



June 7, 2012

Mr. Jason Maddox
c/o MACO Development Company, LLC
111 North Main Street
Clarkton, MO 63837

SUBJECT: Wetland & Floodplain Evaluation Letter
Creekview Commons
Magnolia Street
Americus, Sumter County, Georgia
GEC Job #110277.240

Dear Mr. Maddox:

Per your request, Geotechnical & Environmental Consultants, Inc. (GEC) has reviewed the National Wetlands Inventory (NWI) map and the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) to determine if these records indicate potential wetland and/or floodplain concerns on the above property. According to the NWI map, no wetland areas were identified on the property. As part of a wetland evaluation in 2011, GEC delineated 33.73 acres of wetlands and 325 linear feet of intermittent stream on adjacent properties hydrologically connected to Muckalee Creek, southwest of the subject property. Of the previously delineated area, approximately 0.0134 acres of wetlands remain on the Creekview Commons property adjacent to the existing 'dirt' road crossing.

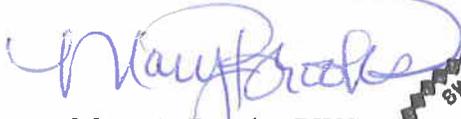
The subject property is found on Sumter County, Georgia Flood Insurance Rate Map Panel 153 of 375 (13261C0153C) dated September 11, 2009. According to the FIRM map, the subject property is located in Zone X-white, which is defined as areas determined to be outside the 0.2% annual chance floodplain. GEC, therefore, does not anticipate that a flooding hazard will deter the development of the subject property.

A copy of the NWI and FIRM maps is included as an attachment.

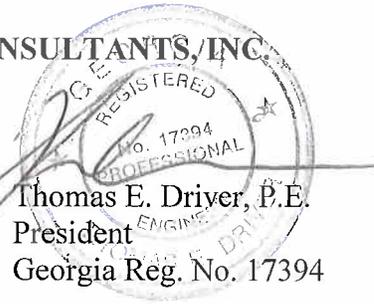
GEC appreciates the opportunity to be of service to you. If you have any questions, or need further assistance, please do not hesitate to call.

Sincerely,

GEOTECHNICAL & ENVIRONMENTAL CONSULTANTS, INC.



Mary A. Brooks, PWS
Wetland Services Director

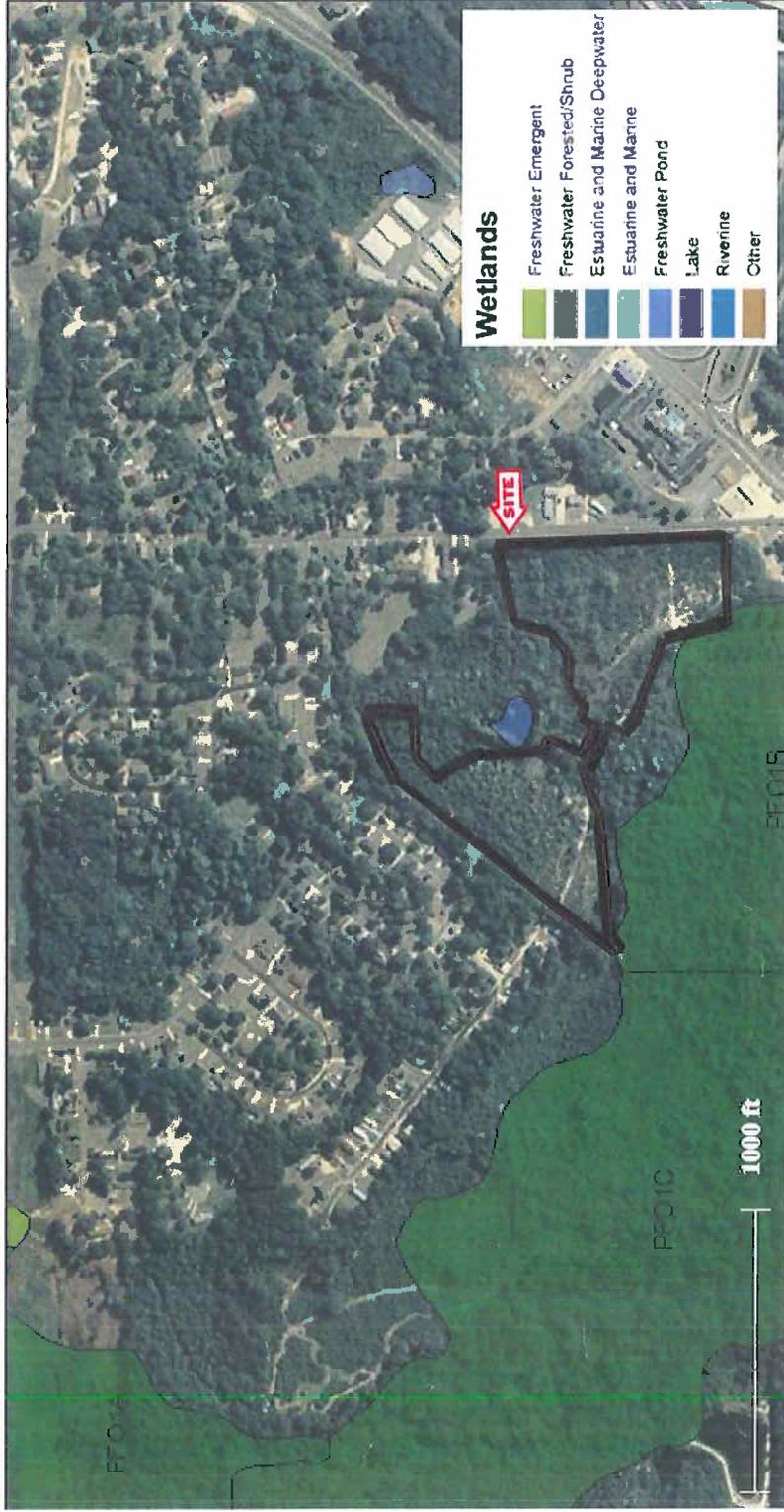


Thomas E. Driver, P.E.
President
Georgia Reg. No. 17394



U.S. Fish and Wildlife Service

National Wetlands Inventory



**GEOTECHNICAL & ENVIRONMENTAL
CONSULTANTS, INC.**

514 Hillcrest Industrial Blvd. Macon, GA 31204 Tel: (478) 757-1606 Fax: (478) 757-1608
6202 West Hamilton Park Drive Columbus, GA 31909 Tel: (706) 569-0008 Fax: (706) 569-0940

National Wetlands Inventory (NWI) Map

Creekview Commons

Magnolia Street

Americus, Sumter County, Georgia

GEC Project No. 110277.240

Approximate Scale: 1"=667'

Source: U.S. Fish & Wildlife Service



MAP SCALE 1" = 500'



NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0153C

FIRM
FLOOD INSURANCE RATE MAP
SUMTER COUNTY,
GEORGIA
AND INCORPORATED AREAS

PANEL 153 OF 375
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)
CONTAINS:
COMMUNITY NUMBER 13003
AMERICUS, CITY OF 0153
SUMTER COUNTY 13621 0153 C

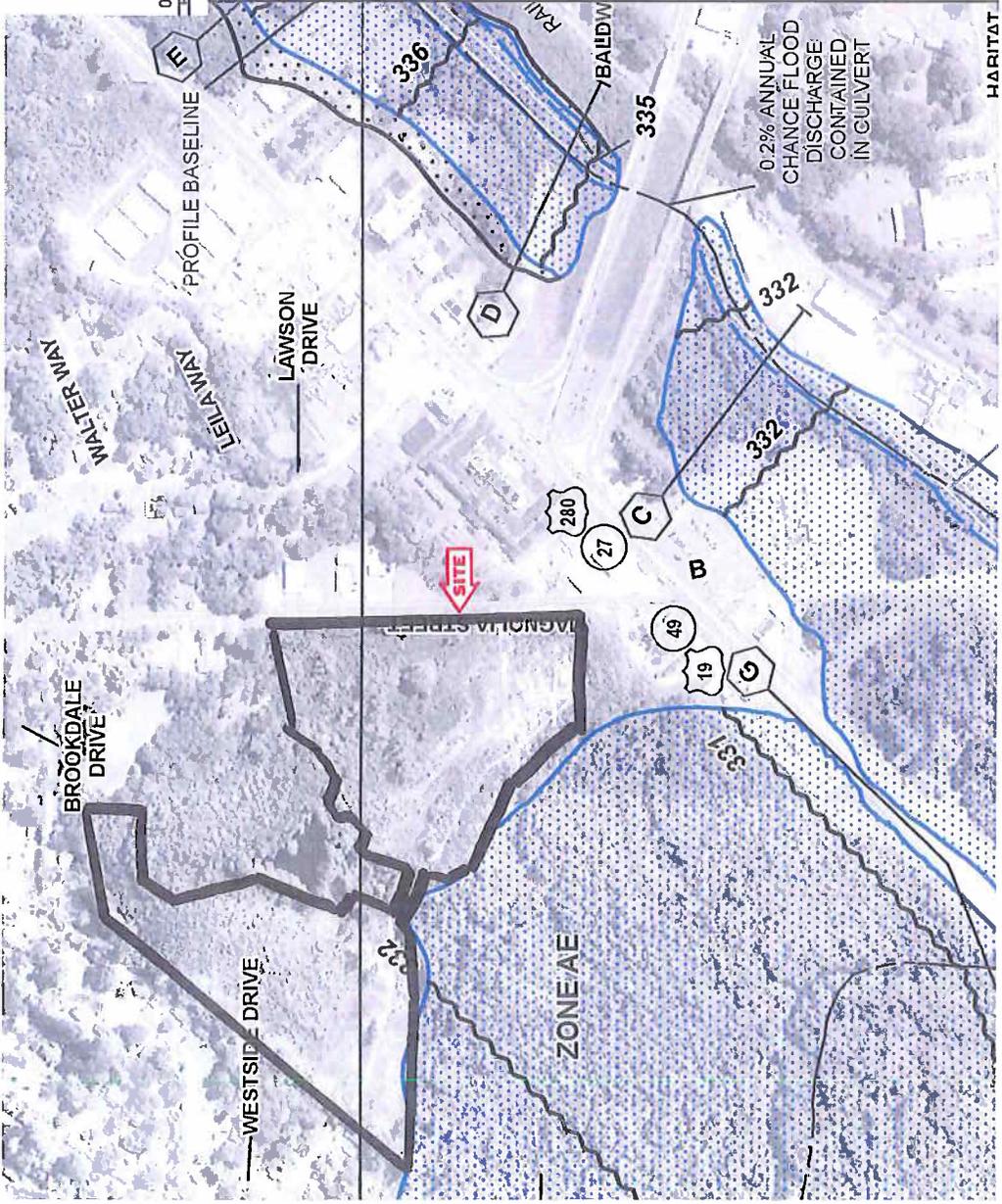
Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above is used on insurance applications for the subject community.



MAP NUMBER
13261C0153C

MAP REVISED
SEPTEMBER 11, 2009

Federal Emergency Management Agency



GEC

GEOTECHNICAL & ENVIRONMENTAL
CONSULTANTS, INC.

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Flood Insurance Rate Map (FIRM)
Creekview Commons
Magnolia Street
Americus, Sumter County, Georgia
GEC Project No. 110277.240
Approximate Scale: 1"=500'
Source: FEMA Map Service Center Website

LEGEND

SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equalled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

- ZONE A** No Base Flood Elevations determined.
- ZONE AE** Base Flood Elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.
- ZONE AR** Special Flood Hazard Areas formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE A99** Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

ZONE X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

ZONE X Areas determined to be outside the 0.2% annual chance floodplain.
ZONE D Areas in which flood hazards are undetermined, but possible.



