoning district.

The Town of Braselton City Council approved a conditional use permit for this property at their meeting on May 14, 2012, and the conditional use allows no more than 80 age restricted (55 and over) multifamily units on the property. To the best of our knowledge, the project will not include the development of prime or unique farmland.

Included with this letter is a copy of the portion of the Zoning Ordinance that deals with the O-I Office-Institutional zoning district.

If you have any questions about this information, please call me at (706) 654 – 3915, ext. 1006.

Sincerely,

Kevin D. Keller, AICP
Planning and Development Director

"A past to preserve and a future to mold."

4982 Highway 53 • P. O. Box 306 • Braselton, Georgia 30517 • Phone: 706/654-3915 • Fax: 706/654-3109 •
www.braselton.net



MAYOR
Bill Orr
COUNCIL MEMBERS
District 1
Richard Mayberry
District 2
Peggy B. Slappey
District 3
Tony Funari
District 4
Dudley Ray

May 24, 2012

Braselton Court, LP
Bo Johnston
2000 RiverEdge Parkway
Suite 950
Atlanta, GA 30328

RE: 1018 Beaver Dam Road, Parcel # BR023 023 and portion of Parcel # BR023 020

Dear Mr. Johnston:

This letter shall serve as notice that the Town of Braselton is the designated water and sewer service provider for the above referenced project located on Beaver Dam Road. The Town has adequate capacity in the amount of 19,000 gpd to serve this project of 80 units and capacity will have to be allocated in accordance with the Town of Braselton's Code of Ordinances. The cost for any and all infrastructure upgrades or extensions necessary is to be borne by the developer.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jennifer Dees", is written over the typed name.

Jennifer Dees
Town Manager

"It's Better in Braselton"

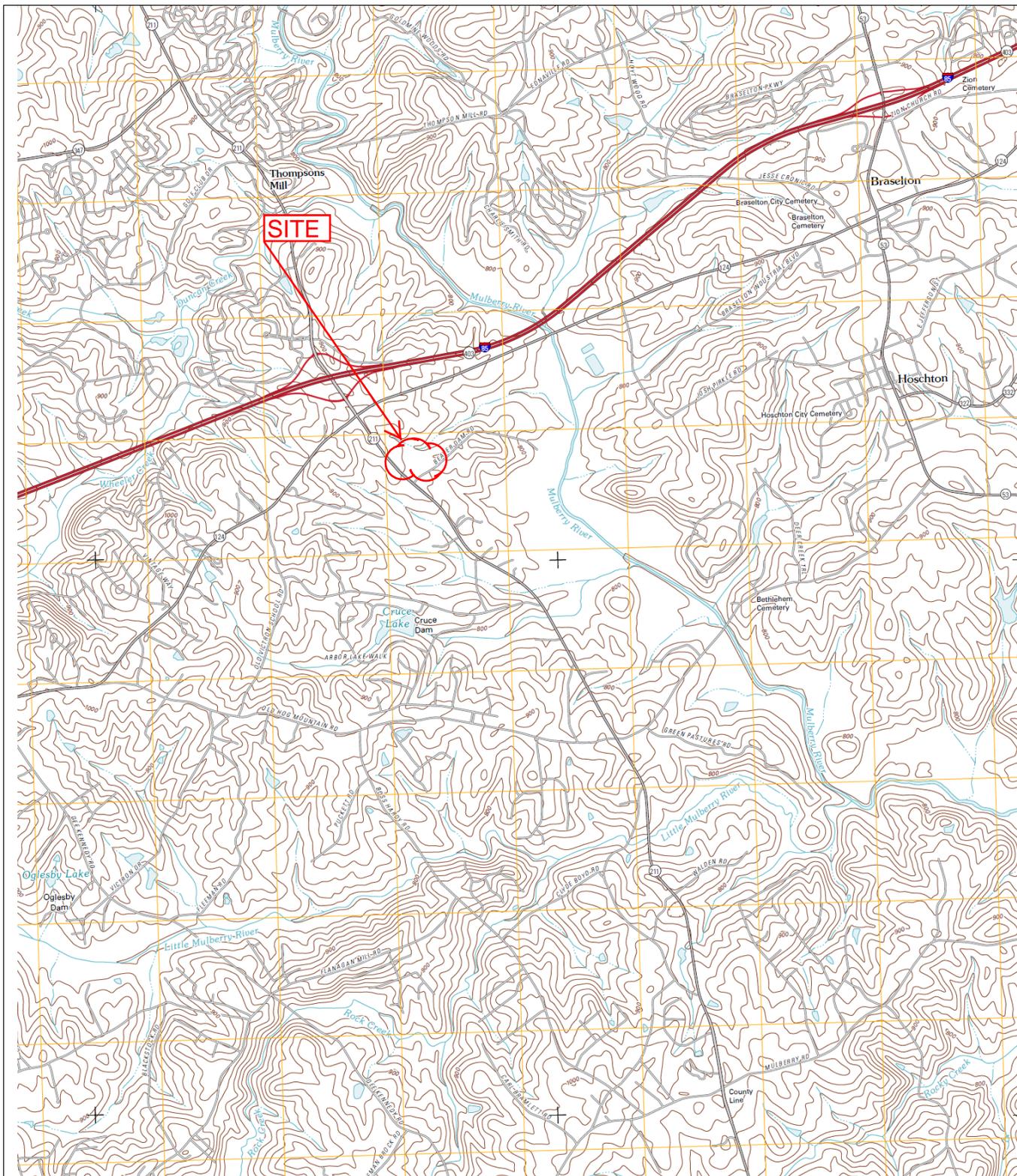
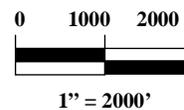


Figure 1 – Topographic Map

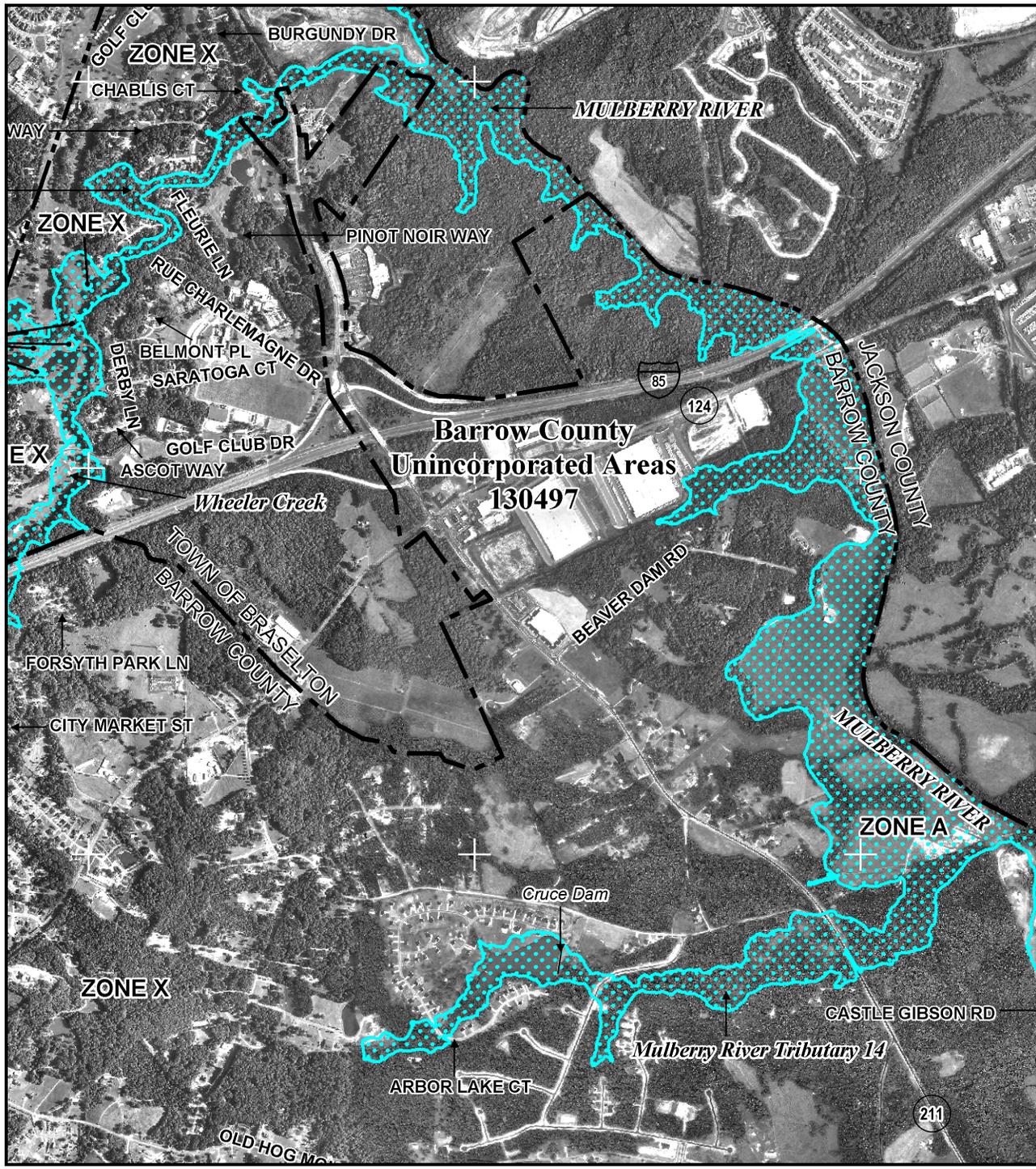
Map Date: 2011

**Proposed Braselton Court
Beaver Dam Road & GA HWY 211
Braselton, Barrow County, Georgia**

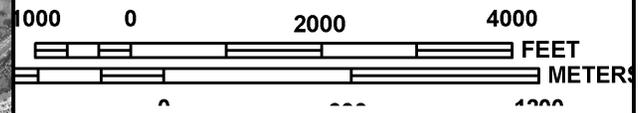


One Group Project#A2028

Source: USGS Auburn GA Quad, 7.5-Minute, Topo



MAP SCALE 1" = 2000'



PANEL 0050C

FIRM
FLOOD INSURANCE RATE MAP
BARROW COUNTY,
GEORGIA
AND INCORPORATED AREAS

PANEL 50 OF 175
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
BARROW COUNTY	130497	0050	C
BRASELTON, TOWN OF	130343	0050	C

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.



MAP NUMBER
13013C0050C
EFFECTIVE DATE
DECEMBER 18, 2009

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



HISTORIC PRESERVATION DIVISION

MARK WILLIAMS
COMMISSIONER

DR. DAVID CRASS
DIVISION DIRECTOR

MEMORANDUM

TO: Robert Brawner
Project Manager
One Consulting Group, Inc.
Post Office Box 54382
Atlanta, Georgia 30308

FROM: *ecb*
Elizabeth Shirk
Environmental Review Coordinator
Historic Preservation Division

RE: Finding of "No Historic Properties Affected"

PROJECT: **Construct Braselton Court Apts, Beaver Dam Rd, Nr SR 211,
Braselton
Federal Agency: HUD
HP-120514-002**

COUNTY: Barrow

DATE: June 7, 2012

The Historic Preservation Division (HPD) has reviewed the information received concerning the above-referenced project. Our comments are offered to assist federal agencies and their project applicants in complying with the provisions of Section 106 of the National Historic Preservation Act, as amended.

Based on the information submitted, HPD has determined that no historic properties or archaeological resources that are listed in or eligible for listing in the National Register of Historic Places will be affected by this undertaking. Please note that historic and/or archaeological resources may be located within the project's area of potential effect (APE), however, at this time it has been determined that they will not be impacted by the above-referenced project. Furthermore, any changes to this project as proposed will require further review by our office for compliance with Section 106.

If we may be of further assistance, please do not hesitate to contact Erin Parr, Environmental Review Specialist, at (404) 651-6546. Please refer to the project number assigned above in any future correspondence regarding this project.

ES:kac

cc: Burke Walker, Northeast Georgia Regional Commission
Cassandra Knight, Georgia Department of Community Affairs



MARK WILLIAMS
COMMISSIONER

DAN FORSTER
DIRECTOR

May 21, 2012

Robert Brawner
Project Manager
One Consulting Group
P.O. Box 54382
Atlanta, GA 30308

Subject: Known occurrences of natural communities, plants and animals of highest priority conservation status on or near Proposed Braselton Court, Barrow County, Georgia

Dear Mr. Brawner:

This is in response to your request of April 6, 2012. According to our records, within a three-mile radius of the project site there are the following Natural Heritage Database occurrences:

- US *Amphianthus pusillus* (Pool Sprite) approx. 3.0 mi. N of site
- GA *Cyprinella xaenura* (Altamaha Shiner) approx. 1.0 mi. NW of site in Mulberry Creek & Tributaries
- GA *Cyprinella xaenura* (Altamaha Shiner) approx. 2.5 mi. SE of site in Mulberry Creek & Tributaries
- Hemidactylum scutatatum* (Four-toed Salamander) approx. 2.5 mi. N of site
- US *Isoetes melanospora* (Black-spored Quillwort) approx. 3.0 mi. N of site
- US *Isoetes tegetiformans* (Mat-forming Quillwort) approx. 3.0 mi. N of site

* Entries above preceded by "US" indicates species with federal status (Protected, Candidate or Partial Status). Species that are federally protected in Georgia are also state protected; "GA" indicates Georgia protected species.

Recommendations:

We have no records of high priority species or habitats within the project area. Because this site has already been disturbed, it is not likely to provide habitat for rare species or communities. We are concerned about aquatic habitats that could be impacted by any future construction activities. In order to protect aquatic habitats and water quality, we recommend that all machinery be kept out of creeks during construction. We urge you to use stringent erosion control practices during construction activities. Further, we strongly advocate leaving vegetation intact within 100 feet of creeks, which will reduce inputs of sediments, assist with maintaining riverbank integrity, and provide shade and habitat for aquatic species. We realize that some trees may have to be removed, but recommend that shrubs and ground vegetation be left in place.

Please keep in mind that we have records of three federally listed species, *Amphianthus pusillus* (Pool Sprite), *Isoetes melanospora* (Black-spored Quillwort) and *Isoetes tegetiformans* (Mat-forming Quillwort) within three miles of the proposed project. These species depend on rock outcrop habitats and should not be negatively impacted if no outcrops occur within the project area. The Endangered Species Act states that taking or harming of a listed species is prohibited. We recommend all requestors with projects located near federally protected species consult with the United States Fish and Wildlife Service. For southeast Georgia, please contact Strant Colwell (912-265-9336, ext.30 or Strant_Colwell@fws.gov). In southwest Georgia, please contact John Doresky (706-544-6999 or John_Doresky@fws.gov). In north Georgia, please contact Robin Goodloe (706-613-9493, ext.221 or Robin_Goodloe@fws.gov).

Disclaimer:

Please keep in mind the limitations of our database. The data collected by the Nongame Conservation Section comes from a variety of sources, including museum and herbarium records, literature, and reports from individuals and organizations, as well as field surveys by our staff biologists. In most cases the information is not the result of a recent on-site survey by our staff. Many areas of Georgia have never been surveyed thoroughly. Therefore, the Nongame Conservation Section can only occasionally provide definitive information on the presence or absence of rare species on a given site. Our files are updated constantly as new information is received. **Thus, information provided by our program represents the existing data in our files at the time of the request and should not be considered a final statement on the species or area under consideration.**

If you know of populations of highest priority species that are not in our database, please fill out the appropriate data collection form and send it to our office. Forms can be obtained through our web site (<http://www.georgiawildlife.com/node/1376>) or by contacting our office. If I can be of further assistance, please let me know.

Sincerely,



Katrina Morris
Environmental Review Coordinator

Data Available on the Nongame Conservation Section Website

- Georgia protected plant and animal profiles are available on our website. These accounts cover basics like descriptions and life history, as well as threats, management recommendations and conservation status. Visit <http://www.georgiawildlife.com/node/2721>.

- Rare species and natural community information can be viewed by Quarter Quad, County and HUC8 Watershed. To access this information, please visit our GA Rare Species and Natural Community Information page at: <http://www.georgiawildlife.com/conservation/species-of-concern?cat=conservation>.
- Downloadable files of rare species and natural community data by quarter quad and county are also available. They can be downloaded from: <http://www.georgiawildlife.com/node/1370>.

RECEIVED

6 April 2012

SITE REVIEW AND TECHNICAL ASSISTANCE REQUEST

APR 12 2012

United States Fish and Wildlife Services
Georgia Ecological Services Field Office
105 Westpark Drive, Suite D, Athens, Georgia 30606

ATHENS, GA
USFWS

**Subject: Proposed Braselton Court
Beaver Dam Road (just east of intersection with GA HWY 211)
Braselton, Barrow County, Georgia 30548
Tax Parcel BR023 023 & BR023 20**

NG-12-156-60110

**Query: Fisheries and Wildlife Management Areas
Rare Species and Species of Concern
Threatened and Endangered Species**

To whom it may concern:

Our client is planning the development of the above-referenced property (Site) under the supervision of the Georgia Department of Community Affairs. The purpose of this letter is to request your review and response regarding any environmental impacts that your agency may identify for this Site pursuant to the National Environmental Policy Act.

The proposed project consists of the demolition of existing structures and redevelopment of the site as a multi-family apartment complex. Information is attached that depicts the proposed development's area of potential effect associated with construction activities. We have reviewed available information on the Georgia Nongame Conservation Section Website as well as performed an initial Site review for endangered species and their critical habitats. At this time, we have not discovered endangered species or critical habitat concerns associated with the Site.

We request that you advise us of any comments that you may have regarding this project within 30 days, so our client can proceed with completion of the environmental assessment. If you have any questions concerning this proposed project or if you need any further information, please contact me at 404.815.8005 or robert@onecginc.com.

In the event you have information to send, please do so via electronic mail (robert@onecginc.com), facsimile (404.815.8002), or United States Postage Service (POB 54382, Atlanta, Georgia, 30308).

Thank you in advance for your prompt attention to this matter.

Sincerely,
One Consulting Group, Inc.



U. S. Fish and Wildlife Service
105 West Park Drive, Suite D,
Athens, GA 30605
706-613-9493 Fax 706-613-6059

FWS Log No.

NG-12-156-60110

**Robert Brawner
Project Manager**

The service has reviewed the plans for this proposed project. Based on the information you provided, no further action is required under Section 7(a)(2) of the Endangered Species Act. However, if new information or changes in the project involve federally listed species, further consultation with the Service will be required.

Sandra S. Tucker, Field Supervisor

5/10/12
Date

Attachments



June 7, 2012

Braselton Court, LP
c/o NorSouth Development Company
2000 Riveredge Parkway
Suite 950
Atlanta, GA 30328

Attn: Mr. Jervon Harris

Via E-Mail: Jervon@norsouth.com

RE: Report of Wetland and Stream Delineation
Braselton Court (4.87 acres – Development Site)
Beaver Dam Road
Braselton, Barrow County, Georgia
Project No. 2012.3268.01

Dear Mr. Harris:

Per your request, United Consulting has completed an investigation of the above referenced property to assess for wetlands, streams, and floodplains. As required in accordance with the Georgia Department of Community Affairs (DCA), 2012 Environmental Manual, this letter report addresses the requirements of Section 3.3: Wetlands, Section 3.4: Floodplains, and Section 3.5: State Waters. This letter report has been prepared for the use of NorSouth Development Company of Georgia, LLC, Braselton Court, LP, the Georgia Housing and Finance Authority (GHFA) and the DCA. Any materials referenced or presented herein are, according to United Consulting, believed to be accurate and may be relied upon by the above parties.

Introduction:

United Consulting's evaluation included conducting background research of available topographic, wetland, and soils maps for the Project Site, as well as conducting an on-site investigation of the property for wetlands and other jurisdictional waters of the U.S. in accordance with the U.S. Army Corps of Engineers (USACE) 1987 *Wetland Delineation Manual* and the *Interim Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Eastern Mountains and Piedmont Region*, dated July 2010. Further, evaluations concerning state waters were based on the Georgia Environmental Protection Division (EPD) rules concerning the identification of state waters and the GA Department of Natural Resources *Field Guide for Determining the Presence of State Waters That Require a Buffer*.

Site Description:

The property was located generally north of the intersection of Georgia Highway 211 and Beaver Dam Road, approximately 2 ½ miles west-southwest of the Town of Braselton, Barrow County, Georgia. The project area was a 4.87 acres property (Tract One, "Development Site") and the adjacent 6.529 acres property (Tract Two, "Seller's Remaining Property"). Per discussion with the development team, the Developer intends to borrow fill and extend the sanitary sewer across the Seller's Remaining Property. For the purposes of this report, the Development Site and the Seller's Remaining Property are referenced herein as the Project Site. The property was mostly a pre-graded parcel, with some wooded areas on the northern corner. The site topography sloped slightly down to the north and east towards three on-site detention ponds.

Map Research:

The U.S. Geological Survey 7.5 Minute Series Topographic Map of the area (Auburn, GA Quadrangle) indicated an intermittent stream (dot-dashed blue line) flowing across the northern corner of the Project Site. A site location map and USGS topographic map of the Project Site area included as Figures 1 and 2 of this report, respectively.

The National Wetland Inventory (NWI) Digital Map was reviewed to determine if any known wetlands or other jurisdictional waters were located on the Project Site. A review of the NWI Map for the area did not indicate previously mapped wetlands on the property. A copy of the digital NWI Map is included as Figure 3.

The NRCS Barrow County Soil Survey (Web Soil Survey) was reviewed to determine if any known hydric soils have been mapped on the Project Site. The soil survey map indicated Appling and Cecil soils mapped on the Project Site. None of these soils are included on the local or National Hydric Soils List. A copy of the soil map is included as Figure 4 of this report.

Based on review of the Federal Emergency Management Agency (FEMA), Flood Insurance Rate Maps for the project area (Panel Nos. 130497 0050C and 130343 0050C, dated December 18, 2009), none of the property is mapped within the limits of the 100-year floodplain as shown on the map.

Following completion of the in-office research, the Project Site was then investigated for visual evidence of wetlands and other jurisdictional waters, and state waters that would require a buffer.

Field Investigation:

During our field investigation, the property was observed to have been mostly pre-graded and contained three storm water detention ponds. A wooded area was observed on the northern corner of the Project Site. The three detention ponds are located on the eastern, north-central, and north-western portions of the Project Site. Based on review of aerial photographs, the Project Site was first cleared and graded in mid to late-2006. At that time, the detention pond on the eastern corner of the site was present and appeared to contain very turbid (muddy) water. The other two detention ponds were not visible. The other two detention ponds appear in late-2007 and the eastern pond appears dry. Based on review of the aerial photographs, dating back to 1993, it appears the detention ponds were constructed in upland areas and no indications of streams or other drainage features was indicated on the aerial photographs at these locations.

At the time of our reconnaissance, the north-central detention pond was dry. This pond contained a mix of mostly upland type vegetation. Soils within this pond were a reddish-brown sandy loam and no wetland or hydric soil indicators were present.

The other two ponds contained standing water to depths of 6 to 12 inches. It appeared that the elevation of the outflow orifice of the standpipes and gravel filter rings around the standpipes was maintaining the ponded water in the detention ponds. Wetland vegetation, such as willows and cattails was observed within these two detention ponds. Soils within the eastern pond were a reddish-brown silt loam and did not exhibit hydric soil indicators. The soils within the north-west pond were more variable, with some areas containing apparent hydric soils and other areas containing reddish-brown upland soils.

In addition to the detention ponds, a small perennial stream was observed flowing across the north corner of the Seller's Remaining Property. This stream consisted of a well-defined channel that was approximately five to eight feet wide. Three small areas of forested wetlands were identified along the stream.

United Consulting completed a field delineation of the Seller's Remaining Property, which included flagging the limits of the wetlands and stream, as well as GPS field mapping to locate the limits of the stream and wetlands on the provided site survey. The locations of the detention ponds were clearly indicated on the provided topographic survey. Figure 5, which is attached to this letter report, shows the locations of the flagged wetland systems and the stream, as delineated by United Consulting. The detention ponds are also shown on Figure 5.

Conclusions:

Based on the results of our field delineation, mapping, and review of the provided site survey, no wetlands or streams are located on the Development Site.

A small perennial stream is located across the north corner of the Seller's Remaining Property. Three small forested wetland areas are also located on the Seller's Remaining Property, along the stream. In our opinion, this stream would be considered state waters that require a buffer. Based on review and discussion with the Developer, with the exception of a planned sewer crossing over the stream, no encroachment into the stream or the 100-foot DCA stream buffer is proposed. The proposed sewer crossing is allowed under the Georgia EPD stream buffer exemptions; therefore, a stream buffer variance from the EPD is not necessary.

In addition to the stream, the wetland areas identified on the Seller's Remaining Property along the stream would be considered federal jurisdictional waters and are regulated by the USACE under Section 404 of the Clean Water Act. Disturbance to these areas would require approval from the USACE. Based on review and discussion with the Developer, we understand that no disturbance to the wetland areas is proposed. Further, the Site Development Plan will maintain the DCA 100-foot wetland buffer.

Although two of the detention ponds contain surface water and wetland vegetation, these detention ponds did not contain prominent hydric soils characteristics. These detention ponds

appear to have been excavated within upland areas and in our opinion, should not be considered federal jurisdictional wetlands. Although the stream and wetland areas appear to be confined to the Seller's Remaining Property, a Request for Jurisdictional Determination is being submitted to the USACE for approval of our delineation.

We appreciate the opportunity to assist you with this project. Please call if you have any questions concerning this report.

Sincerely,

UNITED CONSULTING



Seth H. Hobson
Wetlands Specialist



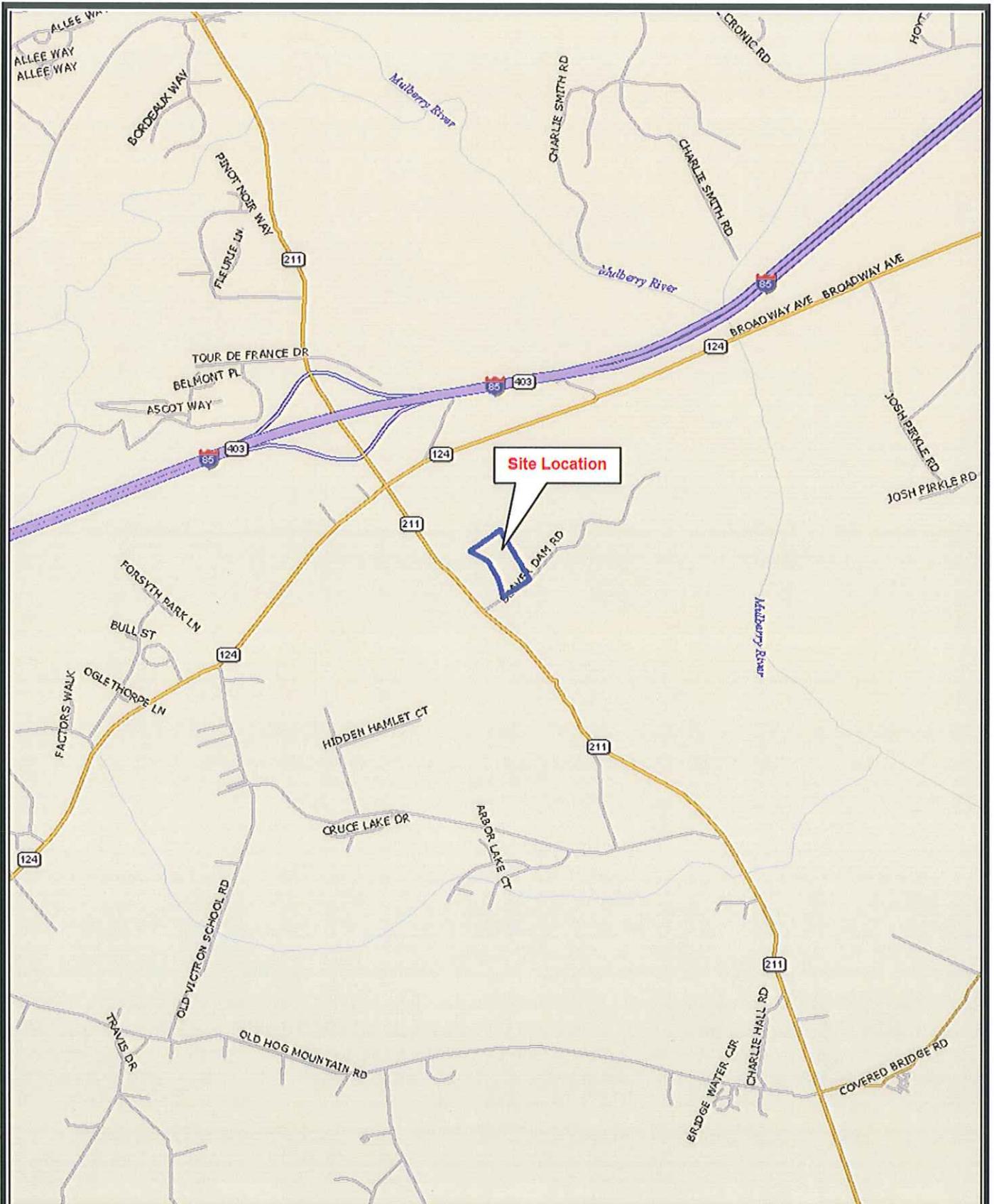
David P. Huetter
Director of Ecological Services