MAP SCALE 1" = 500'



ZONE X
ZONE D
 Areas determined to be outside the 0.2% annual chance floodplain. Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS
OTHERWISE PROTECTED AREAS (OPAs)
 CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

1% annual chance floodplain boundary
 Floodway boundary
 Zone D boundary
 CBRS and OPA boundary

Boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.

Base Flood Elevation line and value; elevation in feet*
 Base Flood Elevation value where uniform within zone; elevation in feet*
 *referenced to the North American Vertical Datum of 1988

Cross section line
 Traversed line

Geographic coordinates referenced to the North American Datum of 1983 (NAD 83) Western Hemisphere
 45° 02' 08", 93° 02' 12"

4959000FT
 4'59" above N
 DX5510 X
 * M1.5

500-foot grid ticks: Georgia State Plane coordinate system, West zone (FIPS Zone 1004), Transverse Mercator
 100-foot Universal Transverse Mercator grid values, zone 17 (same)
 Bench mark (see explanation in Notes to Users section of this FIRM panel)
 River Mile

MAP REPOSITORY
 Refer to listing of Map Repositories on Map Index

EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP
 APRIL 21, 2007

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL

For community map revision history prior to countywide mapping, refer to the Community Map Index table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community contact your insurance agent or call National Flood Insurance Program at 1-800-458-6620.

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT One-Line. This map does not include changes or amendments which may have been made subsequent to the date of this block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

PHASE I ENVIRONMENTAL SITE ASSESSMENT

**PROPOSED CREEKVIEW COMMONS
MAGNOLIA STREET
AMERICUS, SUMTER COUNTY, GEORGIA
GEC JOB #110277.240**

PREPARED FOR

**CREEKVIEW COMMONS, L.P.
C/O MACO CONSTRUCTION
111 NORTH MAIN STREET
CLARKTON, MISSOURI 63837
ATTN: MR. JASON MADDOX**

PREPARED BY

**GEOTECHNICAL & ENVIRONMENTAL CONSULTANTS, INC.
514 HILLCREST INDUSTRIAL BOULEVARD
MACON, GEORGIA 31204-3472
(478) 757-1606**

ISSUE DATE

JUNE 8, 2012

GEC

ENVIRONMENTAL CONSULTANT SIGNATURE PAGE FOR PHASE I REPORTS

June 8, 2012

To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies and Gentlemen:

GEC declares that, to the best of our professional knowledge and belief, we meet the definition of *Environmental Professionals* as defined in §312.10 of 40 CFR 312.

We have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

6/8/12
Date

Tameka Gordon
Tameka Gordon
Environmental Specialist

Geotechnical & Environmental Consultants, Inc. (GEC) has performed a Phase I Environmental Site Assessment in conformance with the scope and limitation of 40 C.F.R. Part 312 and most current ASTM standard (ASTM E 1527-2005, Standard Practice for Environmental Site Assessments) of the proposed Creekview Commons development near the northwest intersection of Magnolia Street and Martin Luther King, Jr. Boulevard, Americus, Georgia, *the subject property*. Any exceptions to, or deletions from this practice are described in Section 2.0 of this report. GEC certifies that the Phase I was performed by a qualified Environmental Professional meeting the requirement set forth in 40 CFR §312.10(b).

6/8/12
Date

Mary Brooks
Mary A. Brooks
Environmental Professional/
Senior Environmental Specialist

6/08/12
Date

Chip Brooks
Chip Brooks, P.E.
Project Engineer
Ga. Reg. #35020



GEC

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AMERICUS, SUMTER COUNTY, GEORGIA
GEC JOB #110277.240

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AMERICUS, SUMTER COUNTY, GEORGIA
GEC JOB #110277.240**

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- Figure 2: National Wetlands Inventory (NWI) Map
- Figure 3: Soil Survey Map
- Figure 4: Flood Insurance Rate Map (FIRM)
- Figure 5: Site Map
- Figure 6: Site Plan
- Figure 7: Radon Map
- Figure 8: 2009 Aerial Photograph

APPENDIX B: SITE PHOTOGRAPHS

APPENDIX C: HISTORICAL RESEARCH DOCUMENTATION

- EDR Historical Aerial Package
(Years: 2006, 2005, 1993, 1988, 1975, 1968, 1962, 1953, 1948, 1941, & 1937)
- Environmental Data Resources (EDR) Sanborn Map Report
- EDR Historical Topographic Maps
- EDR-City Directory Abstract

APPENDIX D: DOCUMENTATION FROM TITLE COMPANY/TITLE PROFESSIONAL

- Sumter County Board of Tax Assessors' Parcel Maps and Tax Card
- Chain of Ownership for Environmental Purposes Report
- Copies of Selected Deed Book Records

APPENDIX E: NON-SCOPE TESTING

- Lead-based paint
- Lead in soil
- Lead in water
- Asbestos
- Radon
- Vapor encroachment screening

APPENDIX F: NOISE ASSESSMENT DOCUMENTATION

APPENDIX G: REGULATORY ENVIRONMENTAL SEARCH INFORMATION

- Environmental Data Resources (EDR) Environmental Database Report

APPENDIX H: RECORD OF COMMUNICATIONS & INTERVIEWS

- Completed DCA User Questionnaire
- Fire Department Letter
- Environmental Health Department letter
- Zoning Letter
- Water and Sewerage Authority letter
- Electrical Service Availability Letter

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**PROPOSED CREEKVIEW COMMONS
MAGNOLIA STREET
AMERICUS, SUMTER COUNTY, GEORGIA
GEC JOB #110277.240**

**APPENDIX I: AUTHOR CREDENTIALS, DOCUMENTATION OF QUALIFICATIONS AS
AN ENVIRONMENTAL PROFESSIONAL**

Resume: CHIP BROOKS, P.E.

Resume: MARY A. BROOKS

Resume: TAMEKA GORDON

APPENDIX J: OWNER ENVIRONMENTAL QUESTIONNAIRE

APPENDIX K: PROPERTY LOG & INFORMATION CHECKLIST

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APPENDIX Q: SHPO REVIEW DOCUMENTATION *[if applicable]*

APPENDIX R: ADDITIONAL HOME REQUIREMENTS *[if applicable]*

APPENDIX S: OPERATION AND MAINTENANCE MANUAL *[if applicable]*

APPENDIX T: PREVIOUS ENVIRONMENTAL REPORTS *[if applicable]*

APPENDIX U: OTHER *[if applicable]*

ATTACHMENT 1, PHASE II REPORT *[if applicable]*

1.0 EXECUTIVE SUMMARY

Mr. Jason Maddox with MACO Construction retained Geotechnical & Environmental Consultants, Inc. (GEC) on behalf of Creekview Commons, L.P. to perform a Phase I Environmental Site Assessment (ESA) on the approximately 17.65-Acre proposed Creekview Commons site located near the northwest intersection of Magnolia Street and Martin Luther King, Jr. Boulevard; south of Brookdale Drive; west of Magnolia Street; northwest of Martin Luther King, Jr. Boulevard; and east of Westside Drive located in the City of Americus, Sumter County, Georgia. GEC is not affiliated with Mr. Maddox; MACO Construction; Creekview Commons, L.P., or the seller of the subject property.

The DCA Phase I ESA was performed in accordance with the American Society for Testing and Materials (ASTM) E 1527-2005, Standard Practice for Environmental Site Assessments. The ASTM E 1527-2005 is the most current ASTM standard for this work. The Phase I ESA consisted of a site reconnaissance of the subject property, review of applicable and reasonably ascertainable information about the subject property, and interviews with selected officials knowledgeable about the subject property. The Phase I ESA was intended to provide an overview of environmental conditions at the subject property resulting from current and/or past site activities.

While conducting the Phase I ESA of the subject property, GEC followed the 2012 Georgia DCA Environmental Manual, its ESA standard, which requires that the consultant follow the ASTM standard and provide some additional information that exceeds the ASTM requirements. This information addresses items referred to as “non-scope” items in the ASTM Practice, and includes wetlands, state waters, floodways/floodplains, additional public/historic records review, noise, water leaks/mold/fungi/microbial growth, radon, asbestos containing materials (ACMs), lead-based paint (LBP), lead in drinking water, and including (per DCA guidelines) polychlorinated biphenyls (PCB). Other hazards considered for the DCA ESA report include the presence of existing septic tanks or water wells on the subject property or the absence of the availability of a municipal water or sewer system to the subject site.

Interviews and review of reasonably ascertainable records by GEC during the completion of the DCA Phase I ESA did not indicate past usage or conditions which would likely result in significant environmental concerns. No recognized environmental conditions (RECs), as that term is defined in the referenced ASTM Practice, were identified on the subject property.

The user of this report is encouraged to read the entire report for detailed descriptions of the property and the observations and judgments made by GEC. The user is ultimately responsible for assessing whether the limitations of the ASTM Practice and this project’s scope of work are appropriate to the level of risk the user assumes for the subject property transaction. The following summarizes general information discovered during GEC’s Phase I ESA.

- The site reconnaissance and research revealed no business risk issues or no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property.
- GEC previously conducted a Phase I ESA on this property. The original report was issued June 17, 2011. The text and other pertinent information from the previous

assessment are appended to this report, an update of the previous. The only noted change is the number of acres for the new assessment. The previous assessment consisted of a 57.63 acre tract while this new assessment consists of only 17.65 acres. No other significant changes in the property or surroundings were noted in this new assessment. Historical reference information from the original report was referenced for this report.

- During GEC's previous assessment, lead in soil sampling was conducted on the subject site due to pre 1978 structures being on the subject property. The lead detected in the area surface soils (upper one-half inch) was below the Georgia Environmental Protection Division notification concentration for lead (400 mg/kg). Lead in soil is not considered to be a concern for the subject property.
- Based on GEC's review of the readily available historical sources, such as Sanborn Maps, and aerial photographs, the subject property has been historically rural residential and undeveloped agricultural/wooded land on the reviewed 1937 to 2009 aerial photographs with two residential structures appearing on the subject site, one in the eastern and the other in the western portion of the subject site. The adjacent property in all directions of the subject site was either agricultural or wooded land with sparsely situated rural residential homesteads on the 1937 to 1962 aerial photographs. Higher density residential development is first observed in the northeastern vicinity of the subject property on the 1962 aerial photograph. Additionally, commercial development first appears on the 1962 aerial photograph in the southern and eastern vicinity of the subject site. Increased commercial and residential development is observed in each subsequent aerial photograph. A significant increase in residential development can be observed on the adjoining property to the north and in the northern vicinity in the 1975 aerial photograph. The subject property's chain of title information indicated that the subject property, which is part of a larger tract, was an assemblage of properties made by J.H. Shumake in the late 1930s and early 1940s. The property ownership remained in the Shumake family until it was sold to Howard Johnson in the 1990's. The Johnson family currently retains ownership of the subject property. Research of readily available historic tax records and aerial photographs indicated the property has been in private individuals' or non-industrial entities' ownership and has been rural residential and undeveloped wooded/agricultural land since and likely before, the 1930s according to title records.
- The Environmental Data Resources, Inc. (EDR) Report has changed since the previous report dated April 27, 2011 that GEC used in the previous Phase I ESA on this subject property. Neither report identified the subject property on any Federal, State, or Local databases. The new 2012 EDR report identified one CERC-NFRAP database site (not listed in the 2011 report), two SHWS database sites (one more than the 2011 report), five LUST database sites (one more than the 2011 report), five UST database sites (two more than the 2011 report), two AST database sites (not listed in the 2011 report), three RCRA-NonGen database sites, and one Manufactured Gas Plants database site within the ASTM E 1527 prescribed search radii of the subject property. However, the listed databases sites are not considered to be a potential environmental and/or financial concern to the subject site. Refer to Section 4.1.1.1 and Appendix G for the current May 2012 EDR Environmental Database Report.
- Geotechnical & Environmental Consultants, Inc. (GEC) reviewed the National Wetlands Inventory (NWI) map and the Federal Emergency Management Agency (FEMA) Flood

Insurance Rate Map (FIRM) to determine if these records indicate potential wetland and/or floodplain concerns on the subject property. According to the NWI and FIRM maps, no wetland areas or flood plains were identified on the subject property. As part of a wetland evaluation in 2011, GEC delineated 33.73 acres of wetlands and 325 linear feet of intermittent stream on adjacent properties hydrologically connected to Muckalee Creek, southwest of the subject property. Of the previously delineated area, approximately 0.0134 acres of wetlands remain on the Creekview Commons property adjacent to the existing 'dirt' road crossing.