SHH/DPH/tl

H:\Sharepoint\ 2012.3268.01. WD,Ltr

Attachments:

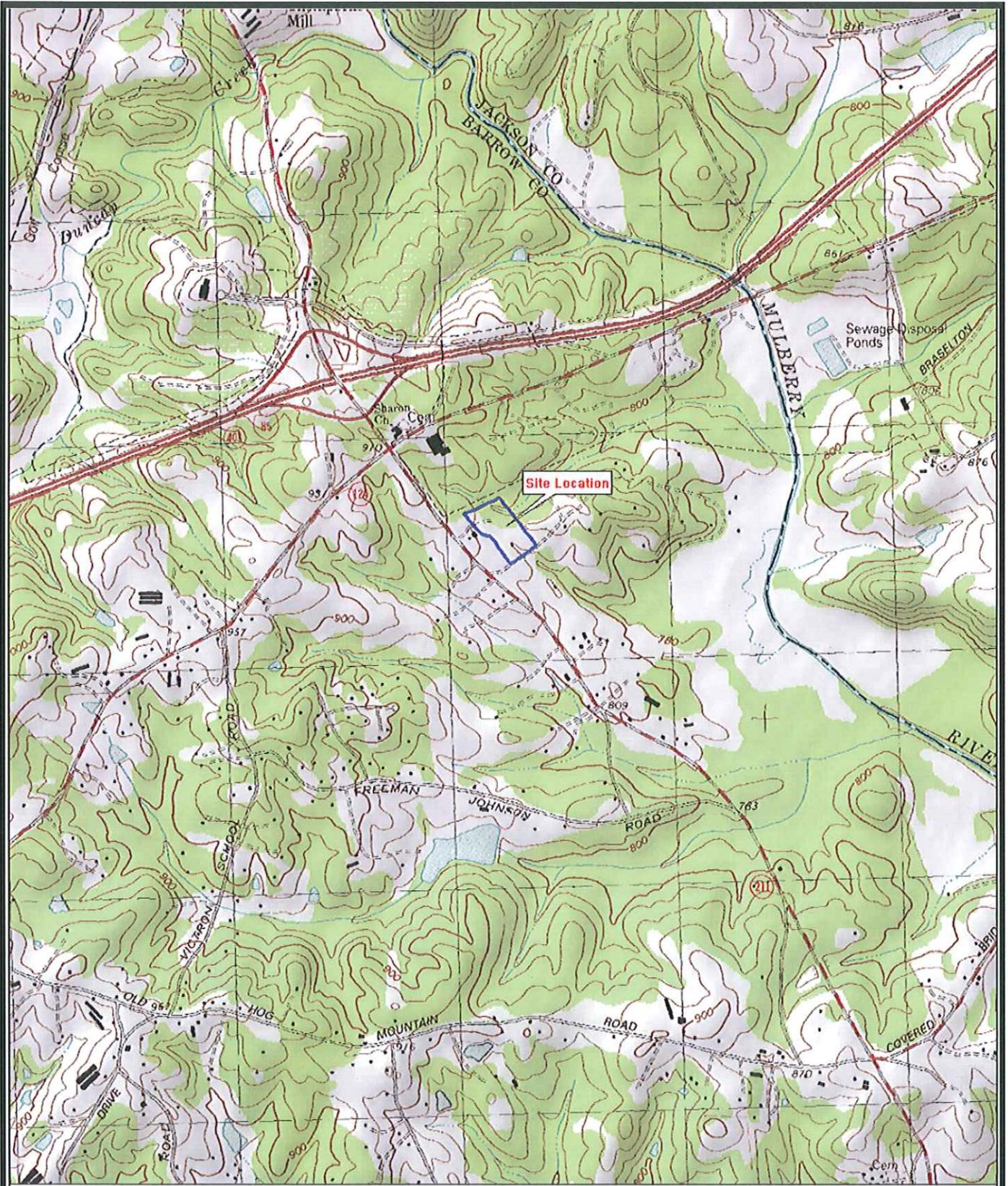
- Figure 1 –Site Location Map
- Figure 2 – USGS Topographic Map
- Figure 3 – Wetland Inventory Map
- Figure 4 – Soil Survey Map
- Figure 5 – Wetland & Stream Delineation Map
- FEMA Floodplain Map



Scale:	1"=2,000"
Prepared:	MGA
Checked:	dh
Project No.:	2012.3268.01

Client:	Braselton Court, LP
Site:	Braselton Court
Title:	Site Location Map

FIG. 1



Scale:	1"=2,000"
Prepared:	MGA
Checked:	dh
Project No.:	2012.3268.01

Client:	Braselton Court, LP
Site:	Braselton Court
Title:	USGS Topographic Map

FIG. 2



U.S. Fish and Wildlife Service

National Wetlands Inventory

May 11, 2012



Wetlands

- Freshwater Emergent
- Freshwater Forested/Shrub
- Estuarine and Marine Deep
- Estuarine and Marine
- Freshwater Pond
- Lake
- Riverine
- Other



Scale:	As shown
Prepared:	MGA
Checked:	dh
Project No.:	2012.3268.01

Notes:

Client:	Braselton Court, LP
Site:	Braselton Court
Title:	USFWS Wetland Inventory Map

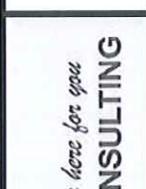
FIG. 3



Map unit symbol	Map unit name	Rating
ApB	Appling sandy loam, 2 percent slopes	Not Hydric
ApC	Appling sandy loam, 6 to 10 percent slopes	Not Hydric
CkC2	Cecil sandy clay loam, 6 to 10 percent slopes	Not Hydric

Client:	Braselton Court, LP
Site:	Braselton Court
Title:	USDA Soils Map

Scale:	As shown
Prepared:	MGA
Checked:	dh
Project No.:	2012.3268.01





We're here for you
UNITED CONSULTING

FIG. 4

REFERENCE: BASE PLAN PROVIDED BY LAND DEVELOPMENT SURVEYORS, INC. ON 5-23-12.

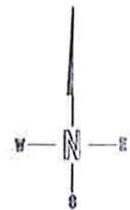
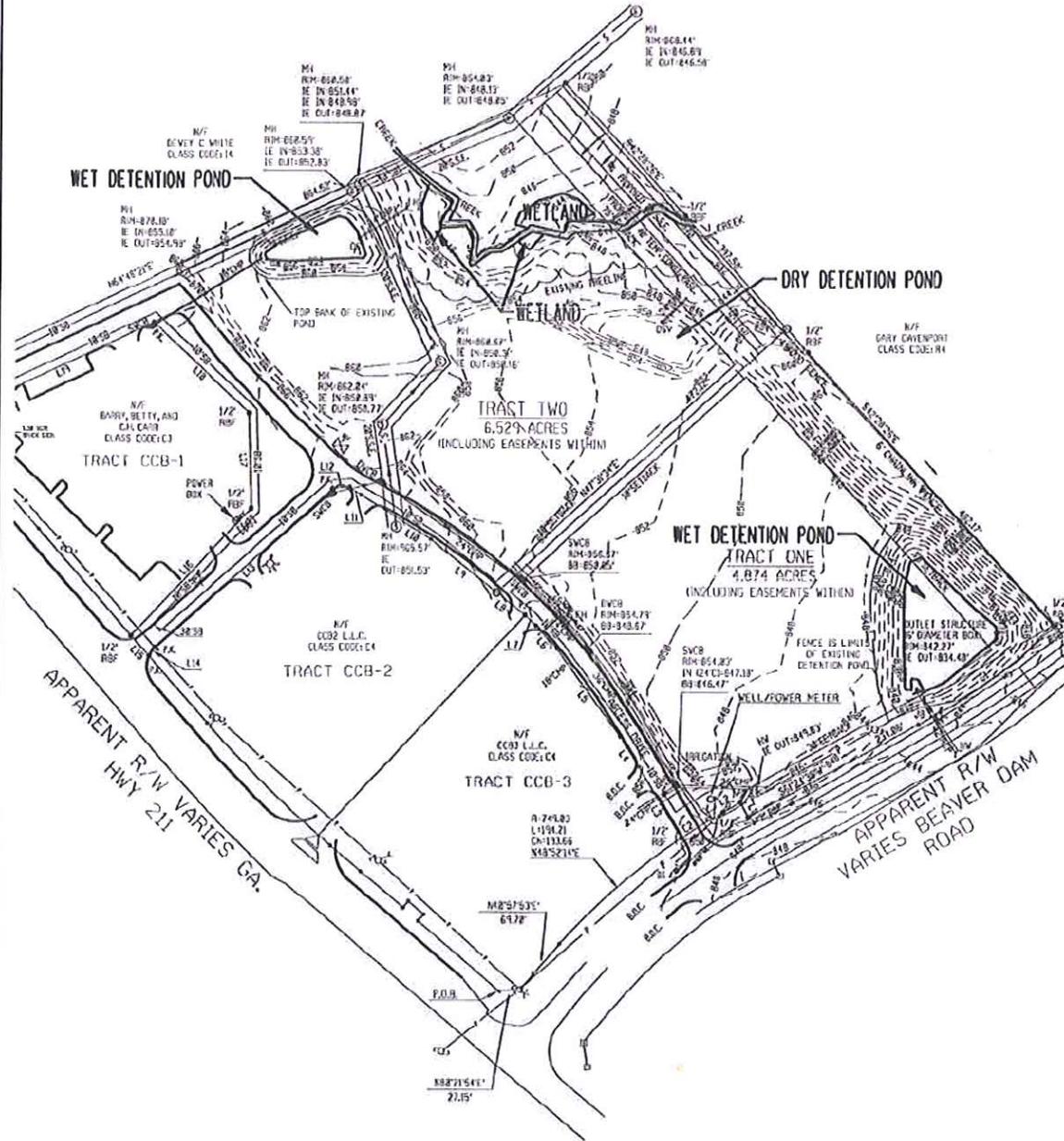


FIG. 5

TITLE: WETLAND DELINEATION MAP
BRASELTON COURT
HOSCHTON, BARROW COUNTY, GEORGIA

CLIENT: BRASELTON COURT, LP

PROJECT NO.: 2012.3268.01

DATE: 5-31-12

PREPARED BY: VPV

CHECKED:

REVISIONS:

SCALE: 1" = 200'

625 Holcomb Bridge Road
Norcross, Georgia 30071
770-209-0029 Fax 562-2900
www.unitedconsulting.com
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APPENDIX S
OPERATION AND MAINTENANCE MANUAL

NOT APPLICABLE

APPENDIX T
PREVIOUS REPORTS
(PRIOR PHASE I AND PHASE II)

Prepared for:

GrayC Company, LLC
3052 Biltmore Woods Drive
Buford, Georgia 30519

Prepared by:

QORE, INC.
11420 Johns Creek Parkway
Duluth, Georgia 30097

**REPORT OF
PHASE I ENVIRONMENTAL
SITE ASSESSMENT
HIGHWAY 211 PROPERTY
BARROW COUNTY, GEORGIA
QORE Job No. 25502-A, Report No. 296162**

November 2, 2005



November 2, 2005

GrayC Company, LLC
3052 Biltmore Woods Drive
Buford, Georgia 30519

Attention: Mr. Chris Gray, President

Subject: Report Of Phase I Environmental Site Assessment
Highway 211 Property
Barrow County, Georgia
Qore Job No. 25502-A, Report No. 296162

Gentlemen:

We are pleased to submit this report of the Phase I Environmental Site Assessment for the subject site.

If you have any questions, please call.

Sincerely,

QORE, Inc.

A handwritten signature in cursive script, appearing to read "Susan E. Zimmerman".

Susan E. Zimmerman
Senior Environmental Technician

A handwritten signature in cursive script, appearing to read "Gregory R. Fischer".

Gregory R. Fischer, P.G.
Senior Project Manager
Reg. Ga. 633

SEZ/GRF/jk

Enclosures

TABLE OF CONTENTS

	<u>Page</u>
SUMMARY	ii
1.0 INTRODUCTION.....	1
1.1 Purpose	1
1.2 Detailed Scope of Services	1
1.3 Significant Assumptions.....	2
1.4 Limitations and Exceptions	3
1.5 Special Terms and Conditions	3
1.6 User Reliance	4
2.0 SUBJECT PROPERTY DESCRIPTION	4
2.1 Location and Legal Description.....	4
2.2 Subject Property and Vicinity General Characteristics	4
2.3 Current Use of the Property	4
2.4 Descriptions of Structures, Roads, Other Improvements on the Subject Property	4
2.5 Current Uses of the Adjoining Properties	4
3.0 USER PROVIDED INFORMATION.....	5
3.1 Title Records	5
3.2 Environmental Liens or Activity and Use Limitations	5
3.3 Specialized Knowledge.....	5
3.4 Valuation Reduction for Environmental Issues.....	6
3.5 Owner, Property Manager, and Occupant Information.....	6
3.6 Reason for Performing Phase I.....	6
4.0 RECORDS REVIEW	6
4.1 Standard Environmental Record Sources	6
4.2 Additional Environmental Record Sources	7
4.3 Physical Setting Source(s).....	8
4.4 Historical Use Information on the Subject Property	8
4.5 Historical Use Information on Adjoining Properties	8
4.6 Review of Previous Reports.....	9
5.0 SUBJECT PROPERTY RECONNAISSANCE	9
5.1 Methodology and Limiting Conditions	9
5.2 General Subject Property Setting.....	9
5.3 Exterior Observations	10
5.4 Interior Observations	11
5.5 Other Observations.....	11
6.0 INTERVIEWS	12
7.0 FINDINGS	12
8.0 OPINION	12
9.0 CONCLUSIONS AND RECOMMENDATIONS.....	12
10.0 DEVIATIONS	13
11.0 REFERENCES.....	13

APPENDICES:

- Appendix A - Plates
- Appendix B - Photographs
- Appendix C - Regulatory Records Documentation
- Appendix D - Resumés
- Appendix E - Information Requested From Client

SUMMARY
Highway 211 Property
Barrow County, Georgia

GrayC Company, LLC has engaged QORE, Inc. (QORE) to perform a Phase I Environmental Site Assessment. The Phase I Environmental Site Assessment is in general conformance with the scope and limitations of the American Society for Testing and Materials (ASTM) Practice E 1527-00.

- ◆ The property is 26.03 acres and comprises five tracts. Two single-family homes are present. The northern parcels are mostly grassed with wooded areas along the eastern portions. The southern parcel is cleared with grasses.
- ◆ The property is located in an area characterized by residential, agricultural, retail and undeveloped properties.
- ◆ Based on the information obtained to date, our conclusions and recommendations are as follows:
 - Review of historical information did not indicate *recognized environmental conditions* associated with the subject property or surrounding historical land use.
 - The results of the property reconnaissance and review of regulatory information did not indicate *recognized environmental conditions* associated with the subject property.
 - The results of the area reconnaissance and review of regulatory information indicated evidence of *recognized environmental conditions* associated with surrounding land use consisting of:
 - An up-gradient Underground Storage Tank (UST) facility (Shell Food Mart) is located approximately 1000 feet northwest of the site, along Highway 211. Based upon topography, if a release were to occur there is a potential for it to migrate toward/onto the site. Having said this, it has been our experience that the Georgia Environmental Protection Division (EPD) does not hold third parties liable for petroleum releases. The reason being is that the third party would not be considered to be the UST's "owner/operator". The responsibility

of the third party is to allow representatives of the tank owner/operator or EPD to access the site to do assessment and, if necessary, remediation.

- Also present, adjacent to the Shell Food Mart, is a dry cleaner (Kim's Cleaners) that uses perchloroethylene ("perc") as a cleaning solvent. Again, this facility is considered to be up-gradient. Therefore, a release can migrate toward/onto the site.

If a release is detected in the soil and/or groundwater, the owner of the subject property is required to notify the EPD, as per the Georgia Hazardous Site Response Act (HSRA). Upon notification, the state will evaluate the concentration of the constituent detected, its toxicity, access to the site, and proximity of potable water supply wells. Should it be determined that no risk is evident, then a *No Further Action* letter would be issued. Conversely, if risk is apparent, then the facility would be listed on the Hazardous Site Inventory (HSI) list, after which the EPD would require the owner to prepare a Compliance Status Report (CSR) which fully delineates the extent of contamination, as well as provides certification that certain risk reduction standards have or will be met.

If this were to occur, given that no information was obtained to indicate that perchloroethylene has been used on the subject property, an argument could be made to the EPD that Kim's Cleaners is the responsible party, and thus should be liable for all work associated with preparing the CSR.

This summary is for convenience only and should not be relied upon without first reading the full contents of this report, including appendix materials.

1.0 INTRODUCTION

1.1 Purpose

The purpose of this Phase I Environmental Site Assessment (ESA) was to identify *recognized environmental conditions* in connection with the property. As defined by the American Society for Testing and Materials (ASTM), E 1527-00, "the term *recognized environmental conditions* means the presence or likely presence of hazardous substances or petroleum products on a property under conditions that indicate an existing release, past release, or a material threat of a release of hazardous substance or petroleum product into the structures on the property or into the ground, groundwater, or surface water of the property. The term includes hazardous substances or petroleum products even under conditions in compliance with [environmental] laws. The term is not intended to include *de minimis* conditions that generally do not present a material risk of harm to public health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies."

The term *historical recognized environmental condition* as defined by ASTM is an "environmental condition which in the past would have been considered a *recognized environmental condition*, but which may or may not be considered a *recognized environmental condition* currently." ASTM further defines a *historical recognized environmental condition* by stating, "if a past release of any hazardous substances or petroleum products has occurred in connection with the property and has been remediated, with such remediation accepted by the responsible regulatory agency... this condition shall be considered a *historical recognized environmental condition*..."

The term suspect environmental condition as used throughout this report is taken from Section 11.5 and 11.6 of ASTM E 1527-00 and is defined as a condition that has a potential to be a *de minimis* condition, a *recognized environmental condition*, or a *historical recognized environmental condition* for the subject property and requires further discussion as presented within the text of this report.

1.2 Detailed Scope-of-Services

The scope of services was performed in general accordance with the ASTM E 1527-00 document *Standard Practice for Environmental Site Assessment: Phase I Environmental Site Assessment Process*.

The ESA consisted of a historical review of the subject property and area use, regulatory database review, assessment of the physical setting, subject property and area reconnaissance, and a report of our findings, opinions, conclusions, and, as appropriate, recommendations.

Subject Property and Area Use

Using selected sources of available public information, we reviewed the current and historical uses of the property. The Phase I ESA historical review extends back until 1944. Sources of

historical use information relating to the property and its adjoining properties were acquired and reviewed according to the reasonable availability of the information, the time limits provided for data acquisition and review, as permitted, by the project schedule and cost, and our judgment of the likely value of the information for indicating environmental conditions.

Regulatory Status Review

We reviewed select regulatory databases published for the local area to identify facilities potentially constituting a suspect environmental condition in regard to the subject property. We used the databases also to identify recorded facilities located on, or in proximity to, the subject property using the ASTM E 1527-00 standard environmental record sources and recommended search radii.

Property Physical Setting

We obtained and reviewed available published property information to characterize the physical setting of the property.

Property and Area Reconnaissance

The property reconnaissance consisted of field observations of the property and adjoining land areas by our personnel experienced in environmental site assessments. We observed and documented current uses of the property and indicators of hazardous substances, petroleum products, storage tanks, odors, pools of liquid, drums, containers, heating and cooling systems, stains, corrosion, drains and sumps, pits, ponds, lagoons, stressed vegetation, wastes, wells, and septic systems. The area reconnaissance was performed on foot and by automobile along publicly accessible roads.

Report

This report includes the findings concerning known or suspect environmental conditions and an opinion as to the potential impact those conditions would have on the property. Finally, we conclude whether or not the assessment revealed evidence of *recognized environmental conditions* and provide recommendations for further assessment, if appropriate.

1.3 Significant Assumptions

Information, if obtained from the Client, the Client's representative, and prior environmental reports, was considered to be accurate unless reasonable inquiries indicated otherwise.

The primary direction of groundwater flow was assumed to follow topography unless otherwise indicated by measurement of groundwater wells or other quantifiable data. Additionally, the groundwater flow direction was assumed to control the migration of contaminants.

1.4 Limitations and Exceptions

The findings and opinions presented are relative to the dates of the subject property reconnaissance and should not be relied on to represent conditions at substantially later dates. The opinions included herein are based on information obtained during the study and our experience. If additional information becomes available which might impact the environmental findings, we request the opportunity to review the information, reassess the potential concerns, and modify our opinions, if warranted.

This assessment included visual observations to identify obvious sources of contamination that by association could have a significant impact on the value of the property or its continued operations.

Although this assessment has attempted to identify *recognized environmental conditions*, potential sources of contamination may have escaped detection due to: (1) the limited scope of this assessment, (2) the inaccuracy of public records, (3) the presence of undetected or unreported environmental incidents, (4) inaccessible areas, and/or (5) deliberate concealment of detrimental information.

While this assessment has attempted to identify *business environmental risk*, potential *business environmental risk* may have escaped detection due to: (1) the limited scope of this assessment, (2) the inaccuracy of public records, (3) the presence of undetected or unreported environmental incidents, (4) inaccessible areas, (5) deliberate concealment of detrimental information, (6) the subjective nature of materiality to the user with respect to *business environmental risk*, and/or (7) the limited degree of the current state of knowledge for certain non-ASTM scope items.

Our professional services have been performed using that degree of care and skill ordinarily exercised, under similar conditions, by reputable environmental consultants practicing in this locality. No other warranty, expressed or implied, is made as to the professional information in this report.

This report presents an assessment of the subject property as defined by information provided by the Client. Our findings, opinions, conclusions, and recommendations are based on the locations and boundaries of the property as evident in the field.

1.5 Special Terms and Conditions

The work was conducted in general accordance with our proposal dated October 24, 2005, Proposal No. 05-1177 and the terms and conditions established therein.

1.6 User Reliance

This report was prepared for the sole and exclusive use and reliance by GrayC Company, LLC. This document may not be suitable for the needs, purposes, or objectives of others. As such, reliance by other parties on the contents of this document is not granted and any such reliance shall be at the sole risk of the user and at no liability to QORE. If other parties wish to rely on

this report, please have them contact us so that a mutual understanding and agreement of the terms and conditions for our services can be established prior to their reliance upon this information.

2.0 PROPERTY DESCRIPTION

2.1 Location and Legal Description

The property is located east of Georgia Highway 211, north and south of Beaver Dam Road, near Hoshton, Barrow County, Georgia. The addresses of the residences are 1889 Highway 211 and 1018 Beaver Dam Road. Plate 1 in Appendix A is a Site Location Map.

2.2 Property and Vicinity General Characteristics

The property is 26.03 acres and comprises five tracts. Tracts 1 through 4 are located north of Beaver Dam Drive; Tract 5 is located south. Two single-family homes are present. The northern parcels are mostly grassed with wooded areas along the eastern portions. The southern parcel is cleared with grasses.

The property is located in an area characterized by residential, agricultural, retail and undeveloped properties.

2.3 Current Use of the Property

Current use of the property is residential and undeveloped land.

2.4 Descriptions of Structures, Roads, Other Improvements on the Property

A concrete driveway, two abandoned well houses and an approximately 1,200 square foot concrete slab are located on Tract 1. An asphalt driveway, an abandoned well house and an approximately 1,800 square foot block foundation are located on Tract 2. A concrete driveway, a well house and an approximately 2,500 square foot wood frame residence are located on Tract 3. A gravel driveway and an approximately 2,000 square foot wood frame residence are located on Tract 4. A small pole barn with a tin roof is located on Tract 5. Photographs of the property are in Appendix B.

Other site improvements include utilities (i.e. electricity, water and sewer).

2.5 Current Uses of the Adjoining Properties

Observed current uses of adjoining properties are discussed below according to their respective geographic relationship to the property.

North – Cleared and graded land with a detention pond, beyond which is a small retail shopping center (including a Shell Food Mart gas station and automotive oil change shop, and

Kim's Cleaners dry cleaning facility). A Sears Logistics Services distribution warehouse adjoins the northeast corner of the property.

Based upon topography shown on Plate 1 and that observed during the site reconnaissance, Kim's Cleaners and the Shell gas station appear to be up-gradient of the subject property. Therefore, if a release were to occur, migration toward/onto the subject property is possible. Additional information is in Section 4.2.

East – Undeveloped and residential properties.

South – Undeveloped and residential properties.

West – Georgia Highway 211 beyond which is undeveloped and residential properties.

3.0 USER PROVIDED INFORMATION

ASTM E 1527-00 requires that the environmental professional request from the user of the Phase I ESA, the Client, and certain information discussed below concerning the subject property or to request from user the names of other individuals who can provide this information.

ASTM E 1527-00 assigns to the Client or its representative the responsibility to check or engage a title company or title professional to check reasonably ascertainable recorded land title records for environmental liens or activity and use limitations currently recorded against the property and provide that information for inclusion in this report.

If the Client or its representative is aware of specialized knowledge or experience that is material to the identification of *recognized environmental conditions*, or if they have actual knowledge that the purchase price of the subject property is significantly less than the purchase price of comparable properties, ASTM E 1527-00 assigns to the Client the obligation to communicate that information for inclusion in this report.

As part of our engagement to conduct this work, this information was requested from GrayC Company, LLC. or its representative. In addition, we requested from GrayC Company, LLC. or its representative any helpful documents such as those specified in Section 9.8 of ASTM E 1527-00 and as listed in Appendix E, including but not limited to, prior environmental or geotechnical reports, permits, registrations for underground and aboveground storage tanks, a legal description, and a chain-of-title. We also requested whether GrayC Company, LLC. or its representative was aware of (1) any pending, threatened, or past litigation relevant to hazardous substances or petroleum products in, on, or from the property; (2) any pending, threatened, or past administrative proceedings relevant to hazardous substances or petroleum products in, on, or from the property; or (3) any notices from governmental entities regarding possible violations of environmental laws or possible liabilities relating to hazardous substances or petroleum products.

3.1 Title Records

No title records were reviewed.

3.2 Environmental Liens or Activity and Use Limitations

No information regarding environmental liens, activity and use limitations, or governmental notification relating to past or recurrent violations of environmental laws with respect to the property were reported to us by GrayC Company, LLC. or its representatives.

3.3 Specialized Knowledge

No specialized knowledge or experience concerning the property was reported to us by GrayC Company, LLC. or its representatives.

3.4 Valuation Reduction for Environmental Issues

No information indicating that the purchase price of the property is significantly less than the purchase price of comparable properties was reported to us by GrayC Company, LLC. or its representatives.

3.5 Owner, Property Manager, and Occupant Information

The owners are as follows: CCB1, LLC owns Tract 1; James Craft and Mitchell Stanes own Tract 2; William and Martha Lawson own Tract 3; Connie and William Walley own Tract 4; Sarah and David White own Tract 5.