1.1 Location & Legal Description of the Property

The subject site, which is approximately 17.65 acres in size, is located near the northwest intersection of Magnolia Street and Martin Luther King, Jr. Boulevard in Americus, Georgia. The subject property is situated south of Brookdale Drive; west of Magnolia Street; northwest of Martin Luther King, Jr. Boulevard; and east of Westside Drive. The subject property consists of an undeveloped wooded/overgrown tract of land. A site location map is included in Appendix I as Figure 1.

The subject property is located in Land Lot 154 of the 27th Land District of the City of Americus, Sumter County, Georgia in Tax Parcel Number 27-1-3. The subject property is legally described in the most current available deed (Deed Book 1160, Page 60), a copy of which is provided in Appendix D.

1.2 Environmental Concerns and Conclusions

1.2.1 On-Site

The site reconnaissance and research conducted during the course of this project revealed no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property.

1.2.2 Off-Site

The site reconnaissance and research conducted during the course of this project revealed no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property from an adjacent property.

1.3 Recommendations

1.3.1 On-Site

Based on the findings presented in this report, GEC found no obvious environmental concerns or risks associated with the subject property; therefore, we recommend no further environmental study of the site at this time.

1.3.2 Off-Site

Based on the findings presented in this report, GEC found no obvious environmental concerns regarding off-site properties within the ASTM search radii; therefore, we recommend no further study of potential off-site impacts at this time.

2.0 INTRODUCTION

2.1 Background

This report describes a Phase I Environmental Site Assessment, prepared by Geotechnical & Environmental Consultants, Inc. (GEC), for the approximately 17.65-acre proposed Creekview Commons apartment complex situated south of Brookdale Drive; west of Magnolia Street; northwest of Martin Luther King, Jr. Boulevard; and east of Westside Drive in the City of Americus, Georgia. The subject property, which is included in Land Lot 154 of the 27th Land District of Sumter County, Georgia, currently contains undeveloped wooded/overgrown land. A U.S.G.S. topographic map, site map, and a site plan are included in Appendix A as Figures 1, 5, and 6, respectively.

2.2 Procedures

The purpose of this Phase I ESA report is to permit the user to satisfy one of the requirements to qualify for the *innocent landowner* defense to the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) liability (also known as one of the "landowner liability protections" or "LLPs"). Completion of the referenced ASTM practice constitutes the "all appropriate inquiry" (AAI) into the previous ownership and uses of the property consistent with good commercial or customary practice as defined at 42 USC §9601 (35)(B).

This Phase I ESA was conducted in accordance with ASTM E 1527-2005 Standard Practice for Environmental Site Assessments. GEC's scope of work for this Phase I ESA was to identify "recognized environmental conditions" to the extent feasible by the processes outlined in Practice E 1527 and in accordance with good commercial and customary practices for conducting an environmental site assessment of a parcel of land with respect to the range of contaminants within the scope of CERCLA and petroleum products.

Practice E 1527 defines "recognized environmental conditions" (RECs) as the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, ground water, or surface water of the property, even under conditions in compliance with (environmental) laws. The term is not intended to include *de minimis* conditions that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action, if brought to the attention of appropriate governmental agencies. Conditions determined to be *de minimis* are not RECs.

The scope of Practice E 1527-2005 does not include any testing or sampling of materials (i.e., soil, water, air, or building materials). However, the DCA Phase I ESA standard requires additional elements, which exceed the ASTM requirements (referred to as "non-scope" items), namely wetlands, state waters, floodways/floodplains, additional public/historic records review,

noise, water leaks/mold/fungi/microbial growth, radon, ACMs, LBP, lead in drinking water, and per DCA guidelines polychlorinated biphenyls (PCBs). Other hazards considered for the DCA ESA report include the presence of existing septic tanks or water wells on the subject property. These additional requirements are addressed in the body of this report with sampling as described in the appropriate sections.

GEC's methodology for performing environmental evaluations consists of two phases. Phase I involves four components: a records review, site reconnaissance, interviews, and the report of findings. Phase II consists of drilling operations, soil and groundwater sampling, and laboratory analysis of samples as appropriate, based on the results of the Phase I ESA or in response to the special needs of the client. The site reconnaissance included the subject property's grounds and perimeter and observance of adjacent properties from the subject site.

GEC performed each of the four components of the ASTM E 1527 Phase I ESA in accordance with Sections 6.0 through 11.0 of the Practice. The objective of the records review, site reconnaissance, and interviews is to obtain information used to identify recognized environmental conditions in connection with the property. This report generally follows the recommended ASTM format with the additional consideration given to asbestos, LBP, lead in drinking water, radon, wetlands, and polychlorinated biphenyls (PCBs), as required by the Georgia Department of Community Affairs.

2.3 Significant Assumptions

No significant assumptions were made or required while conducting this DCA Phase I ESA.

2.4 Qualifications of Personnel/Documentation of Qualifications as an EP

Chip Brooks, P.E. is a **Project Engineer** with the Macon office. Chip graduated from Mercer University with a Bachelor of Science degree in Environmental Engineering. Chip has six years experience in the environmental field, providing project management and environmental consulting services for projects ranging from corrective action plans for leaking underground storage tank (LUST) sites to tank closures to phase I and phase II environmental site assessments. This includes, but is not limited to conducting Type II and Type III monitoring well installation, soil and groundwater sampling, slug testing, elevation surveying, planning and coordinating underground injection of Bioremediation and HVE events, and other field activities. Chip has also conducted groundwater modeling in order to determine plume migration patterns and alternate remedial goals. Also, Chip has instituted, updated and review Spill Prevention Control and Countermeasures (SPCC) Plans and Stormwater Pollution Plans (SWPP). Other environmental work includes consulting services for various landfill projects, including groundwater monitoring and reporting, statistical analysis, and groundwater corrective action plans and methane remediation plans. Chip also has served as project manager for various geotechnical projects, as well. Chip is a registered Professional Engineer in Georgia.

Mary A. Brooks, is a **Senior Environmental Specialist** for the Macon office. Mary graduated from the University of Florida with a bachelor's degree in Resource Conservation in 1990. Mary has twenty years of experience in the consulting field. Her experience includes wetland evaluations and ecological assessments including Threatened and Endangered Species Surveys. She has performed numerous Phase I and Phase II Environmental Site Assessments. As a certified asbestos and lead-based paint inspector, Mary has inspected several buildings for asbestos and lead-based paint. She has monitored the removal and performed sampling of under

ground storage tanks. She has sampled groundwater-monitoring wells as well as tested injection wells on Superfund sites, and monitored surface water, ground water and soils for wastewater spray application projects. Currently Mary is a member of the American Water Resources Association, the Society of Wetland Scientists, Bleckley County Chamber of Commerce Board, and the 2008 chairperson of the Macon Bibb County Economic and Development Authority Safety and Environmental Committee.

Tameka Gordon is an **Environmental Specialist** with the Macon office. Tameka has thirteen years experience and related education in general business, research, and writing techniques. For the past seven years she has worked directly in the environmental field, providing project management and environmental consulting services. Her environmental field experience has included Phase I environmental site assessments, Georgia Department of Community Affairs (DCA) and Housing and Urban Development guided environmental assessments, and field sampling. She has performed a number of Georgia Board of Education school site assessments and hazard assessments utilizing the ALOHA (Areal Locations of Hazardous Atmospheres) computer program designed especially for the use by people responding to chemical releases, as well as for emergency planning and training. Tameka has performed numerous Board of Regent's GEPA (Georgia Environmental Policy Act) / NEPA (National Environmental Policy Act) site assessments for University and College projects in surrounding counties. Tameka is a member of the Women in Affordable Housing Network and Macon's Young Professional Network. She serves on the board for Leadership Macon with the Macon-Bibb County Chamber of Commerce.

2.5 Assessment of Specialized Knowledge or Experience of User &/or EP

GEC was not provided any specialized knowledge or experience related to recognized environmental conditions in connection with the subject site.

2.6 Limitations & Exceptions

This report is intended for the use of MACO Construction; Creekview Commons, L.P.; and their representatives and/or assigns for their use in evaluating the environmental liability associated with the subject property. Additionally, the Georgia Department of Community Affairs (DCA) and the Georgia Housing and Finance Authority (GHFA) may rely on this report. GEC is not affiliated with Mr. Jason Maddox; MACO Construction, Creekview Commons, L.P.; or the current seller of the subject property.

GEC is not responsible for opinions, conclusions, or recommendations made by others based on the findings in this report. This report and its findings shall not, in whole or in part, be disseminated to any other party, or used by any other party without prior written consent by Geotechnical & Environmental Consultants, Inc. The conclusions of this Phase I Environmental Site Assessment are based on conditions as observed on our site visit and on historical information about the site. Information contained in this report was obtained by means of document review, interviews, and on-site observations. Since no assessment can absolutely deny the existence of hazardous materials, especially surficial environmental assessments with limited or no subsurface sampling, existing hazardous materials can escape detection using the customary methods. Future changes in environmental conditions and site characteristics may occur with the passage of time, in which case, the conclusions of this report may have to be reevaluated.

2.7 Special or Additional Conditions or Contract Terms

There are no special terms and conditions aside from those detailed in the professional services agreement, included with GEC proposal ME-12-5134, under which this scope of work was authorized.

3.0 SITE SETTING

3.1 General Description of the Site & Vicinity

The proposed Creekview Commons apartment site, approximately 17.65 acres in size, is located near the northwest intersection of Magnolia Street and Martin Luther King, Jr. Boulevard. The subject property is situated south of Brookdale Drive; west of Magnolia Street; northwest of Martin Luther King, Jr. Boulevard; and east of Westside Drive in the City of Americus, Georgia. GEC observed that the subject site is currently undeveloped wooded/overgrown land. The site vicinity currently consists of residential, commercial, and undeveloped wooded properties. GEC observed residential and undeveloped wooded land bordering the subject site to the north. Magnolia Street borders the subject site to the east with commercial properties beyond. Undeveloped wooded land was observed bordering the subject site to the south. Residential properties border the subject site to the west. A site map and a site plan are included in Appendix A as Figures 5 and 6, and U.S.G.S. topographic map is presented in Appendix A as Figure 1.

3.1.1 Current Site Use & Description

During our reconnaissance of the subject property on May 23, 2012, GEC observed that the subject site is currently an undeveloped wooded/overgrown tract of land. Miscellaneous debris (wood building materials, scrap metal, surplus concrete, household trash) was observed in the southeastern portion of the subject site. The observed debris piles did not appear to contain the presence or likely presence of any hazardous substances or petroleum products that would indicate an existing release, a past release, or material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater, or surface water on the subject site. Therefore, testing in these areas was not deemed necessary. All debris on site should be properly identified and properly disposed in accordance with all local, state, and federal laws. The zoning for the subject site is R-2 (Residential) and city water and sewer is available to serve the subject site.

3.1.2 Current Uses of Adjoining Properties

The site vicinity consists of residential, commercial, and undeveloped wooded properties. During our reconnaissance of the surrounding area on May 23, 2012, GEC observed residential and undeveloped wooded land bordering the subject site to the north. Magnolia Street borders the subject site to the east with commercial properties beyond. Undeveloped wooded land was observed bordering the subject site to the south. Residential properties border the subject site to the west.

3.1.3 Description of Structures, Roads, & Other Improvements

The subject property is an undeveloped tract of land with a single, abandoned barn located in the

eastern portion of the subject site. A sanitary sewer easement was also observed traversing from west to east across the southern portion of the subject property. No other structures or other improvements are located on the subject property. The adjacent improved roadways consist of Magnolia Street, which provides access to the subject property from the east, and Martin Luther King, Jr. Boulevard, which is south of the subject site, and Westside Drive dead ends just prior to reaching the western boundary of the subject site. According to various sources, municipal water and sewer are available to serve the subject site.

3.2 Hydrogeology

3.2.1 Geologic Setting

The site is located in the Coastal Plain Physiographic Province of Georgia. Soils in the Coastal Plain are the result of deposition of sediments in a former marine environment. Coastal Plain sedimentary deposits make up about 60 percent of Georgia's surface area, and consist of a southwardly thickening wedge of sediments, which are bordered on the north by the parent rocks of the Piedmont Physiographic Province. The border between these provinces is known as the "Fall-Line." The Coastal Plain sediments range in age from the Cretaceous to the recent, with the oldest exposed along the "Fall-Line" and the youngest along the coast. Typically, the surface soils consist of complexly interbedded sands, silts, and clays of various mixtures. Sandstones, shales, and limestones comprise the characteristic lithology of the Coastal Plain. These formations are usually found at depths greater than fifty feet, but can also be found at or near the ground surface. They are not known to occur near the surface in the site area. Topography in this region of the Coastal Plain is generally flat to gently rolling.

Site specific hydrogeologic information was not available for this assessment, and, based on the U.S.G.S. Topographic Quadrangle Map and observations made in the field, GEC anticipates that the overall direction of shallow groundwater movement at the subject property (assuming the flow mimics topography) would be expected to be generally to the south-southeast. The down slope of the on-site surface drainage features currently appears to be to the south toward Muckalee Creek, which is located southwest of the subject property. The approximate direction of surface drainage flow at the subject property (assuming the flow mimics topography) would be expected to flow toward Muckalee Creek that flows from northwest to southeast near the southwestern property boundary; therefore, general groundwater flow should be to the south. The general flow direction of the Muckalee Creek would be to the southeast; therefore, if groundwater was to mimic this flow, the groundwater flow direction at the subject site should generally be to the southeast.

3.2.2 Surface Drainage

Based on our review of the U.S.G.S. Topographic Map (Figure 5, Appendix A) and observations made during the site reconnaissance, the surface drainage currently appears to be to the south toward Muckalee Creek, which is located southwest of the subject property.

3.2.3 Groundwater

Site specific hydrogeologic information was not available for this assessment, but based on the general assumption that groundwater flow direction in the upper most aquifer mimics surface water flow, the anticipated groundwater flow direction at this site appears to be generally south

toward Muckalee Creek, which is located southwest of the subject property.

3.3 Wetlands

GEC reviewed the U.S. Department of the Interior Fish and Wildlife Division National Wetlands Inventory (NWI) Map. The National Wetlands Inventory (NWI) map is a tool used to investigate if wetlands are on a specific property. Wetlands on these maps are usually indicated from the review of aerial photographs, U.S.G.S. Topographic maps, and soils maps. Wetlands are not necessarily field delineated for inclusion on the NWI Map. According to the map, no wetland areas were identified on the subject property. As part of a wetland evaluation in 2011, GEC delineated 33.73 acres of wetlands and 325 linear feet of intermittent stream on adjacent properties hydrologically connected to Muckalee Creek, southwest of the subject property. Of the previously delineated area, approximately 0.0134 acres of wetlands remain on the Creekview Commons property adjacent to the existing 'dirt' road crossing. A copy of the NWI Map is presented as Figure 2, Appendix A.

3.4 Flood Plain/Floodway

GEC went to the Federal Emergency Management Agency (FEMA) Map Service Center (MSC) Flood Map Store website at www.msc.fema.gov/ to review a flood map for the subject site. GEC reviewed a copy of the FEMA Flood Insurance Rate Map (FIRM) for City of Americus, Georgia. The subject property is found on Community Panel 153 (13261C0153C), dated September 11, 2009. According to the FIRM map, the subject property is located in Zone X-white, which is defined as area determined to be outside the 100-year and 500-year flood plain. GEC, therefore, does not anticipate that a flooding hazard will deter the development of the proposed Creekview Commons development. A copy of the FIRM is presented as Figure 4, Appendix A.

3.5 State Waters

As part of a wetland evaluation in 2011, GEC delineated 33.73 acres of wetlands and 325 linear feet of intermittent stream on adjacent properties hydrologically connected to Muckalee Creek, southwest of the subject property. Of the previously delineated area, approximately 0.0134 acres of wetlands remain on the Creekview Commons property adjacent to the existing 'dirt' road crossing. The wetland area located on the subject property is considered waters of the state.

3.6 Endangered Species

According to the U.S. Fish and Wildlife Service (USFWS), listed species for Sumter County include (www.georgiawildlife.org/node/1370), 22 animal and 16 plant species. Although some habitats for the listed species may occur on the subject property, none of the species were observed during the site reconnaissance; therefore, the USFWS was not contacted regarding the subject property. GEC does not anticipate that the protected species and critical habitat issues will factor into a project for this area. Refer to Appendix P for the list of federal and state species.

4.0 REGULATORY INFORMATION

4.1 Data Review

GEC contracted with Environmental Data Resources, Inc. (EDR) to conduct a site specific radius search and examination of reasonably ascertainable Federal, State, and Local regulatory files concerning the site and nearby sites which have been targeted for clean-up or investigation, sites and facilities against which complaints have been filed, or sites on which generators of hazardous waste or regulated substances are located. The EDR Report is dated May 3, 2012. The EDR search meets the requirements of the ASTM E 1527-05 standard. The following lists were included in the records review: (FEDERAL) **NPL, Proposed NPL, Delisted NPL, NPL RECOVERY, CERCLIS, CERC-NFRAP, CORRACTS, RCRA-TSD, RCRA-LQG, RCRA-SQG, ERNS, HMIRS, US ENGINEERING CONTROLS, US INSTITUTIONAL CONTROLS, DOD, FUDS, US BROWNFIELDS, CONSENT, ROD, UMTRA, ODI, TRIS, TSCA, FTTS, SSTS, ICIS, RADINFO, CDL, LUCIS, PADS, MLTS, MINES, FINDS, RAATS, (STATE) SHWS (includes HSI, the state CERCLIS equivalent), Non-HSI, STATE LANDFILL, HISTORIC LANDFILL, LUST, UST, GA SPILLS, INSTITUTIONAL CONTROL, DRYCLEANERS, BROWNFIELDS, AIRS, and TIER 2.** The EDR Report also includes **TRIBAL RECORDS: INDIAN RESERVATIONS, INDIAN LUST, and INDIAN UST** and an EDR proprietary database record on **MANUFACTURED GAS PLANTS** (see attached EDR report in Appendix IV for the list of databases, their currency, their definitions, and sources for these records). The radii used in the search for each of the above records are indicated on Page 4 in the EDR Environmental Database Report, and they were specifically designed by EDR to meet the search requirements of the U.S. EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-05). Neither a State Engineering Controls database nor state or tribal voluntary cleanups databases are available in Georgia.

GEC assessed the listed sites for potential environmental impacts to the subject property using the following criteria: (1) relative distance between the subject property and the regulated site, (2) topographic features and proximity of the subject property to the regulated site; GEC follows the generally accepted premise that shallow groundwater flow direction can be reasonably expected to mimic surface topography, and (3) common inferences about the nature and relevance of the regulatory listing with regard to the subject property.

4.1.1 Standard Environmental Record Sources

4.1.1.1 Sites listed in Section 8.2.1 of ASTM E 1527-05 & in Exhibit B1

The Environmental Data Resources, Inc. (EDR) Report has changed since the previous report dated April 27, 2011 that GEC used in the previous Phase I ESA on this subject property. Neither report identified the subject property on any Federal, State, or Local databases. The new 2012 EDR report identified one CERC-NFRAP database site (not listed in the 2011 report), two SHWS database sites (one more than the 2011 report), five LUST database sites (one more than the 2011 report), five UST database sites (two more than the 2011 report), two AST database sites (not listed in the 2011 report), three RCRA-NonGen database sites, and one Manufactured Gas Plants database site within the ASTM E 1527 prescribed search radii of the subject property.

GEC assessed the listed sites for potential environmental impacts to the subject property using

the following criteria: (1) relative distance between the subject property and the regulated site, (2) topographic features and proximity of the subject property to the regulated site; GEC follows the generally accepted premise that shallow groundwater flow direction can be reasonably expected to mimic surface topography, and (3) common inferences about the nature and relevance of the regulatory listing with regard to the subject property.

GA Forestry Commission (FC)/Americus District Office is mislocated in the EDR Report (it not being in the subject site's vicinity). Review of the tax records on Sumter County's tax assessor's website indicates GA Forestry Commission is actually located approximately 1.5 miles north of the subject property, not 0.195 mile east-southeast of the subject site. Based on the assumption that groundwater flow direction usually mimics surface topography, the groundwater flow direction at this facility should generally be to the west toward Lake Collins, north of the subject site. GA Forestry Commission appears on the EDR report data list as a LUST/UST. GA Forestry Commission is also listed as a closed facility. Both the EDR report and the Georgia Environmental Protection Division website indicate that two releases were reported at the listed site with No Further Actions (NFAs) issued in regard to both releases. Both sources indicate that two tanks have been removed from the ground, one on March 29, 1993 and another on February 19, 2009. GA Forestry Commission is registered under the Georgia UST Program. Due to the distance between the subject property and the UST site (approximately 1.5 miles north of the subject property), and the topographic features of the vicinity, a petroleum release from GA Forestry Commission would not likely reach the subsurface of the subject property. If a release was to occur, no significant environmental threat to the subject property would be expected, due to the relative distance between the two sites. Additionally, the fact that the subject property has no history of petroleum use, and the listed facility is registered with Georgia UST (GUST) Trust Fund, would indicate any liability from any release from GA Forestry Commission should remain with the respective owners/operators and the site should not be an environmental threat. No visual evidence of recognized environmental conditions was observed at the subject property during GEC's site visit.

Westside BP is mislocated in the EDR Report (it not being in the subject site's vicinity). Westside BP was found to be located approximately six miles south of the subject property, not 0.11 miles east of the subject site. Westside BP appears on the EDR report data list as a UST/LUST. Both the EDR Report and the Georgia Environmental Protection Division website indicated that one release was reported at the listed site with a NFA issued in regard to the release. Westside BP is registered under the Georgia UST Program. Due to the distance between the subject property and the regulated site (approximately six miles south of the subject property) and topographic features, a petroleum release from Westside BP would not likely reach the subsurface of the subject property. If a release was to occur, no significant environmental threat to the subject property would be expected, due to the relative distance between the two sites. Additionally, the fact that the subject property has no history of petroleum use, and the listed facility is registered with Georgia UST (GUST) Trust Fund, would indicate any liability from any release from Westside BP should remain with the respective owners/operators and the site should not be an environmental threat. No visual evidence of recognized environmental conditions were observed at the subject property during GEC's site visit.