3.6 Reason for Performing Phase I

We understand that the purpose of this assessment is to complete an evaluation that will help to provide the factual support for the innocent landowner defense to CERCLA liability and to understand potential environmental conditions that could materially impact the operation of the business associated with the property (*business environmental risk*).

4.0 RECORDS REVIEW

4.1 Standard Environmental Record Sources

We reviewed selected federal and state regulatory lists in an attempt to identify recorded information concerning environmental impacts or conditions or concerns associated with the subject property. The regulatory lists included in the table below were obtained from Environmental Data Resources, Inc. (EDR). The EDR report is attached as Appendix C and includes a complete listing of the databases, an explanation of each database, and figures depicting the approximate locations of regulated facilities in the near vicinity of the subject property.

Please note that regulatory listings are limited and include only those facilities or incidents that are known to the regulatory agencies at the time of publication to be contaminated, in the process of evaluation for potential contamination, or to store/generate potentially hazardous substances, waste, or petroleum.

Federal And State Lists

The following table includes the search radii and list of the databases reviewed. These databases were selected based on minimum requirements in ASTM E 1527-00. The number of facilities listed indicates the number of regulated facilities confirmed by us to be within the search radius for a particular database.

ASTM FEDERAL LISTS		
Environmental Protection Agency (EPA)		
Database	Search Radius	No. of Facilities Listed
National Priorities List (NPL)	One Mile	0
Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS)	One-half Mile	0
"No Further Remedial Action Planned" (NFRAP) Sites	One-quarter Mile	0
Resource Conservation and Recovery Information System (RCRIS) Generators	One-quarter Mile	0
RCRIS Treatment, Storage and Disposal (TSD) Facilities	One-half Mile	0
Corrective Action Sites (CORRACTS) or Violators/ Enforcement	One Mile	0
Emergency Response Notification System (ERNS)	Subject Property	0

While not listed in the EDR report, given that information was obtained to indicate the previously mentioned Kim's Cleaners dry cleaning facility uses "perc", the facility would be considered a RCRIS site, in that it generates small quantities of hazardous waste.

ASTM STATE LISTS		
State of Georgia Standard Records		
Database	Search Radius	No. of Facilities Listed
Underground Storage Tank (UST) List	Subject Property and Adjoining	0
Leaking Underground Storage Tank (LUST) List	One-half Mile	0
Solid Waste Facilities/ Landfills Sites (SWF/LF) Report	One-half Mile	0
State Superfund Listing (SHWS)	One Mile	0

4.2 Additional Environmental Record Sources

We selected the following additional federal, state, or local sources of environmental records to enhance and supplement the ASTM E-1527-00 sources discussed above.

Additional Environmental Record Sources		
Database/Source	Search Radius	No. of Facilities Listed
Georgia Spills	Subject Property	0
Non-HSI	One Mile	0

Kim's Cleaners, a dry cleaning facility is located approximately 1000 feet northwest of and up gradient of the subject property. QORE personnel interviewed Ms. Jamie Kim, manager of the dry cleaner. The manager stated that the dry cleaner uses "perc" in the dry cleaning process and has been opened for approximately five years.

Given that Kim's Cleaners is relatively new, it has been our experience with similar sites that "state of the art" dry cleaning equipment is used and that the tenants are sensitive to their solvent and waste handling procedures. However, as previously mentioned, should a release occur the potential exists for it to migrate toward/onto the subject property.

Additionally, we reviewed the list of orphan sites provided in the EDR report. Four regulated sites are indicated on the EDR report as having inadequate data for plotting on the map. No information was provided or observation made to suggest that the orphan sites are located within close proximity of the subject property except for the Shell Food Mart. Based upon the topography shown on Plate 1; this site appears to be located approximately 1000 feet northwest of and up gradient of the subject property. Therefore, a "release" could migrate toward/onto the site.

4.3 Physical Setting Source(s)

Physical setting sources were reviewed to provide information about the geology and hydrogeology of the property.

Surface Drainage And Soil

A tributary to Mulberry River is located in the northeast corner of the site. Overall surface drainage appears to be to the southeast.

Soils textural types in the area typically would consist of silty, clayey and sandy loam.

Geologic/Hydrogeologic Setting

The site is located within the Piedmont Physiographic Province. Groundwater in the Piedmont occurs in the intergranular pore spaces of the residual soil/saprolite as well as in joints, fractures, and other secondary openings of the bedrock. The Piedmont water-table aquifer system (unconfined aquifer) is composed of two parts: the saprolite aquifer in which porous flow occurs, and the bedrock which acts both as a semi-confining unit at the base of the saprolite aquifer and as an aquifer in which water is transmitted along fractures and other planar surfaces

of the bedrock (i.e., fracture flow). In general, bedrock fractures, joints, and similar surfaces tend to close with depth.

Based upon topography, the predominant apparent direction of groundwater flow is toward the southeast.

4.4 Historical Use Information on the Subject Property

Historical sources including aerial photographs, and topographic maps were reviewed to assess on-site historical activities.

Aerial Photographs for the years 1944, 1951, 1955, 1967, 1973, 1988, 1999 and 2004 were reviewed. The photographs from 1944 through 1988 show the property to be undeveloped and/or agricultural, with the exception of two barn-like structures appearing on northwest corner of Tract 5 in the 1951 through 1973 photographs. Two residences are shown on Tracts 2 and 4 in the 1988 photograph; two residences appear on Tracts 1 and 3 in the 1999 and 2004 photographs; the remaining portions of the property continue to be undeveloped and/or agricultural.

Also reviewed were USGS 7.5-minute topographic maps for Auburn, Georgia, dated 1964 and 1993. The 1964 map shows the previously mentioned barn-like structures on Tract 5, and the two residences and one outbuilding appear on Tracts 2 and 4 on the 1993 map.

4.5 Historical Use Information on Adjoining Properties

Adjoining property usage could potentially impact the surface and subsurface conditions at a subject property. Developing a history of past uses or occupancies can provide an indication of the potential for *recognized environmental conditions* associated with the subject property. Historical information was reviewed to assess off-site activities.

All of the aerial photographs show the adjacent properties to be undeveloped and/or agricultural and residential. Residential development of adjoining properties increases over time. The 2004 aerial photograph generally reflects adjacent land use as observed during the reconnaissance.

The topographic maps show adjacent land use to be undeveloped and residential.

4.6 Review of Previous Reports

QORE performed a Phase I Environmental Site Assessment (ESA) of the subject property, dated August 31, 2004 (QORE Job No. 25502, Report No. 267611). The Phase I identified *recognized environmental conditions* consisting of an up-gradient UST facility (Shell Food Mart) and an up-gradient dry cleaning facility (Kim's Cleaners).

5.0 SUBJECT PROPERTY RECONNAISSANCE

5.1 Methodology and Limiting Conditions

We observed accessible areas of the property, including its periphery. No limitations imposed by physical obstructions or other limiting conditions were observed.

5.2 General Property Setting

The property reconnaissance was performed on October 25, 2005 by Ms. Susan E. Zimmerman, Senior Environmental Technician, a professional experienced in environmental site assessments, in an attempt to identify apparent visual indications of present or past activities, which have or could have contaminated the property. Photographs from the site reconnaissance are in Appendix B

Storage Tanks

An empty, suspected former underground storage tank is located on Tract 2. The tank appears to have been moved to that location. We did not observe evidence of spillage or releases. In our opinion the tank does not represent a recognized environmental condition.

Odors

No unusual odors were identified.

Pools of Liquid

No pools of liquid were observed on the site.

Drums

No drums were observed.

Hazardous Substances and Petroleum Products Containers Not In Connection With Identified Uses

No hazardous substances or petroleum product containers of unknown origin or use were observed on the site.

Unidentified Substance Containers

No unidentified substance containers were observed.

Potential Polychlorinated Biphenyls (PCBs) Containing Equipment

Major electrical devices are a potential source of suspect environmental conditions due to the potential presence of PCBs contained in dielectric fluids used in some units. Two pole-mounted

transformers were observed along the apparent right-of-way Georgia Highway 211. No evidence of a release was observed.

5.3 Exterior Observations

Pits, Ponds, Lagoons, and Surface Waters

No pits, ponds, or lagoons were observed. A small tributary is located in the northeast corner of the property.

Stained Soil or Pavement

No soil or pavement staining was observed.

Stressed Vegetation

No abnormally stressed vegetation was observed on the property.

Solid Waste

Review of historical information and regulatory databases did not identify evidence of historical on-site landfills.

Wastewater

No evidence of process or industrial wastewater discharges was observed.

Wells

The two residences have existing wells. However, they are now on county water supply; thus, the wells are no longer used for domestic purposes. Three abandoned well houses are present on Tracts 1 and 2.

Septic Systems

Each residential tract use or have used septic systems. Given that no commercial/industrial discharges are likely, we do not consider this to be a *suspect environmental condition*.

5.4 Interior Observations

Reconnaissance of the inside of the residence was not performed.

5.5 Other Observations

Hydraulic Equipment

A small bulldozer was observed on Tract 3.

Utilities and Storm Water Management

Utilities (i.e. electricity, water, natural gas) are provided to the site. No storm water detention ponds are present.

6.0 INTERVIEWS

Ms. Martha Lawson, one of the current landowners (1889 Hwy 211 NW; Tract 3), was interviewed. Ms. Lawson has lived on the property for fourteen years. She stated that to her knowledge the property has always been agricultural and residential and she is not aware of any environmental concerns with the property.

As mentioned above, a representative of Kim's Cleaners was also interviewed.

7.0 FINDINGS

Based on the information we obtained to date, known or suspect environmental conditions associated with the property, including *recognized environmental conditions*, *historical recognized environmental conditions*, *de minimis* conditions and other environmental conditions are summarized as follows:

- Shell Food Mart and Kim's Cleaners

8.0 OPINION

Based on the information we have obtained to date, *recognized environmental conditions* were identified.

9.0 CONCLUSIONS AND RECOMMENDATIONS

The property is 26.03 acres and comprises five tracts. Two single-family homes are present. The northern parcels are mostly grassed with wooded areas along the eastern portions. The southern parcel is cleared with grasses.

The property is located in an area characterized by residential, agricultural, retail and undeveloped properties.

- ◆ Based on the information obtained to date, our conclusions and recommendations are as follows:
 - Review of historical information did not indicate *recognized environmental conditions* associated with the subject property or surrounding historical land use.
 - The results of the property reconnaissance and review of regulatory information did not indicate *recognized environmental conditions* associated with the subject property.
 - The results of the area reconnaissance and review of regulatory information indicated evidence of *recognized environmental conditions* associated with surrounding land use consisting of:
 - An up-gradient Underground Storage Tank (UST) facility (Shell Food Mart) is located approximately 1000 feet northwest of the site, along Highway 211. Based upon topography, if a release were to occur there is a potential for it to migrate toward/onto the site. Having said this, it has been our experience that the Georgia Environmental Protection Division (EPD) does not hold third parties liable for petroleum releases. The reason being is that the third party would not be considered to be the UST's "owner/operator". The responsibility of the third party is to allow representatives of the tank owner/operator or EPD to access the site to do assessment and, if necessary, remediation.
 - Also present, adjacent to the Shell Food Mart, is a dry cleaner that uses perchloroethylene as a cleaning solvent. Again, this facility is considered to be up-gradient. Therefore, a release can migrate toward/onto the site.

ASTM Issues

We have performed a Phase I Environmental Site Assessment in general conformance with the scope and limitations of ASTM Practice E 1527-00. Any significant exceptions to, or deletions from, this practice are described in Section 10.0 of this report. This assessment has revealed evidence of *recognized environmental conditions* in connection with the subject property.

10.0 DEVIATIONS

Deviations or deletions from the scope of work defined by ASTM E 1527-00 were not intentionally made. Those identified during our assessment are listed below:

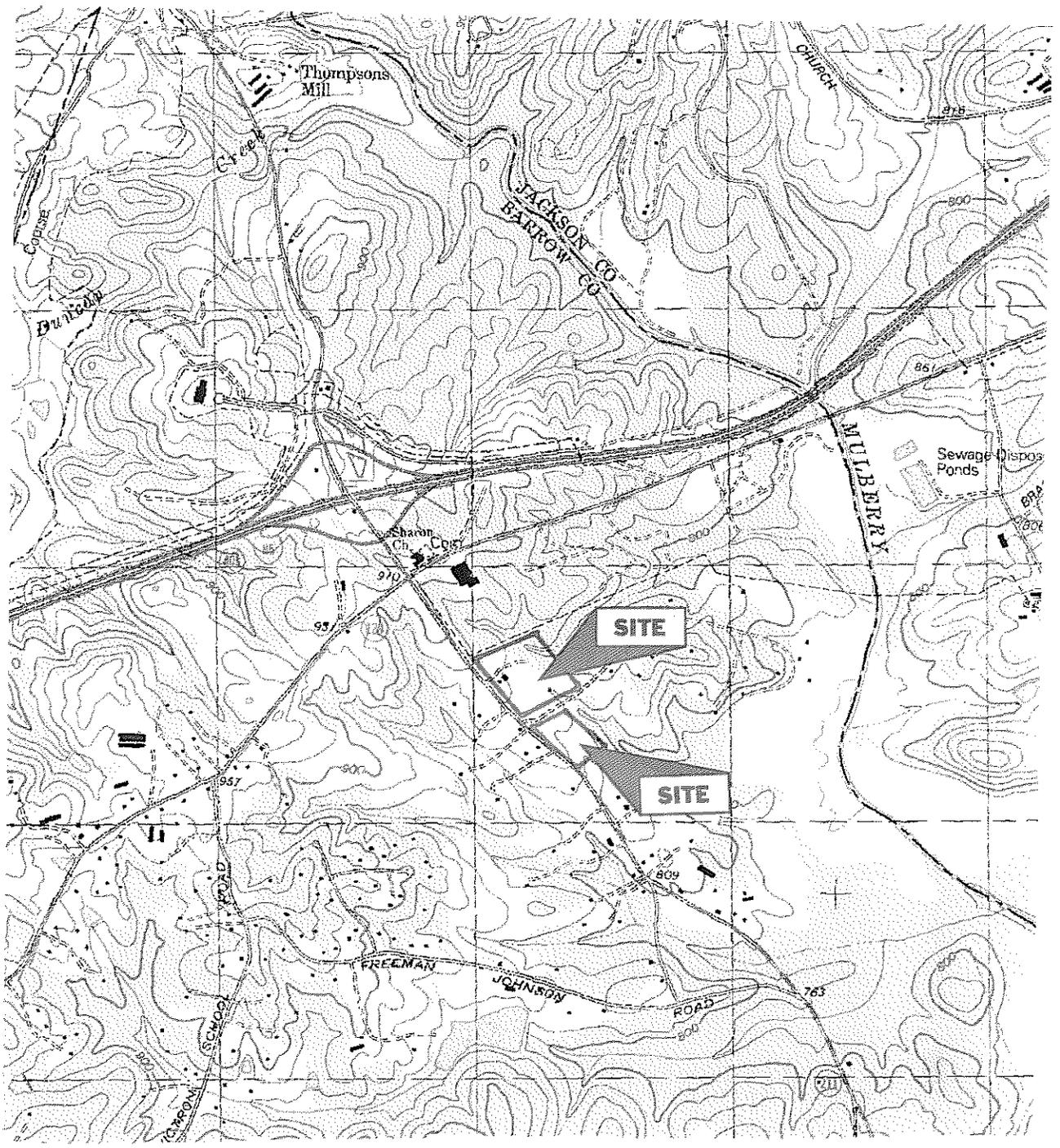
Title documents were not provided by the Client. The Client did not request us to obtain a chain-of-title for the property. Based on our findings, it does not appear that this deviation would change the findings, opinions, conclusions, or recommendations.