GEC observed Sojo gas station, formerly Meadowbrook Shell, during the site reconnaissance. Sojo gas station, EDR site #5, is listed on the UST database southeast of the subject property across US Highway 19 and within ¼-mile of the subject site. GEC reviewed information about the listed facility at the Georgia EPD website. According to the reviewed information, the tanks

currently in use at this facility include two 6,000-gallon gasoline tanks that were installed in 1956 and one 6,000-gallon gasoline tank that was installed in 1966. The facility also has one 6,000-gallon gasoline tank that is currently out of use. The tanks are currently steel-impregnated with fiberglass reinforced plastic pipes. Overfill protection was installed at the facility on February 18, 1997. GEC contacted Ms. June Li with Georgia EPD by telephone on October 25, 2011 and was informed that routine inspections have been performed at the listed site and no releases have been reported. Financial responsibility at Sojo gas station is under the GUST Trust Fund. Therefore, Sojo gas station is judged to not present a potential environmental and/or financial concern to the subject site. The presumed groundwater flow direction at the listed site appears to be southeastward toward Town Creek which eventually empties into Muckalee Creek. Due to topographic features and position of the subject property to the regulated site, an incident from the listed site would not likely reach the subsurface of the subject property. Based on the assumption that groundwater flow direction usually mimics surface topography, the groundwater flow direction at this facility should generally be to the southeast away from the subject site.

Calhoun Oil Company, EDR Site #C7, is located at 1011 MLK, Jr. Blvd and is also PURE gasoline station a.k.a. MTD #5 Pepos Foodmart #2. GEC reviewed GA EPD's website, reviewed files at GA EPD's office in May 2012, and found that PURE (MTD #5 Pepos Foodmart #2), Facility ID #1290083, was listed on the LUST/UST database. PURE had four tanks closed (three gasoline UST's on or after August 31, 1995 and one used oil UST in 1984) and has three tanks (one 12,000-gallon diesel; one 8,000-gallon gasoline; and one 4,000-gallon gasoline) currently in use. A confirmed release was reported and a no further action (NFA) was issued on October 29, 1994. Financial responsibility at PURE is under the GUST Trust Fund. Field observations during the site reconnaissance revealed that this site is at significantly lower gradients than the subject property with groundwater flow moving away from the proposed developed portion of the subject property to the south-southeast, based on site topography. Due to site topography and the cited hydrologic conditions and facility status, GEC is of the opinion that this site does not present a potential environmental and/or financial concern to the subject site.

The 2011 EDR Report also identified Danfair Express gasoline station a.k.a. DJ's at 1101 MLK, Jr. Blvd. The only listings for Danfair Express in the 2012 EDR Report were on the orphan summary at 127 Highway 27 East and CRN Vienna Highway & Knollwood Drive. However, during GEC's off-site reconnaissance, GEC observed Danfair Express gasoline station a.k.a. DJ's located at 1101 MLK, Jr. Blvd. Information at GA EPD's website indicated that Danfair Express a.k.a. DJ's, Facility ID #9129053, is only listed on the UST database and not the LUST database; therefore, there were no files to review. Danfair has four gasoline tanks (three 6,000-gallons and one 2,000-gallon) currently in use. No releases have been reported at this facility. Financial responsibility at Danfair is under the GUST Trust Fund. Field observations during the site reconnaissance revealed that this site is at significantly lower gradients than the subject property with groundwater flow moving away from the proposed developed portion of the subject property to the south-southeast, based on site topography. Due to site topography and the cited hydrologic conditions and facility status, GEC is of the opinion that this site does not present a potential environmental and/or financial concern to the subject site.

Quik Stop Food Mart, EDR Site #D8, located at Highway 19 North and Georgia 40 and HB Arnold, Inc., EDR Site #D9, were not observed to be within the subject site's vicinity and are not located within the ASTM search radii of the subject property. Therefore, these sites are judged to not to be a significant concern to the subject property. Furthermore, Quik Stop Food Mart, Facility ID 1290097,

is a closed facility with five tanks removed from the ground, and HB Arnold, Inc., Facility ID 1290021, is a closed facility with three tanks removed from the ground.

Based on the relative distance between the subject property and the remaining regulated sites, topographic features, facility status, and/or hydrologic conditions, GEC is of the opinion that these facilities are not RECs to the subject property.

All of the listed database facilities in the EDR report are registered with or under review by regulatory agencies, and liability for such a release, if or when it occurs, should remain with the respective site owners.

4.1.1.2 Orphan/Unmappable Sites

GEC reviewed the 26 "orphan summary" sites, which were not mapped due to poor or inadequate address information, in the EDR Report. GEC reviewed the listed sites and found that Phillips 66 Service Station located at 1012 State Highway 49 (1012 Crawford Street) is not located within the ASTM search radii of the subject property. Therefore, is judged not to be a significant concern to the subject property. Furthermore, Phillips 66, Facility ID #1290089 and #1290090, is a closed facility with four tanks permanently out of use. Based on site topography, distance, and the area hydrologic conditions, GEC is of the opinion that these sites do not present a potential environmental and/or financial concern to the subject site. None of the other listed orphan sites appeared to be located within the ASTM search radii of the subject property.

4.1.2 Additional Environmental Record Sources

4.1.2.1 Local Brownfield Lists

GEC is not aware of any local Brownfield lists. The Georgia Environmental Protection Division (EPD) maintains the only known database for the state, which is provided by EDR's report and in Appendix G.

4.1.2.2 Local Lists of Landfill/Solid Waste Disposal Sites

GEC is not aware of any local lists of Landfill/Solid Waste Disposal sites, other than the database maintained by the Georgia EPD, which is provided by EDR's report in Appendix G.

4.1.2.3 Local Lists of Hazardous Waste/Contaminated Sites

GEC is not aware of any local lists of Hazardous Waste/Contaminated sites, other than the database maintained by the Georgia EPD, which is provided by EDR's report in Appendix G.

4.1.2.4 Local Lists of Registered Storage Tanks

GEC is not aware of any local lists of Registered Storage Tanks, other than the database maintained by the Georgia EPD, which is provided by EDR's report in Appendix G.

4.1.2.5 Local Land Records (AULs)

GEC contracted Mr. Frank May, a professional title researcher, for the purpose of researching

and establishing a chain of ownership for environmental purposes for the subject property. Mr. May found no activity or use limitations (AULs) filed in the deed records, relating to conditions involving the subject site.

4.1.2.6 Records of Emergency Release Reports

The EDR Report did not identify the subject property or any adjacent properties on the Georgia Spills databases (see page 4 & 5 of the EDR Report), and GEC is not aware of any Records of Emergency Release Reports, other than the database maintained by the Georgia EPD, which is provided by EDR's report in Appendix G.

4.1.2.7 Records of Contaminated Public Wells

GEC reviewed the local/regional water agency records information provided on Pages A-5 through A-31 of the EDR Environmental Database Report (see Appendix G). The EDR Local/Regional Water Agency Records provide water well information to assist the environmental professional in assessing sources that may impact groundwater flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells. The EDR report identified one Federal Reporting Data System (FRDS) public water supply well located ½-mile to 1-mile south-southeast of the subject site. The one Federal Reporting Data System (FRDS) public water supply well found in close proximity to the subject site had violations for CCR Complete Failure to Report (7000) and Lead in Copper Rule. Such incidents are found in agricultural settings and should not represent any risk to the subject site. Due to the relative distance the well is from the subject property and presumed groundwater flow direction at the well; GEC is of the opinion that this well would not be of environmental concern to the subject property. Furthermore, the most current version of the annual water quality report indicated that the City of Americus's water supply was in full compliance with all drinking water regulations set forth by EPA and EPD.

Previous conversations with personnel from the Georgia Drinking Water Program indicate that these types of violations are routine and are typically resolved by completing the normal sampling in accordance with their EPD permit protocols. No other Federal F.R.D.S. wells or federal or state U.S.G.S. wells were found on or near the subject property. The EDR report did not indicate any wells on the subject site, and did not indicate records of any groundwater use permits for the subject site.

4.1.2.8 Planning Department Records

GEC's client provided zoning information to GEC that indicated that zoning for the subject property is R-2 (Residential). The received letters indicated that the noted district will allow for the 50 units duplex proposed in the Creekview Commons apartment complex. A copy of the zoning letter is included in Appendix H.

4.1.2.9 Local/Regional Pollution Control Agency Records

GEC is not aware of any local Pollution Control Agency records, other than the state/local databases maintained by the Georgia EPD, which is provided by EDR's report in Appendix G.

4.1.2.10 Local/Regional Water Quality Agency Records

GEC obtained a copy of the 2010 City of Americus Annual Water Quality Report (AWQR), their most current version of the AWQR, which indicated that City of Americus' water supply was in full compliance with all drinking water regulations set forth by EPA and EPD. A copy of the AWQR, verifying this information, is included in Appendix O.

GEC also reviewed the state/local databases maintained by the Georgia EPD, which is provided by EDR's report and discussed in Section 4.1.2.7.

4.1.2.11 Local Electric Utility Companies (PCBs)

No suspected PCB-containing equipment was observed on the subject property during GEC's site reconnaissance on April 24, 2012.

GEC received a letter from Ms. Judy Dunham with Georgia Power, the electrical utility provider for the proposed Creekview Commons development. Georgia Power indicated that they have available and will supply electric serve to the subject property. A copy of the power letter is presented in Appendix H.

4.1.2.12 Other

GEC contracted with EDR to conduct a site specific radius search and examination of reasonably ascertainable Federal, State, and Local regulatory files concerning the site and nearby sites which have been targeted for clean-up or investigation, sites and facilities against which complaints have been filed, or sites on which generators of hazardous waste or regulated substances are located. The additional environmental record sources (Section 8.2.2 of the ASTM E 1527-05 standard) are included in the "Additional Environmental Records" section of the EDR Report (see page 3 of the EDR Report in Appendix G). These additional environmental record sources include local Brownfields, local landfill/solid waste disposal sites, local hazardous waste/contaminated sites, local registered storage tanks, local land records for activity and use limitations (AULs), emergency release reports (Georgia spills), and contaminated public wells. No additional environmental record sources were sought nor deemed necessary.

4.2 Agency Contacts/Records

GEC contacted or attempted to contact the following local agencies for information pertaining to the subject site and the immediate vicinity.

4.2.1 Local Fire Department Official

GEC faxed an information questionnaire to Fire Chief Allen Erkhart with the City of Americus Fire Department on May 23, 2012. GEC did not receive a response from Chief Erkhart. A telephone interview was conducted with Ms. Harriet Williams with the City of Americus Fire Department on June 4, 2012. Ms. Williams indicated that the department has no record of environmentally related fires, hazardous materials responses, or additional known environmental concerns at the subject property. She noted that the department is not aware of any storage tanks (above or underground) currently or formerly located on the subject property. A copy of the telephone interview is presented in Appendix H.

4.2.2 State, Local, or Regional Health or Environmental Agency

GEC faxed an information questionnaire to Ms. Kathy Mitcham, Lead Environmentalist of the Sumter County Environmental Health Department on May 23, 2012. GEC received a response from Ms. Jane Arnold with the department on May 29, 2012. Ms. Arnold indicated that the department had no record of environmental/health responses or other known environmental concerns at the subject property. She noted that she did not know which utilities were available to serve the subject site, but thought it would be city water and sewer. A copy of the information questionnaire is presented in Appendix H.

4.2.3 Local Building Permit Agency Official

See above in Section 4.1.2.8.

4.2.4 Local Groundwater Use Permit Agency Official

GEC is not aware of any local Groundwater Use Permit Agency, other than those existed in the state/local databases maintained by the Georgia EPD, which is provided by EDR.

See above in Section 4.1.2.7.

4.3 Interviews

4.3.1 Current Key Site Manager, Occupants, or Owners of Property

GEC received a completed DCA version of the ASTM Questionnaire from Mr. Jason Maddox, client representative, on June 5, 2012. Mr. Maddox noted that he was not aware of any deed restrictions, engineering or institutional controls, or other activity and use limitations for the property. Mr. Maddox indicated he was not aware of any specialized knowledge or experiences that are material to any potential recognized environmental conditions. He is not aware of any commonly known or reasonably ascertainable information within the local community that is material to any potential recognized environmental conditions in connection with the property. Mr. Maddox does not have in his possession or control title records for the property, and he is not aware of any environmental liens. Mr. Maddox noted that the reason for having the Phase I performed was to support a tax credit assessment of the property. A copy of the completed DCA version of the ASTM Questionnaire is provided in Appendix H.

GEC received a completed owner environmental questionnaire from Mr. Paul Johnson, property owner, on June 6, 2012. Mr. Johnson indicated that neither his property nor any adjoining properties are currently used for industrial and/or manufacturing purposes. Mr. Johnson noted that no plastic or metal drums, stained soil or stressed vegetation, fill dirt, storage tanks (above or underground), or vent pipes have ever been brought onto the site. He indicated that no tanks had been removed from the subject site. Mr. Johnson also stated that the subject property had not ever been evaluated, investigated, notified, held responsible for, or otherwise involved with any contamination, clean-up, environmental law, or health and safety law, regulation or violation.

Mr. Johnson stated that the subject property is not located in the 100-year floodplain and stated that the site does not have the potential to be affected by any of the following: coastal areas protection and management, runway clear zones and accidental potential zones, endangered species, farmland

protection, wetlands designated lands, thermal and explosive hazards, toxic chemicals and radioactive materials, and solid waste management. He also indicated that the subject property is not located within 1,000 feet of a major road/highway/freeway, within 3,000 feet of a railroad, 5 miles of a private/commercial airport, or 15 miles of a military airport. A copy of the completed owner environmental questionnaire is presented in Appendix J.

4.3.2 Current Owners or Occupants of Neighboring Properties

Since the subject property is not abandoned, no current owners or occupants of neighboring properties were interviewed and none were available. The lack of interviews with the neighboring properties is not considered to be a significant data gap, since significant information outside that available from other interviews and the public record is not expected.

4.3.3 Past Owners, Occupants, or Operators of the Property

Since sufficient information was available from the current interviews and public records, no past owners, occupants, or operators of the property were interviewed. In addition, the User did not indicate or provide GEC with any previous owners, occupants, or operators of the property. The lack of interviews with the past owners, occupants, or operators is not considered to be a significant data gap, since significant information outside that available from other interviews and the public record is not expected.

4.3.4 User(s)

The User Responsibility information obtained from the User(s) of this report or from other sources is detailed in the following text. The primary User (Creekview Commons, L.P.) contracted with GEC to provide the information, except where specifically requiring a User response to information needs. The users were identified as Creekview Commons, L.P.; MACO Construction; and Mr. Jason Maddox is the designated representative to whom GEC has access, and he provided the User information received on behalf of all parties.

4.3.4.1 Title Records

Property ownership history sometimes provides an indication of a potential environmental problem at a site. The ownership and deeds reviewed may not include all of the previous owners or occupants that may have or have had an interest in the subject property. The subject site, which is approximately 17.65 acres in size, is located near the northwest intersection of Magnolia Street and Martin Luther King, Jr. Boulevard in the City of Americus, Sumter County, Georgia. The subject property, which is situated within Land Lot 154 of the 27th Land District of Sumter County, Georgia, consists of undeveloped wooded land. The subject property appears on the Sumter County Tax Map as parcel #27-1-3.

GEC contracted Mr. Frank May, a professional title researcher, for the purpose of researching and establishing a chain of ownership for environmental purposes for the subject property. Mr. May provided the chain of ownership information for GEC's review on June 6, 2011. Mr. May's review of the subject property's chain of title information indicated that the subject property was an assemblage of properties made by J.H. Shumake in the late 1930's and early 1940's. The property remained in the Shumake family until sold to (Paul) Howard Johnson in the late 1990's and remains in the Johnson family today.

Mr. May found no environmental liens, activity or use limitations, or engineering controls filed in the deed records, relating to conditions involving the subject site. The review of the deed records and the history of ownership did not indicate previous ownership site activities that would be expected to have created environmental concerns on the subject property (see Section 5.5.1).

Copies of the site's property record card, tax map, deeds, and plat map, are presented in Appendix D.

4.3.4.2 Environmental Liens

The property records reviewed by GEC did not indicate any environmental liens or any activity or use limitations, and the Users and/or local public agency contacts reported none.

4.3.4.3 Specialized Knowledge of the User

GEC was not provided any specialized knowledge or experience related to recognized environmental conditions in connection with the subject site.

4.3.4.4 Commonly Known/Reasonably Ascertainable Information

GEC was not provided any common knowledge or other information demonstrating recognized environmental conditions in connection with the subject site.

4.3.4.5 Reason for Performing the Phase I

GEC was asked to perform a DCA Phase I ESA (as part of the proposed submittal for tax credits for development of the property) in accordance with the ASTM-E 1527-2005 standard to qualify for the innocent landowner defense to CERCLA liability and to identify RECs that could impact the property's financial liability.

4.3.4.6 Relationship of Purchase Price to Fair Market Value

The User indicated that there was no property valuation reduction due to environmental issues. The User is purchasing the subject property and applying for tax credits to fund site development. No environmental issues were identified while conducting this Phase I ESA, which would adversely affect the property valuation.

4.3.4.6.1 Purchase Price

The User indicated that the purchase price is the same as the fair market value. No environmental issues were identified while conducting this Phase I ESA that would adversely affect the property valuation.

4.3.4.6.2 Differential between Purchase Price & Market Value

The User indicated that the purchase price is the same as the fair market value.

4.3.4.6.3 Reasons for any Differential

There is no known devaluation of the property for environmental reasons.

5.0 SITE INFORMATION AND USE

5.1 Site Reconnaissance Methodology & Limiting Conditions

GEC's methodology for performing the ESA was in accordance with ASTM E 1527-05. No significant limiting conditions were encountered during the site reconnaissance performed on May 23, 2012.

5.2 General Site Setting

The subject site, which is approximately 17.65 acres in size, is currently undeveloped wooded/overgrown land, located near the northwest intersection of Magnolia Street and Martin Luther King, Jr. Boulevard, in the City of Americus, Sumter County, Georgia. GEC's review of all of the readily available historical aerial photographs indicates that the subject property appears to have been rural residential and undeveloped agricultural/wooded land from, if not before, 1937 until 2009. The reviewed aerial photographs strongly suggest the subject property was undeveloped agricultural/wooded land with rural residences prior to the oldest available photograph taken in 1937.

GEC observed residential, commercial, and undeveloped wooded properties within the site vicinity.

5.3 Assessment of Commonly Known/Reasonably Ascertainable Information

GEC's assessment of all commonly known and reasonably ascertainable information about the proposed Creekview Commons property indicates there are no recognized environmental conditions associated with the subject site.

5.4 Current Site Use

The subject property is currently an undeveloped wooded/overgrown tract of land.

5.4.1 Storage Tanks

No storage tanks, or indicators of the existence of such tanks (pipes protruding from the ground, mounded earth, or concrete islands), were observed on the subject property during GEC's site reconnaissance.

5.4.2 Hazardous & Petroleum Products Containers/Drums

No containers/drums of hazardous or petroleum products were observed on the subject property during GEC's site reconnaissance.

5.4.3 Heating & Cooling

As no on-site structures presently exist on the subject site other than an old barn, heating and

cooling issues are not applicable to the subject property.

5.4.4 Solid Waste

No solid waste was observed on the subject property during GEC's site reconnaissance other than the miscellaneous debris (wood building materials, scrap metal, surplus concrete, household trash) observed in the southeastern portion of the subject site. The observed debris piles did not appear to contain the presence or likely presence of any hazardous substances or petroleum products that would indicate an existing release, a past release, or material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater, or surface water on the subject site. Therefore, testing in these areas was not deemed necessary. All debris on site should be properly identified and properly disposed in accordance with all local, state, and federal laws.

5.4.5 Sewage Disposal/Septic Tanks

According to various sources, municipal sewer is available to serve the subject site.

5.4.6 Hydraulic Equipment

No hydraulic equipment or potential hydraulic equipment was observed during GEC's site reconnaissance on May 23, 2012.

5.4.7 Contracted Maintenance Services

Due to the undeveloped nature of the subject property, contracted maintenance services are not applicable to the site.

5.4.8 Electrical Equipment/Polychlorinated Biphenyls (PCBs)

No suspected PCB-containing equipment was observed on the subject property during GEC's site reconnaissance on May 23, 2012.

GEC received a letter from Ms. Judy Dunham with Georgia Power, the electrical utility provider for the proposed Creekview Commons development. Georgia Power indicated that they have available and will supply electric serve to the subject property. A copy of the power letter is presented in Appendix H.

5.4.9 Water Supply & Wells

City water is available to serve the subject site (see documentation of verification of public water/sewer service to the subject property in Appendix H). The presence of water wells is not expected on the subject property, and none were observed.

5.4.10 Drains & Sumps

No drains or sumps were observed on the property during GEC's site reconnaissance.

5.4.11 Pits, Ponds, Lagoons, & Surface Waters

No pits, ponds, or lagoons used for industrial purposes, or surface waters were observed on the subject property during GEC's site reconnaissance.

5.4.12 Stressed Vegetation

No stressed vegetation was observed on the subject property during GEC's site reconnaissance.

5.4.13 Stained Soil or Pavement

Neither stained soil nor pavement was observed on the subject property during GEC's site reconnaissance.

5.4.14 Odors

No unusual odors were noted on the subject property during GEC's site reconnaissance.

5.4.15 Utilities/Roadway Easements

No utility or roadway easements appeared to traverse the subject property during GEC's site visit other than a sanitary sewer easement that was observed traversing from west to east across the southern portion of the subject property.

5.4.16 Chemical Use

No known significant use of chemicals has occurred on the site. Due to the undeveloped nature of the subject property, no chemical use is expected.

5.4.17 Water Leaks/Mold/Fungi/Microbial Growth

No on-site structures were observed on the subject property during the site reconnaissance; as a result, the presence of water leaks/mold is not applicable to the subject property.

5.4.18 Asbestos

During the site reconnaissance on May 23, 2012, the only on-site structure observed was a wooden, unpainted and un-insulated barn with a dirt floor; as a result, the presence of asbestos containing materials (ACMs) is not applicable to the subject property.

5.4.19 Lead-Based Paint

During the site reconnaissance, GEC observed a single wooden barn in the eastern portion of the subject property. Using historical aerial photographs, GEC observed previously existing on-site, structures that were built prior to 1978 and have been demolished. GEC conducted lead-in-soil sampling around the areas of the previous on-site structures during our previous assessment on May 16, 2011. Since the on-site structure (barn) is wood sided and free of paint, lead-based paint testing was not conducted.

Eight samples were taken on April 29, 2011 and May 16, 2011; sample B-1 was taken along the perimeter of the existing wooden barn located near a cleared access road approximately 100 feet east of the existing pond on the subject site. Sample B-2 was taken in the northeastern corner of the subject property in the location where a small building was observed in historical aerial photographs.

Sample B-3 and B-4 were taken along the eastern property boundary in areas where previous small buildings were observed on historical aerials. Samples House-1 A&B and House-1 C&D were obtained approximately 80 feet south of sample B-2 where a residential structure was previously located. Samples House-2 A&B and House-2 C&D were collected in the western portion of the subject property where the second on-site residence was previously located. Analytical results revealed that the levels of lead detected in the area surface soils (upper one-half inch) were lower than the Georgia Environmental Protection Division action level for lead (400 mg/kg lead).