The earliest reasonably available historical source reviewed was a 1944 aerial photograph. Based on our findings, it does not appear that this deviation would change the findings, opinions, conclusions, or recommendations.

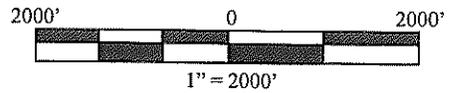
11.0 REFERENCES

- *Auburn, Georgia Quadrangle*, U.S. Geological Survey (USGS), 7.5 minute series Topographic Map, dated 1964 and 1993.
- *EDR-Radius Map*, Highway 211 Property, Inquiry Number 1541181.1s, dated October 26, 2005.
- Aerial photographs dated 1944, 1951, 1955, 1967, 1973 and 1988 from EDR,
- Aerial photographs dated 1999 and 2004 from Globexplorer.com.
- Site Survey Plan for Gray Properties dated July 6, 2004 by Borders and Associates.
- QORE, Inc.- Phase I Environmental Site Assessment, Highway 211 Property, Job No. 25502, Report No. 267611; dated August 31, 2004

Appendix A Plates



SOURCE: AUBURN, GA USGA QUAD
DATED: 1991



DATE: 11-2-05	CHECKED BY: SEZ	JOB NO.: 25502-A	REPORT NO.: 296162	PLATE NO.: 1
------------------	--------------------	---------------------	-----------------------	-----------------



**SITE LOCATION MAP
HIGHWAY 211 PROPERTY
HIGHWAY 211 AT BEAVER DAM ROAD
BARROW COUNTY, GEORGIA**

Appendix B Photographs



CONCRETE DRIVE ON THE WESTERN PORTION OF TRACT ONE



CONCRETE SLAB ON THE CENTRAL PORTION OF TRACT ONE



BLOCK FOUNDATION ON THE WESTERN PORTION OF TRACT TWO



EMPTY, SUSPECTED FORMER UST ON TRACT TWO



RESIDENCE ON TRACT THREE ALONG HIGHWAY 211



WOODED AREA ON THE EASTERN PORTION OF TRACT THREE



RESIDENCE ON TRACT FOUR ALONG BEAVER DAM ROAD



WESTERN PORTION OF TRACT FOUR ALONG HIGHWAY 211

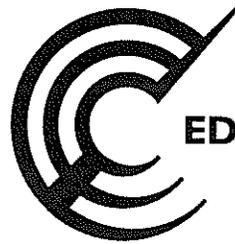


VIEW ACROSS TRACT FIVE TOWARD THE SOUTHEAST



TRIBUTARY ON THE NORTHEAST CORNER OF TRACT ONE

Appendix C
Regulatory Records Documentation



EDR® Environmental
Data Resources Inc

The EDR Radius Map™ Report

Highway 211 Property
Highway 211/ Beaver Dam Rd
Braselton, GA 30548

Inquiry Number: 1541181.1s

October 26, 2005

The Standard in Environmental Risk Management Information

440 Wheelers Farms Road
Milford, Connecticut 06461

Nationwide Customer Service

Telephone: 1-800-352-0050
Fax: 1-800-231-6802
Internet: www.edrnet.com

TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
Executive Summary	ES1
Overview Map	2
Detail Map	3
Map Findings Summary	4
Map Findings	6
Orphan Summary	7
Government Records Searched/Data Currency Tracking	GR-1

GEOCHECK ADDENDUM

GeoCheck - Not Requested

Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc. (EDR). The report meets the government records search requirements of ASTM Standard Practice for Environmental Site Assessments, E 1527-00. Search distances are per ASTM standard or custom distances requested by the user.

TARGET PROPERTY INFORMATION

ADDRESS

HIGHWAY 211/ BEAVER DAM RD
BRASELTON, GA 30548

COORDINATES

Latitude (North): 34.089900 - 34° 5' 23.6"
Longitude (West): 83.804500 - 83° 48' 16.2"
Universal Transverse Mercator: Zone 17
UTM X (Meters): 241239.1
UTM Y (Meters): 3775480.5
Elevation: 845 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property: 34083-A7 AUBURN, GA
Source: USGS 7.5 min quad index

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the ASTM E 1527-00 search radius around the target property for the following databases:

FEDERAL ASTM STANDARD

NPL..... National Priority List
Proposed NPL..... Proposed National Priority List Sites
CERCLIS..... Comprehensive Environmental Response, Compensation, and Liability Information System
CERC-NFRAP..... CERCLIS No Further Remedial Action Planned
CORRACTS..... Corrective Action Report
RCRA-TSDF..... Resource Conservation and Recovery Act Information
RCRA-LQG..... Resource Conservation and Recovery Act Information
RCRA-SQG..... Resource Conservation and Recovery Act Information
ERNS..... Emergency Response Notification System

STATE ASTM STANDARD

SHWS..... Hazardous Site Inventory

EXECUTIVE SUMMARY

SWF/LF..... Solid Waste Disposal Facilities
LUST..... List of Leaking Underground Storage Tanks
UST..... Underground Storage Tank Database

FEDERAL ASTM SUPPLEMENTAL

CONSENT..... Superfund (CERCLA) Consent Decrees
ROD..... Records Of Decision
Delisted NPL..... National Priority List Deletions
FINDS..... Facility Index System/Facility Registry System
HMIRS..... Hazardous Materials Information Reporting System
MLTS..... Material Licensing Tracking System
MINES..... Mines Master Index File
NPL Liens..... Federal Superfund Liens
PADS..... PCB Activity Database System
US ENG CONTROLS..... Engineering Controls Sites List
ODI..... Open Dump Inventory
UMTRA..... Uranium Mill Tailings Sites
FUDS..... Formerly Used Defense Sites
INDIAN RESERV..... Indian Reservations
DOD..... Department of Defense Sites
RAATS..... RCRA Administrative Action Tracking System
TRIS..... Toxic Chemical Release Inventory System
TSCA..... Toxic Substances Control Act
SSTS..... Section 7 Tracking Systems
FTTS INSP..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

STATE OR LOCAL ASTM SUPPLEMENTAL

GA Spills..... Spills Information
GA NON-HSI..... Non-Hazardous Site Inventory
HIST LF..... Historical Landfills
DRYCLEANERS..... Drycleaner Database

EDR PROPRIETARY HISTORICAL DATABASES

Coal Gas..... Former Manufactured Gas (Coal Gas) Sites

BROWNFIELDS DATABASES

US BROWNFIELDS..... A Listing of Brownfields Sites
US INST CONTROL..... Sites with Institutional Controls
BROWNFIELDS..... Brownfields Public Record List
INST CONTROL..... Public Record List

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were not identified.

Unmappable (orphan) sites are not considered in the foregoing analysis.

EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped:

Site Name

TEXACO FOOD MART
P&G SUPERETTE
SHELL FOOD MART
TGPL'S M&R FACILITY: TOCCOA

Database(s)

FINDS, LUST
FINDS, LUST
FINDS, UST
GA NON-HSI

OVERVIEW MAP - 1541181.1s - QORE Property Sciences

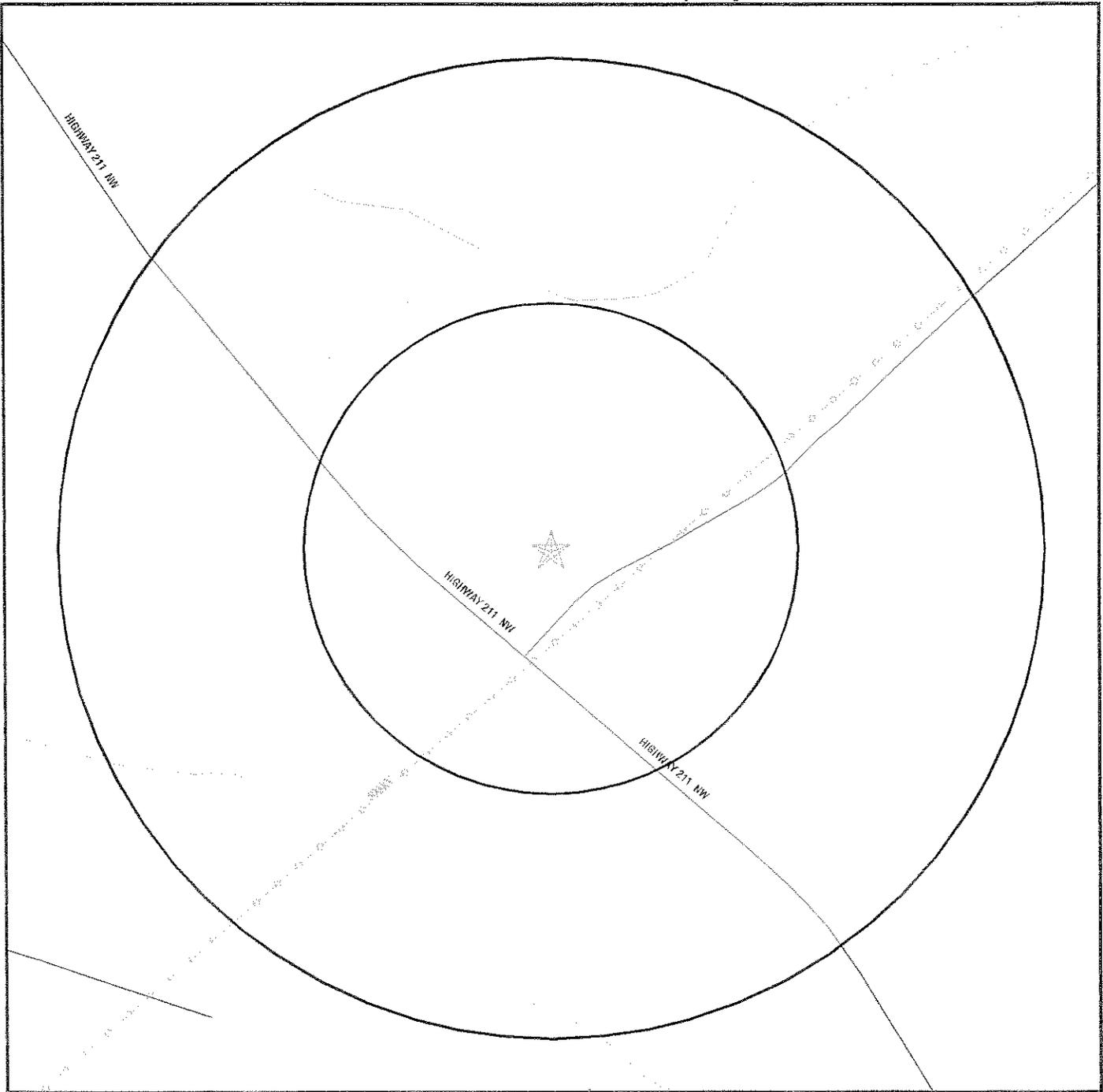


- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Coal Gasification Sites
- National Priority List Sites
- Landfill Sites
- Dept. Defense Sites
- Indian Reservations BIA
- County Boundary
- Power transmission lines
- Oil & Gas pipelines
- Federal Wetlands



TARGET PROPERTY:	Highway 211 Property	CUSTOMER:	QORE Property Sciences
ADDRESS:	Highway 211/ Beaver Dam Rd	CONTACT:	Susan Zimmerman
CITY/STATE/ZIP:	Braselton GA 30548	INQUIRY #:	1541181.1s
LAT/LONG:	34.0899 / 83.8045	DATE:	October 26, 2005 6:17 pm

DETAIL MAP - 1541181.1s - QORE Property Sciences



- ★ Target Property
- ⊕ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Coal Gasification Sites
- ⚡ Sensitive Receptors
- ☐ National Priority List Sites
- ☐ Landfill Sites
- ☐ Dept. Defense Sites

- ⊞ Indian Reservations BIA
- ⊞ County Boundary
- ⊞ Power transmission lines
- ⊞ Oil & Gas pipelines

TARGET PROPERTY: Highway 211 Property
 ADDRESS: Highway 211/ Beaver Dam Rd
 CITY/STATE/ZIP: Braselton GA 30548
 LAT/LONG: 34.0899 / 83.8045

CUSTOMER: QORE Property Sciences
 CONTACT: Susan Zimmerman
 INQUIRY #: 1541181.1s
 DATE: October 26, 2005 6:17 pm