5.4.20 Lead in Drinking Water

GEC obtained a copy of the 2010 City of Americus Annual Water Quality Report (AWQR), their most current version of the AWQR, which indicated that the City of Americus's water supply was in full compliance with all drinking water regulations set forth by EPA and EPD. A copy of the AWQR, verifying this information, is included in Appendix O.

GEC also reviewed the state/local databases maintained by the Georgia EPD, which is provided by EDR's report and discussed in Section 4.1.2.7.

5.4.21 Radon

GEC consulted EPA Publication 402-R-93-030: EPA's Map of Radon Zones for Georgia dated September 1993 to determine the EPA classification of the subject area for radon buildup. The U.S. EPA and the U.S. Geological Survey have evaluated the radon potential in the U.S. and have developed the map to assist National, State, and local organizations to target their resources and to assist building code officials in deciding whether radon-resistant features are applicable in new construction. This map should not be used to determine if a home in a given zone should be tested for radon. Homes with elevated levels of radon have been found in all three zones. The map assigns each of the 3,141 counties in the U.S. to one of three zones based on radon potential. Each zone designation reflects the expected average short-term radon measurement that can be measured in a building without the implementation of radon control methods. According to the map, Sumter County, Georgia, is listed in Zone 3, which means "low potential (<2 pCi/L (picocuries per liter of air))."

According to the radon information provided on page A-32 of the EDR Report presented in Appendix G, the nine sites tested in Sumter County were less than 4 pCi/L. The National Radon Database has been developed by the U.S. Environmental Protection Agency (EPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey.

In accordance with the Georgia DCA Environmental Manual, all new construction of buildings must be in accordance with current EPA requirements for radon resistant construction techniques, including, but not limited to, *Radon Resistant Construction techniques for New*

Residential Construction: Technical Guidance, February 1991, EPA 625-291-032 {available from NSCEP by calling (800) 490-9198}, and all new construction *Model Standards and Techniques for Control of Radon in New Residential Buildings*, March 1994, EPA402-R-94-009. Available on line at: <http://www.epa.gov/government/iaq/radon/pubs/newconst.html>, and the new buildings must be tested for radon upon completion of construction.

5.4.22 Noise

During GEC's site reconnaissance on May 23, 2012, GEC assessed noise levels at the subject site to determine if noise levels would exceed the HUD limitations for exterior and interior locations. By use of web-based, on-line data and mapping and in accordance with HUD guidance, GEC found two major roads, one civil airport, and two railways to be potential contributors to noise at the subject site. No other major roads were found within 1,000 feet, no other railways were found within 3,000 feet, no other civil airports were found within five miles, and no military airfields were found within 15 miles of the subject site.

U.S. Highway 19 / Martin Luther King Jr. Boulevard is situated approximately 100 feet south of the subject site. Georgia Highway 49 / W Forsyth Street / W Lamar Street is located at least 425 feet east of the subject site. Norfolk Southern Railroad is situated at least 1200 feet to the south, and the Heart of Georgia Railroad interchange is approximately 1300 feet south of the site. One civil airport, Jimmy Carter Regional/Southern Airfield, was found four miles northeast of the site; however, there are no jet operations per airport management. Completion of the Noise Assessment Guidelines (NAG) worksheets, using the Site DNL Calculator available on the HUD Website for roadway and railway calculations, indicates a Normally Unacceptable (per the NAG) exterior day night level (DNL) of 61.4 – 66.8 decibels as a result of these potential noise sources.

The relevant noise evaluations and other supporting documentation are presented in Appendix F. GEC found that the HUD noise limitations for exterior locations at the subject site would be exceeded by these listed sources, therefore, a noise mitigation plan is required to ensure 65 DNL exterior and 45 DNL interior noise levels, or below, in accordance with HUD noise guidelines (NAG). The relevant noise evaluations, noise mitigation plan, and other supporting documentation are attached.

5.4.23 Vapor Encroachment Screening

GEC also contracted with Environmental Data Resources, Inc. (EDR) to conduct a site specific radius search and examination of reasonably ascertainable Federal, State, and Local regulatory files concerning the site and nearby sites regarding vapor encroachment. The following lists were included, in the records review: **(FEDERAL) NPL, CERCLIS, RCRA-CORRACTS, RCRA-TSD, RCRA generators, and INSTITUTION CONTROLS / ENGINEERING CONTROLS, (STATE and TRIBAL) CERCLIS, LANDFILL / SOLID WASTE DISPOSAL, LUST, UST, INSTITUTION CONTROLS / ENGINEERING CONTROLS, VOLUNTARY CLEANUP, BROWNFIELDS, and OTHER STANDARD ENVIRONMENTAL RECORDS.** The report includes **HISTORICAL USE RECORDS: FORMER MANUFACTURED GAS PLANTS** (see attached EDR report in Appendix E for the list of databases, their currency, their definitions, and sources for these records). The radii used in the search for each of the above records are indicated on Page 3 in the EDR Environmental Database Report, and they were specifically designed by EDR to meet the search requirements of the ASTM Standard Guide for Vapor Encroachment Screening on Property

Involved in Real Estate Transactions (E 2600). Neither a State Engineering Controls database, nor state or tribal voluntary cleanups database is available in Georgia.

GEC's methodology for performing this vapor encroachment screening consisted of assessing all the information collected in the Phase I investigation, including information collected in site reconnaissance, interviews, and actual or probable chemical usage on the target property or nearby property.

Tier 1 of the ASTM E 2600-10 Standard Practice for Assessment of Vapor Encroachment Screening on Property Involved in Real Estate Transactions in accordance with Sections 8.1.3.1 through 8.1.3.9 of the Practice was performed during this assessment.

The Vapor Encroachment (VE) Screening Report identified two sites on the State and Tribal leaking storage tank and Other Standard and Environmental Records list within the ASTM E 2600 prescribed search radii of the subject property.

The reviewed listed sites (GA FC/Americus District Office and GA Department Public Safety/GA State Patrol) do not appear to present a potential concern for vapor encroachment to the subject property.

GA Forestry Commission (FC)/Americus District Office is mislocated in the EDR Report (it not being in the subject site's vicinity). Review of the tax records on Sumter County's tax assessor's website indicates GA Forestry Commission is actually located approximately 1.5 miles north of the subject property, not 0.195 mile east-southeast of the subject site. Based on the assumption that groundwater flow direction usually mimics surface topography, the groundwater flow direction at this facility should generally be to the west toward Lake Collins, north of the subject site. GA Forestry Commission appears on the EDR report data list as a LUST/UST. GA Forestry Commission is also listed as a closed facility. Both the EDR report and the Georgia Environmental Protection Division website indicate that two releases were reported at the listed site with No Further Actions (NFAs) issued in regard to both releases. Both sources indicate that two tanks have been removed from the ground, one on March 29, 1993 and another on February 19, 2009. GA Forestry Commission is registered under the Georgia UST Program. Due to the distance between the subject property and the regulated site (approximately 1.5 miles north of the subject property) and topographic features, a petroleum release from GA Forestry Commission would not likely reach the subsurface of the subject property. If a release was to occur, no significant environmental threat to the subject property would be expected, due to the relative distance between the two sites. Additionally, the fact that the subject property has no history of petroleum use, and the listed facility is registered with Georgia UST (GUST) Trust Fund, would indicate any liability from any release from GA Forestry Commission should remain with the respective owners/operators and the site should not be an environmental threat. No visual evidence of recognized environmental conditions were observed at the subject property during GEC's site visit.

During GEC's off site reconnaissance, Calhoun Oil Company, EDR Site #C7, is located at 1011 MLK, Jr. Blvd and is also PURE gasoline station a.k.a. MTD #5 Pepos Foodmart #2. GEC reviewed GA EPD's website and reviewed files at GA EPD's office and found that PURE (MTD #5 Pepos Foodmart #2), Facility ID #1290083, was listed on the LUST/UST database. PURE had four tanks closed (three gasoline UST's on or after August 31, 1995 and one used oil UST in 1984) and has three tanks (one 12,000-gallon diesel; one 8,000-gallon gasoline; and one 4,000-

gallon gasoline) currently in use. A confirmed release was reported and a no further action (NFA) was issued on October 29, 1994. Financial responsibility at PURE is under the GUST Trust Fund. Field observations during the site reconnaissance revealed that this site is at significantly lower gradients than the subject property with groundwater flow moving away from the proposed developed portion of the subject property to the south-southeast, based on site topography. Due to site topography, reviewed information at GA EPD's office, and the cited hydrologic conditions, GEC is of the opinion that vapors would not migrate from the source to the target property.

GEC also observed Danfair Express gasoline station a.k.a. DJ's at 1101 MLK, Jr. Blvd. The only listings for Danfair Express in the 2012 EDR Report were on the orphan summary at 127 Highway 27 East and CRN Vienna Highway & Knollwood Drive. However, during GEC's off-site reconnaissance, GEC observed Danfair Express gasoline station a.k.a. DJ's located at 1101 MLK, Jr. Blvd. Information at GA EPD's website indicated that Danfair Express a.k.a. DJ's, Facility ID #9129053, is only listed on the UST database and not the LUST database; therefore, there were no files to review. Danfair has four gasoline tanks (three 6,000-gallons and one 2,000-gallon) currently in use. No releases have been reported at this facility. Financial responsibility at Danfair is under the GUST Trust Fund. Field observations during the site reconnaissance revealed that this site is at significantly lower gradients than the subject property with groundwater flow moving away from the proposed developed portion of the subject property to the south-southeast, based on site topography. Due to site topography, and the cited hydrologic conditions, GEC is of the opinion that vapors would not migrate from the source to the target property.

Due to the distance, status of the facilities, topographic features, and hydrologic conditions, these sites are not considered to present an environmental concern to the subject property. Topographic features and groundwater flow direction suggests that vapors would not migrate from the sources to the target property. Therefore, vapor encroachment is unlikely to be an issue of concern in connection with existing or planned structures on the target property.

GEC is of the opinion that vapor encroachment is unlikely to be an issue of concern in connection with existing or planned structures on the subject property. Refer to Section 4.1.1.1 and Appendix E (EDR Vapor Encroachment Screen) for further details.

5.4.24 Other Site Reconnaissance Issues

GEC did not identify any other site reconnaissance issues regarding the subject site.

5.5 Past Site Use

5.5.1 Recorded Land Title Records

Property ownership history sometimes provides an indication of a potential environmental problem at a site. The ownership and deeds reviewed may not include all of the previous owners or occupants that may have or have had an interest in the subject property. The subject site, which is approximately 17.65 acres in size, is located near the northwest intersection of Magnolia Street and Martin Luther King, Jr. Boulevard in the City of Americus, Sumter County, Georgia. The subject property, which is situated within Land Lot 154 of the 27th Land District of Sumter County, Georgia, consists of undeveloped wooded land. The subject property appears on the Sumter County Tax Map as parcel 27-1-3.

GEC contracted Mr. Frank May, a professional title researcher, for the purpose of researching and establishing a chain of ownership for environmental purposes for the subject property. Mr. May provided the chain of ownership information for GEC's review on June 6, 2011. Mr. May's review of the subject property's chain of title information indicated that the subject property was an assemblage of properties made by J.H. Shumake in the late 1930's and early 1940's. The property remained in the Shumake family until sold to (Paul) Howard Johnson in the late 1990's and remains in the Johnson family today.

Mr. May found no environmental liens, activity or use limitations, or engineering controls filed in the deed records, relating to conditions involving the subject site. The review of the deed records and the history of ownership did not indicate previous ownership site activities that would be expected to have created environmental concerns on the subject property.