MAP FINDINGS SUMMARY

<u>Database</u>	<u>Target Property</u>	<u>Search Distance (Miles)</u>	<u>< 1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>> 1</u>	<u>Total Plotted</u>
<u>FEDERAL ASTM STANDARD</u>								
NPL		1.000	0	0	0	0	NR	0
Proposed NPL		1.000	0	0	0	0	NR	0
CERCLIS		0.500	0	0	0	NR	NR	0
CERC-NFRAP		0.250	0	0	NR	NR	NR	0
CORRACTS		1.000	0	0	0	0	NR	0
RCRA TSD		0.500	0	0	0	NR	NR	0
RCRA Lg. Quan. Gen.		0.250	0	0	NR	NR	NR	0
RCRA Sm. Quan. Gen.		0.250	0	0	NR	NR	NR	0
ERNS		TP	NR	NR	NR	NR	NR	0
<u>STATE ASTM STANDARD</u>								
State Haz. Waste		1.000	0	0	0	0	NR	0
State Landfill		0.500	0	0	0	NR	NR	0
LUST		0.500	0	0	0	NR	NR	0
UST		0.250	0	0	NR	NR	NR	0
<u>FEDERAL ASTM SUPPLEMENTAL</u>								
CONSENT		1.000	0	0	0	0	NR	0
ROD		1.000	0	0	0	0	NR	0
Delisted NPL		1.000	0	0	0	0	NR	0
FINDS		TP	NR	NR	NR	NR	NR	0
HMIRS		TP	NR	NR	NR	NR	NR	0
MLTS		TP	NR	NR	NR	NR	NR	0
MINES		0.250	0	0	NR	NR	NR	0
NPL Liens		TP	NR	NR	NR	NR	NR	0
PADS		TP	NR	NR	NR	NR	NR	0
US ENG CONTROLS		0.500	0	0	0	NR	NR	0
ODI		0.500	0	0	0	NR	NR	0
UMTRA		0.500	0	0	0	NR	NR	0
FUDS		1.000	0	0	0	0	NR	0
INDIAN RESERV		1.000	0	0	0	0	NR	0
DOD		1.000	0	0	0	0	NR	0
RAATS		TP	NR	NR	NR	NR	NR	0
TRIS		TP	NR	NR	NR	NR	NR	0
TSCA		TP	NR	NR	NR	NR	NR	0
SSTS		TP	NR	NR	NR	NR	NR	0
FTTS		TP	NR	NR	NR	NR	NR	0
<u>STATE OR LOCAL ASTM SUPPLEMENTAL</u>								
GA Spills		TP	NR	NR	NR	NR	NR	0
Non-HSI		1.000	0	0	0	0	NR	0
HIST LF		0.500	0	0	0	NR	NR	0
DRYCLEANERS		0.250	0	0	NR	NR	NR	0

MAP FINDINGS SUMMARY

<u>Database</u>	<u>Target Property</u>	<u>Search Distance (Miles)</u>	<u>< 1/8</u>	<u>1/8 - 1/4</u>	<u>1/4 - 1/2</u>	<u>1/2 - 1</u>	<u>> 1</u>	<u>Total Plotted</u>
<u>EDR PROPRIETARY HISTORICAL DATABASES</u>								
Coal Gas		1.000	0	0	0	0	NR	0
<u>BROWNFIELDS DATABASES</u>								
US BROWNFIELDS		0.500	0	0	0	NR	NR	0
US INST CONTROL		0.500	0	0	0	NR	NR	0
BROWNFIELDS		0.500	0	0	0	NR	NR	0
INST CONTROL		0.500	0	0	0	NR	NR	0

NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID
Direction
Distance
Distance (ft.)
Elevation

MAP FINDINGS

Site Database(s) EDR ID Number
EPA ID Number

Coal Gas Site Search: No site was found in a search of Real Property Scan's ENVIROHAZ database.

NO SITES FOUND

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
HOSCHTON	1006771783	TEXACO FOOD MART	4362 HWY 124	30548	FINDS, LUST
HOSCHTON	1006778478	SHELL FOOD MART	1945 HWY 211	30548	FINDS, LUST
HOSCHTON	1006798345	P&G SUPERETTE	GA HWY 53 & BELL AVE	30548	FINDS, LUST
TOCCOA	S106854660	TGPL'S M&R FACILITY: TOCCOA	GOLDMINE/HOLLY SPRINGS RD., 0.2 MI N OF GA HWY 172	30517	GA NON-HSI

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that this EDR report meets or exceeds the 90-day updating requirement of the ASTM standard.

FEDERAL ASTM STANDARD RECORDS

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 07/01/05	Source: EPA
Date Data Arrived at EDR: 08/03/05	Telephone: N/A
Date Made Active in Reports: 08/22/05	Last EDR Contact: 08/03/05
Number of Days to Update: 19	Next Scheduled EDR Contact: 10/31/05
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 6
Telephone: 214-655-6659

EPA Region 3
Telephone 215-814-5418

EPA Region 8
Telephone: 303-312-6774

EPA Region 4
Telephone 404-562-8033

Proposed NPL: Proposed National Priority List Sites

Date of Government Version: 04/27/05	Source: EPA
Date Data Arrived at EDR: 05/04/05	Telephone: N/A
Date Made Active in Reports: 05/16/05	Last EDR Contact: 08/05/05
Number of Days to Update: 12	Next Scheduled EDR Contact: 10/31/05
	Data Release Frequency: Quarterly

CERCLIS: Comprehensive Environmental Response, Compensation, and Liability Information System

CERCLIS contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to or on the National Priorities List (NPL) and sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 06/27/05	Source: EPA
Date Data Arrived at EDR: 07/22/05	Telephone: 703-413-0223
Date Made Active in Reports: 08/17/05	Last EDR Contact: 09/20/05
Number of Days to Update: 26	Next Scheduled EDR Contact: 12/19/05
	Data Release Frequency: Quarterly

CERCLIS-NFRAP: CERCLIS No Further Remedial Action Planned

As of February 1995, CERCLIS sites designated "No Further Remedial Action Planned" (NFRAP) have been removed from CERCLIS. NFRAP sites may be sites where, following an initial investigation, no contamination was found, contamination was removed quickly without the need for the site to be placed on the NPL, or the contamination was not serious enough to require Federal Superfund action or NPL consideration. EPA has removed approximately 25,000 NFRAP sites to lift the unintended barriers to the redevelopment of these properties and has archived them as historical records so EPA does not needlessly repeat the investigations in the future. This policy change is part of the EPA's Brownfields Redevelopment Program to help cities, states, private investors and affected citizens to promote economic redevelopment of unproductive urban sites.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 05/17/05
Date Data Arrived at EDR: 06/20/05
Date Made Active in Reports: 08/17/05
Number of Days to Update: 58

Source: EPA
Telephone: 703-413-0223
Last EDR Contact: 09/20/05
Next Scheduled EDR Contact: 12/19/05
Data Release Frequency: Quarterly

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 06/28/05
Date Data Arrived at EDR: 07/05/05
Date Made Active in Reports: 08/08/05
Number of Days to Update: 34

Source: EPA
Telephone: 800-424-9346
Last EDR Contact: 09/06/05
Next Scheduled EDR Contact: 12/05/05
Data Release Frequency: Quarterly

RCRA: Resource Conservation and Recovery Act Information

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. RCRAInfo replaces the data recording and reporting abilities of the Resource Conservation and Recovery Information System (RCRIS). The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month. Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month. Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month. Transporters are individuals or entities that move hazardous waste from the generator off-site to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 08/11/05
Date Data Arrived at EDR: 08/23/05
Date Made Active in Reports: 10/06/05
Number of Days to Update: 44

Source: EPA
Telephone: 800-424-9346
Last EDR Contact: 08/23/05
Next Scheduled EDR Contact: 10/24/05
Data Release Frequency: Quarterly

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 12/31/04
Date Data Arrived at EDR: 01/27/05
Date Made Active in Reports: 03/24/05
Number of Days to Update: 56

Source: National Response Center, United States Coast Guard
Telephone: 202-260-2342
Last EDR Contact: 07/25/05
Next Scheduled EDR Contact: 10/24/05
Data Release Frequency: Annually

FEDERAL ASTM SUPPLEMENTAL RECORDS

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/03
Date Data Arrived at EDR: 06/17/05
Date Made Active in Reports: 08/04/05
Number of Days to Update: 48

Source: EPA/NTIS
Telephone: 800-424-9346
Last EDR Contact: 09/12/05
Next Scheduled EDR Contact: 12/12/05
Data Release Frequency: Biennially

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 12/14/04	Source: Department of Justice, Consent Decree Library
Date Data Arrived at EDR: 02/15/05	Telephone: Varies
Date Made Active in Reports: 04/25/05	Last EDR Contact: 07/25/05
Number of Days to Update: 69	Next Scheduled EDR Contact: 10/24/05
	Data Release Frequency: Varies

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 06/08/05	Source: EPA
Date Data Arrived at EDR: 07/11/05	Telephone: 703-416-0223
Date Made Active in Reports: 08/08/05	Last EDR Contact: 07/06/05
Number of Days to Update: 28	Next Scheduled EDR Contact: 10/03/05
	Data Release Frequency: Annually

DELISTED NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 07/01/05	Source: EPA
Date Data Arrived at EDR: 08/03/05	Telephone: N/A
Date Made Active in Reports: 08/22/05	Last EDR Contact: 08/03/05
Number of Days to Update: 19	Next Scheduled EDR Contact: 10/31/05
	Data Release Frequency: Quarterly

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 07/11/05	Source: EPA
Date Data Arrived at EDR: 07/19/05	Telephone: (404) 562-9900
Date Made Active in Reports: 08/08/05	Last EDR Contact: 07/05/05
Number of Days to Update: 20	Next Scheduled EDR Contact: 10/03/05
	Data Release Frequency: Quarterly

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 06/27/05	Source: U.S. Department of Transportation
Date Data Arrived at EDR: 07/22/05	Telephone: 202-366-4555
Date Made Active in Reports: 09/01/05	Last EDR Contact: 07/22/05
Number of Days to Update: 41	Next Scheduled EDR Contact: 10/17/05
	Data Release Frequency: Annually

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/14/05
Date Data Arrived at EDR: 07/22/05
Date Made Active in Reports: 08/22/05
Number of Days to Update: 31

Source: Nuclear Regulatory Commission
Telephone: 301-415-7169
Last EDR Contact: 07/05/05
Next Scheduled EDR Contact: 10/03/05
Data Release Frequency: Quarterly

MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 05/13/05
Date Data Arrived at EDR: 06/27/05
Date Made Active in Reports: 08/08/05
Number of Days to Update: 42

Source: Department of Labor, Mine Safety and Health Administration
Telephone: 303-231-5959
Last EDR Contact: 09/27/05
Next Scheduled EDR Contact: 12/26/05
Data Release Frequency: Semi-Annually

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner receives notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

Date of Government Version: 10/15/91
Date Data Arrived at EDR: 02/02/94
Date Made Active in Reports: 03/30/94
Number of Days to Update: 56

Source: EPA
Telephone: 202-564-4267
Last EDR Contact: 08/22/05
Next Scheduled EDR Contact: 11/21/05
Data Release Frequency: No Update Planned

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 03/30/05
Date Data Arrived at EDR: 05/10/05
Date Made Active in Reports: 05/24/05
Number of Days to Update: 14

Source: EPA
Telephone: 202-564-3887
Last EDR Contact: 08/25/05
Next Scheduled EDR Contact: 11/07/05
Data Release Frequency: Annually

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 10/01/03
Date Data Arrived at EDR: 11/12/03
Date Made Active in Reports: 11/21/03
Number of Days to Update: 9

Source: USGS
Telephone: 703-692-8801
Last EDR Contact: 08/09/05
Next Scheduled EDR Contact: 11/07/05
Data Release Frequency: Semi-Annually

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized. In 1978, 24 inactive uranium mill tailings sites in Oregon, Idaho, Wyoming, Utah, Colorado, New Mexico, Texas, North Dakota, South Dakota, Pennsylvania, and on Navajo and Hopi tribal lands, were targeted for cleanup by the Department of Energy.

Date of Government Version: 12/29/04
Date Data Arrived at EDR: 01/07/05
Date Made Active in Reports: 03/14/05
Number of Days to Update: 66

Source: Department of Energy
Telephone: 505-845-0011
Last EDR Contact: 09/19/05
Next Scheduled EDR Contact: 12/19/05
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/85	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/09/04	Telephone: 800-424-9346
Date Made Active in Reports: 09/17/04	Last EDR Contact: 05/23/95
Number of Days to Update: 39	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 12/31/04	Source: U.S. Army Corps of Engineers
Date Data Arrived at EDR: 06/29/05	Telephone: 202-528-4285
Date Made Active in Reports: 08/08/05	Last EDR Contact: 06/29/05
Number of Days to Update: 40	Next Scheduled EDR Contact: 10/03/05
	Data Release Frequency: Varies

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 10/01/03	Source: USGS
Date Data Arrived at EDR: 11/12/03	Telephone: 202-208-3710
Date Made Active in Reports: 11/21/03	Last EDR Contact: 08/09/05
Number of Days to Update: 9	Next Scheduled EDR Contact: 11/07/05
	Data Release Frequency: Semi-Annually

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 08/02/05	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/12/05	Telephone: 703-603-8867
Date Made Active in Reports: 10/06/05	Last EDR Contact: 10/03/05
Number of Days to Update: 55	Next Scheduled EDR Contact: 01/02/06
	Data Release Frequency: Varies

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/95	Source: EPA
Date Data Arrived at EDR: 07/03/95	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/95	Last EDR Contact: 09/06/05
Number of Days to Update: 35	Next Scheduled EDR Contact: 12/05/05
	Data Release Frequency: No Update Planned

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/03	Source: EPA
Date Data Arrived at EDR: 07/13/05	Telephone: 202-566-0250
Date Made Active in Reports: 08/17/05	Last EDR Contact: 09/19/05
Number of Days to Update: 35	Next Scheduled EDR Contact: 12/19/05
	Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/02	Source: EPA
Date Data Arrived at EDR: 04/27/04	Telephone: 202-260-5521
Date Made Active in Reports: 05/21/04	Last EDR Contact: 07/18/05
Number of Days to Update: 24	Next Scheduled EDR Contact: 10/17/05
	Data Release Frequency: Every 4 Years

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

Date of Government Version: 07/15/05	Source: EPA
Date Data Arrived at EDR: 07/25/05	Telephone: 202-566-1667
Date Made Active in Reports: 08/22/05	Last EDR Contact: 09/19/05
Number of Days to Update: 28	Next Scheduled EDR Contact: 12/19/05
	Data Release Frequency: Quarterly

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 12/31/03	Source: EPA
Date Data Arrived at EDR: 01/03/05	Telephone: 202-564-4203
Date Made Active in Reports: 01/25/05	Last EDR Contact: 07/18/05
Number of Days to Update: 22	Next Scheduled EDR Contact: 10/17/05
	Data Release Frequency: Annually

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 07/15/05	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 07/25/05	Telephone: 202-566-1667
Date Made Active in Reports: 08/22/05	Last EDR Contact: 09/19/05
Number of Days to Update: 28	Next Scheduled EDR Contact: 12/19/05
	Data Release Frequency: Quarterly

STATE OF GEORGIA ASTM STANDARD RECORDS

SHWS: Hazardous Site Inventory

State Hazardous Waste Sites. State hazardous waste site records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. Available information varies by state.

Date of Government Version: 07/01/05	Source: Department of Environmental Protection
Date Data Arrived at EDR: 09/26/05	Telephone: 404-657-8600
Date Made Active in Reports: 10/24/05	Last EDR Contact: 09/09/05
Number of Days to Update: 28	Next Scheduled EDR Contact: 12/05/05
	Data Release Frequency: Annually

SWF/LF: Solid Waste Disposal Facilities

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 09/06/05
Date Data Arrived at EDR: 09/06/05
Date Made Active in Reports: 09/27/05
Number of Days to Update: 21

Source: Department of Natural Resources
Telephone: 404-362-2696
Source: Center for GIS, Georgia Institute of Technology
Telephone: 404-385-0900
Last EDR Contact: 08/29/05
Next Scheduled EDR Contact: 11/28/05
Data Release Frequency: Semi-Annually

LUST: List of Leaking Underground Storage Tanks

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state.

Date of Government Version: 07/28/05
Date Data Arrived at EDR: 10/12/05
Date Made Active in Reports: 10/24/05
Number of Days to Update: 12

Source: Environmental Protection Division
Telephone: 404-362-2687
Last EDR Contact: 10/12/05
Next Scheduled EDR Contact: 01/09/06
Data Release Frequency: Quarterly

UST: Underground Storage Tank Database

Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 01/21/05
Date Data Arrived at EDR: 01/27/05
Date Made Active in Reports: 02/23/05
Number of Days to Update: 27

Source: Environmental Protection Division
Telephone: 404-362-2687
Last EDR Contact: 07/11/05
Next Scheduled EDR Contact: 10/10/05
Data Release Frequency: Annually

STATE OF GEORGIA ASTM SUPPLEMENTAL RECORDS

SPILLS: Spills Information

Oil or Hazardous Material Spills or Releases.

Date of Government Version: 07/31/05
Date Data Arrived at EDR: 08/16/05
Date Made Active in Reports: 09/14/05
Number of Days to Update: 29

Source: Department of Natural Resources
Telephone: 404-656-6905
Last EDR Contact: 07/25/05
Next Scheduled EDR Contact: 10/24/05
Data Release Frequency: Quarterly

NON HSI: Non-Hazardous Site Inventory

This list was obtained by EDR in 1998 and contains property listings that have reported contamination of soil or groundwater under the Georgia Hazardous Site Response Act (HSRA). These sites were not placed on the Georgia Priority list (Hazardous Site Inventory or HSI) because their hazard evaluation scores did not exceed the threshold levels established for sites posing an imminent threat to health or the environment. Disclaimer provided by Rindt-McDuff Associates - the database information has been obtained from publicly available sources produced by other entities. While reasonable steps have been taken to insure the accuracy of the data, RMA does not guarantee the accuracy of the data. No claim is made for the actual existence of pollution at any site. This data does not constitute a legal opinion.

Date of Government Version: 04/15/05
Date Data Arrived at EDR: 04/22/05
Date Made Active in Reports: 05/04/05
Number of Days to Update: 12

Source: Rindt-McDuff Associates, Inc.
Telephone: N/A
Last EDR Contact: 07/05/05
Next Scheduled EDR Contact: 10/03/05
Data Release Frequency: Annually

HIST LF: Historical Landfills

Landfills that were closed many years ago.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 01/15/03
Date Data Arrived at EDR: 01/20/04
Date Made Active in Reports: 02/06/04
Number of Days to Update: 17

Source: Department of Natural Resources
Telephone: 404-362-2696
Last EDR Contact: 01/20/04
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

DRYCLEANERS: Drycleaner Database A listing of drycleaners in Georgia.

Date of Government Version: 06/23/05
Date Data Arrived at EDR: 06/24/05
Date Made Active in Reports: 07/14/05
Number of Days to Update: 20

Source: Department of Natural Resources
Telephone: 404-363-7000
Last EDR Contact: 06/23/05
Next Scheduled EDR Contact: N/A
Data Release Frequency: Varies

EDR PROPRIETARY HISTORICAL DATABASES

Former Manufactured Gas (Coal Gas) Sites: The existence and location of Coal Gas sites is provided exclusively to EDR by Real Property Scan, Inc. ©Copyright 1993 Real Property Scan, Inc. For a technical description of the types of hazards which may be found at such sites, contact your EDR customer service representative.

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The information contained in this report has predominantly been obtained from publicly available sources produced by entities other than Real Property Scan. While reasonable steps have been taken to insure the accuracy of this report, Real Property Scan does not guarantee the accuracy of this report. Any liability on the part of Real Property Scan is strictly limited to a refund of the amount paid. No claim is made for the actual existence of toxins at any site. This report does not constitute a legal opinion.

BROWNFIELDS DATABASES

US BROWNFIELDS: A Listing of Brownfields Sites

Included in the listing are brownfields properties addresses by Cooperative Agreement Recipients and brownfields properties addressed by Targeted Brownfields Assessments. Targeted Brownfields Assessments-EPA's Targeted Brownfields Assessments (TBA) program is designed to help states, tribes, and municipalities--especially those without EPA Brownfields Assessment Demonstration Pilots--minimize the uncertainties of contamination often associated with brownfields. Under the TBA program, EPA provides funding and/or technical assistance for environmental assessments at brownfields sites throughout the country. Targeted Brownfields Assessments supplement and work with other efforts under EPA's Brownfields Initiative to promote cleanup and redevelopment of brownfields. Cooperative Agreement Recipients-States, political subdivisions, territories, and Indian tribes become Brownfields Cleanup Revolving Loan Fund (BCRLF) cooperative agreement recipients when they enter into BCRLF cooperative agreements with the U.S. EPA. EPA selects BCRLF cooperative agreement recipients based on a proposal and application process. BCRLF cooperative agreement recipients must use EPA funds provided through BCRLF cooperative agreement for specified brownfields-related cleanup activities.

Date of Government Version: 08/18/05
Date Data Arrived at EDR: 08/18/05
Date Made Active in Reports: 10/06/05
Number of Days to Update: 49

Source: Environmental Protection Agency
Telephone: 202-566-2777
Last EDR Contact: 08/11/05
Next Scheduled EDR Contact: 12/12/05
Data Release Frequency: Semi-Annually

BROWNFIELDS: Brownfields Public Record List

The Brownfields Public Record lists properties where response actions under the Georgia Hazardous Site Reuse and Redevelopment Act are planned, ongoing or completed.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 09/09/05
Date Data Arrived at EDR: 09/09/05
Date Made Active in Reports: 10/13/05
Number of Days to Update: 34

Source: Department of Natural Resources
Telephone: 404-657-8600
Last EDR Contact: 09/07/05
Next Scheduled EDR Contact: 12/05/05
Data Release Frequency: Varies

INST CONTROL: Public Record List

Sites on the Public Record Listing that have institutional controls or limitations on use are sites with Risk Reduction Standards of 3, 4, and 5.

Date of Government Version: 09/09/05
Date Data Arrived at EDR: 09/09/05
Date Made Active in Reports: 10/13/05
Number of Days to Update: 34

Source: Department of Natural Resources
Telephone: 404-657-8600
Last EDR Contact: 09/07/05
Next Scheduled EDR Contact: 12/05/05
Data Release Frequency: Varies

US INST CONTROL: Sites with Institutional Controls

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 01/10/05
Date Data Arrived at EDR: 02/11/05
Date Made Active in Reports: 04/06/05
Number of Days to Update: 54

Source: Environmental Protection Agency
Telephone: 703-603-8867
Last EDR Contact: 07/05/05
Next Scheduled EDR Contact: 10/03/05
Data Release Frequency: Varies

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

Oil/Gas Pipelines: This data was obtained by EDR from the USGS in 1994. It is referred to by USGS as GeoData Digital Line Graphs from 1:100,000-Scale Maps. It was extracted from the transportation category including some oil, but primarily gas pipelines.

Electric Power Transmission Line Data

Source: PennWell Corporation
Telephone: (800) 823-6277

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Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.
Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services
Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

Nursing Homes

Source: National Institutes of Health
Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Child Care Centers

Source: Department of Human Resources

Telephone: 404-651-5562

Flood Zone Data: This data, available in select counties across the country, was obtained by EDR in 1999 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002 from the U.S. Fish and Wildlife Service.

STREET AND ADDRESS INFORMATION

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Appendix D

Resumés



SUSAN E. ZIMMERMAN
Senior Environmental Technician

Education:

9/91-5/93 - Otsego Area Technical School - Certification, Natural Resources
8/85-6/86 - North Country Community College - Wilderness Recreation Leadership
6/21/85 - Graduated from Hugh C. Williams High School, Canton, New York.

Representative Experience:

QORE Property Sciences

3/1/99 to present - Senior Environmental Technician, NPDES certification,
ESC certification, GADOT certification.
One year of NPDES site inspections and monitoring.
Monitoring well sampling, soil sampling, Hydro assignments.

9/1/99 to 3/1/01 - CMT Technician, ACI certification
Six months of prestress bridge beam inspections - Tindall Corp.
Concrete lab testing, soil density testing, proctors, asphalt, etc.

Other Related Experience:

Georgia Environmental Protection Division (EPD) – One year, documenting reports for
UST's and Lead and Asbestos departments.

GreenMan Technologies of Georgia, Inc.– One year, bids and contracts for scrap tire
cleanup projects.

VISY Paper, Inc. – One year, training and operation of stock prep area of 100% recycled
paper machine – OSHA certification.

KTA Environmental Services, Pittsburg, PA – One year, lead paint removal inspections of
emissions and containments on the Verrazano Narrows Bridge. Certified Opacity Observer.

Several years of additional experience – installation of energy efficient commercial light
fixtures, installation of energy efficient commercial windows, miscellaneous construction,
Youth Conservation Corps.

Certifications / Training:

GADOT WECS Certification
NPDES Certification
AHERA Asbestos Certification No. 2965
OSHA 40-hour HAZWOPER
OSHA 8-hour HAZWOPER



GREGORY R. FISCHER, P.G.

Senior Project Manager

Education:

Wayne State University, B. S. Geology, 1972

Experience:

33 Years

Specialties:

Groundwater Supply
Groundwater/Soil Contamination
Hydrocarbon Detection/Remediation
Landfill Site Evaluations
Pre-Purchase Environmental Assessments

Representative Projects:

Groundwater Supply - Installation of production test and observation wells ranging in depth from 1400 feet to 2300 feet, to determine aquifer yield to supply 50,000 gpm for an electric utility.

Groundwater/Soil Contamination - Responsible for evaluation of numerous industrial and commercial sites for inorganic and organic contamination. Assisted clients on an as-needed basis to evaluate remedial action alternatives, such as pump and treat, sparge/SVE, landfarming, and natural attenuation.

Hydrocarbon Detection Remediation - At a number of sites, responsible for delineation of hydrocarbon contamination, tank closures, Corrective Action Plan (CAP) preparation and implementation, and post-closure monitoring.

Landfill Evaluation - Involved in the evaluation of sanitary and construction debris landfill sites. Responsibilities included determining subsurface conditions and aquifer characteristics, preparation of Site Acceptability Reports for State permitting, design and installation of groundwater and methane gas monitoring systems, and Assessments of Corrective Measures.

Pre-purchase Environmental Assessment - Managed numerous Phase I and Phase II Environmental Site Assessments for commercial, industrial, and raw land properties. These have included underground storage tanks (USTs) and dry cleaning facilities. Work has included interfacing with lenders, environmental attorneys, etc., in order to identify real and perceived risks.

Professional Registrations:

Georgia, North Carolina, South Carolina, Tennessee

Appendix E
Client Information Requested

PHASE I ASSESSMENT INFORMATION REQUEST

Per ASTM requirements, QORE requested that the following information be provided to QORE at the time of project authorization or as soon as possible thereafter.

- Site contact name and phone number
- Legal description of the property
- Chain-of-title
- Title Insurance Commitment
- Plans and specifications
- Site Survey
- Environmental site assessment reports
- Environmental audit reports
- Environmental permits
- Registrations for underground and above-ground storage tanks
- Material safety data sheets
- Community right-to-know plan
- Safety plans; preparedness and prevention plans; spill prevention, countermeasure and control plans; etc.
- Reports regarding hydrogeological conditions on the property or surrounding area-(including wetland reports/ permits)
- Notices or other correspondence from any government agency relating to past or current violations of environmental laws with respect to the property or relating to environmental liens encumbering the property
- Hazardous waste generator notices or reports
- Geotechnical studies
- Reasonably ascertainable recorded land title records for environmental liens or activity and use limitations currently recorded against the property and provide that information for inclusion in this report.
- Any specialized knowledge or experience, that is material to *recognized environmental conditions* in connection with the subject property, or if any actual knowledge that the purchase price of the property is significantly less than the purchase price of comparable properties.
- Knowledge of (1) any pending, threatened, or past litigation relevant to hazardous substances or petroleum products in, on, or from the property; (2) any pending, threatened, or past administrative proceedings relevant to hazardous substances or petroleum products in, on or from the property; or (3) any notices from any governmental entity regarding any possible violation of environmental laws or possible liability relating to hazardous substances or petroleum products.

APPENDIX U
OTHER

NOT APPLICABLE

ATTACHMENT 1, PHASE II REPORT

NOT APPLICABLE