Copies of the site's property record card, tax map, deeds, and plat map, are presented in Appendix D.

5.5.2 Environmental Liens

The property records reviewed by GEC did not indicate any environmental liens, and the Users and/or local public agency contacts reported none.

5.5.3 Activity & Use Limitations

The property records reviewed by GEC did not indicate any activity or use limitations, and the Users and/or local public agency contacts reported none.

5.5.4 Aerial Photographs & Topographic Maps

GEC reviewed readily available aerial photographs of the subject property to assist in developing the historic usage of the site. Aerial photographs (2006, 2005, 1993, 1988, 1975, 1968, 1962, 1953, 1948, 1941, and 1937) were obtained through a commercial database search firm, Environmental Data Resources, Inc. The 2009 aerial photograph was obtained off the Internet at the Google Earth™ web page. A copy of the 2009 aerial photograph appears in Appendix I (Maps/Figures as Figure 8), and copies of the additional historical aerial photographs appear in Appendix C.

The aerial photographs reviewed did not indicate obvious environmental impacts to the site. During GEC's site visit on May 23, 2012, the approximately 17.65-acre tract of land consisted of undeveloped, wooded/overgrown land. GEC's review of all of the readily available historical aerial photographs indicates that the subject property appears to have been undeveloped agricultural/wooded land and rural residential since, if not before, 1937 to the 2009 aerial photograph with two residential structures appearing on the subject site, one in the eastern and the other in the western portion of the subject site.

The site vicinity currently consists of residential, commercial and undeveloped wooded properties. The adjacent property in all directions of the subject site was either agricultural or wooded land with sparsely situated rural residential homesteads on the 1937 to 1962 aerial photographs. Higher density residential development is first observed in the northeastern vicinity

of the subject property on the 1962 aerial photograph. Additionally, commercial development first appears on the 1962 aerial photograph in the southern and eastern vicinity of the subject site. Increased commercial and residential development is observed in each subsequent aerial photograph. A significant increase in residential development can be observed on the adjoining property to the north and in the northern vicinity in the 1975 aerial photograph.

The subject property can be found on the Americus, Georgia Quadrangle of the U.S.G.S. 7.5-minute series Topographic Map with contour intervals of 10 feet, printed in 1985. A copy of the pertinent portions of this topographic map, showing the subject property and the surrounding area, is presented as Figure 1 in Appendix A. The Environmental Data Resources, Inc. (EDR) Historical Topographic Map Report, which provided additional U.S.G.S. Topographic Maps (1985 and 1973), is presented in Appendix C. Two structures are shown to exist on the site.

The site elevation, as shown on the topographic map, ranges between approximately 370 and 320 feet above mean sea level. Based on review of the topographic map and observations made during the site reconnaissance, the approximate direction of surface drainage flow at the subject property (assuming the flow mimics topography) should generally be to the south. GEC anticipates that the overall direction of shallow groundwater movement at the subject property (assuming the flow mimics topography) would be expected to be generally to the south-southeast. The down slope of the on-site surface drainage features currently appears to be to the south toward Muckalee Creek, which is located southwest of the subject property. The approximate direction of surface drainage flow at the subject property (assuming the flow mimics topography) would be expected to flow toward Muckalee Creek that flows from northwest to southeast near the southwestern property boundary; therefore, general groundwater flow should be to the south. The general flow direction of the Muckalee Creek would be to the southeast; therefore, if groundwater was to mimic this flow, the groundwater flow direction at the subject site should generally be to the southeast.

5.5.5 Sanborn Fire Insurance Maps

GEC contacted Environmental Data Resources, Inc. (EDR) to search for Sanborn Fire Insurance Maps, which were devised by insurance adjusters as early as the 1800s to show the use of properties at specified dates for the purpose of determining the risk of fire. The maps also identify businesses and activities, as well as some construction details, for those properties they cover. The Sanborn Maps are helpful in identifying historical environmental concerns that may have otherwise been unrecorded or left no evidence of their existence.

Sanborn Map coverage does not exist for the target property. The Sanborn Map no coverage report is presented in Appendix C.

5.5.6 City Directories

GEC contracted with EDR, Inc. to search for city directories, which have been published for cities and towns across the U.S. since the 1700s. Originally a list of residents, the city directory developed into a sophisticated tool for locating individuals and businesses in a particular urban or suburban area. Directories are generally divided into three sections; a business index, a list of resident names and addresses, and a street index. With each address, the directory lists the name of the resident or, if a business is operated from this address, the name and type of business (if unclear from the name). While city directory coverage is comprehensive in major cities, it may

be spotty for rural areas and small towns. City directory coverage does not exist for the target property or any of the adjoining properties. A copy of the EDR – City Directory Abstract is presented in Appendix C.

The research summary ranges from 1966-1990 for Johnson's, and Mullin-Kille's City Directories. Due to the fact that the site is currently undeveloped, EDR used an address, 100 Martin Luther King Jr. Boulevard, Americus, GA, 31719, close to the subject site in order to list the adjoining property details. No adjoining property addresses were listed in the Polk's and Johnson's City Directories.

Examination of the EDR – City Directory Abstract did not reveal any indications of environmental concerns for the subject property or the surrounding area.

5.5.7 Previous Environmental Studies

GEC performed a DCA Phase I Environmental Site Assessment (ESA) report dated June 17, 2011. The report, which was conducted over approximately 57.63-acres including the subject site, indicated that GEC found no obvious environmental concerns or risks associated with the subject property or off-site properties. The boundaries of the subject property have since changed to exclude 39.98-acres southwest of the subject site. The current project area is approximately 17.65 acres.

- A Noise Assessment Guidelines (NAG) assessment was performed as part of the previous GEC Phase I ESA (dated June 17, 2011). On April 29, 2011, GEC assessed noise levels at the subject site to determine if noise levels would exceed the HUD limitations for exterior and interior locations. By use of the site visit, internet data, and mapping and in accordance with HUD guidance, GEC found two major roads, two railroads, and one civil airport to be potential contributors to noise at the subject site. No other major roads were found within 1,000 feet, no other railways were found within 3,000 feet, no other civil airports were found within five miles, and no military airfields were found within 15 miles of the subject site.

U.S. Highway 280/19 / Martin Luther King Jr. Boulevard is adjacent to a south boundary of the site. Georgia Highway 49 / W Forsyth Street / W Lamar Street is located at least 425 feet east of the site. Norfolk Southern Railroad is situated at least 1200 feet to the south, and the Heart of Georgia Railroad interchange is approximately 1300 feet to the south. Jimmy Carter Regional / Southern Airfield is located approximately 4.0 miles northeast of the site. Completion of the Noise Assessment Guidelines (NAG) worksheets, using the Site DNL Calculator available on the HUD Website for road and railway calculations, indicates an Acceptable (per the NAG) exterior day night level (DNL) of 65 decibels or less as a result of these potential noise sources.

See Appendix T for a copy of the previous report text.

5.5.8 Other

Additional knowledge of the area, interviews, research of Sanborn maps, U.S.G.S. Topographic Maps, tax records, and interpolation between other aeriels, the subject site was undeveloped

agricultural/wooded land prior to the oldest available aerial photograph taken in 1937 with two small residential structures: one appearing in the eastern portion of the subject site and one appearing in the western portion of the subject site, likely the first known use of the property. The reviewed historical information and research leads GEC to believe that the subject property has been nothing other than undeveloped wooded/agricultural land and rural residential.

No additional environmental historical sources, not designated in Sections 8.3.4.1 through 8.3.4.8 of the ASTM E 1527-05 standard, were sought nor deemed necessary to identify past uses of the subject property.

5.6 Current Surrounding Land Use

5.6.1 North

GEC observed residential and undeveloped wooded land bordering the subject site to the north.

5.6.2 East

Magnolia Street borders the subject site to the east with commercial properties beyond.

5.6.3 South

Undeveloped wooded land was observed bordering the subject site to the south.

5.6.4 West

Residential properties border the subject site to the west.

5.7 Past Surrounding Land Use

5.7.1 North

The land north of the subject site was either agricultural or wooded land with sparsely situated rural residential homesteads on the 1937 to 1962 aerial photographs. Higher density residential development is first observed in the northeastern vicinity of the subject property on the 1962 aerial photograph. Increased commercial and residential development is observed in each subsequent aerial photograph. A significant increase in residential development can be observed on the adjoining property to the north and in the northern vicinity in the 1975 aerial photograph.

5.7.2 East

The land east of the subject site was either agricultural or wooded land with sparsely situated rural residential homesteads on the 1937 to 1962 aerial photographs. Additionally, commercial development first appears on the 1962 aerial photograph in the eastern vicinity of the subject site. Increased commercial and residential development is observed in each subsequent aerial photograph.

5.7.3 South

The land south of the subject site was either agricultural or wooded land with sparsely situated rural residential homesteads on the 1937 to 1962 aerial photographs. Additionally, commercial development first appears on the 1962 aerial photograph in the southern vicinity of the subject site. Increased commercial and residential development is observed in each subsequent aerial photograph.

5.7.4 West

The land west of the subject site was either agricultural or wooded land with sparsely situated rural residential homesteads on the 1937 to 1962 aerial photographs. Increased commercial and residential development is observed in each subsequent aerial photograph.

5.8 Historic Preservation

GEC reviewed information provided on the National Register of Historic Places website in June 2012. According to the reviewed information, the closest historic site (Guerry-Mitchell House) is approximately one-half mile northeast of the subject property. GEC is of the opinion that the development of the proposed apartment complex will not have a negative impact on any historic property in the area. A copy of the map can be found in Appendix Q.

6.0 DATA GAPS

6.1 Identification of Data Gaps

The only data gaps experienced during the course of this DCA Phase I ESA were in intervals between aerial photographs longer than five years. Additional knowledge of the area, interviews, research of Sanborn maps, U.S.G.S. Topographic Maps, tax records, and interpolation between other aerials, the subject site was rural residential and undeveloped wooded/agricultural land prior to the oldest available aerial photograph taken in 1937 with two small residential structures one in the eastern portion of the subject site and one in the western portion of the subject site, likely the first known use of the property. The reviewed historical information and research leads GEC to believe that the subject property has been nothing other than undeveloped wooded/agricultural land and residential property.

6.2 Sources of Information Consulted to Address Data Gaps

Based on the research information, the data gaps identified are not considered to be significant. No other significant data gaps were experienced during the course of this DCA Phase I ESA.

6.3 Significance of Data Gaps

No significant data gaps were experienced during the course of this DCA Phase I ESA.

7.0 ENVIRONMENTAL CONCERNS

7.1 On-Site

The site reconnaissance and research revealed no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property. Based on the findings presented in this report, GEC found no recognized environmental conditions associated with the subject property.

7.2 Off-Site

The site reconnaissance and research conducted during the course of this project revealed no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property from an adjacent property.

8.0 CONCLUSIONS AND RECOMMENDATIONS

GEC has completed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527 and the Georgia DCA Environmental Site Assessment Standard on the approximately 17.65-acre proposed Creekview Commons site near the northwest intersection of Magnolia Street and Martin Luther King, Jr. Boulevard in the City of Americus, Sumter County, Georgia.

We have performed a *Phase I Environmental Site Assessment* in conformance with the scope and limitations of ASTM Practice E 1527 of the proposed Creekview Commons site near the northwest intersection of Magnolia Street and Martin Luther King, Jr. Boulevard, Americus, Georgia, and legally described as contained in Land Lot 154 of the 27th Land District of Sumter County, Georgia, the *property*. Any exceptions to, or deletions from this practice are described in Section 2.0 of this *report*. This assessment has revealed no evidence of *recognized environmental conditions* in connection with the *property*.

The DCA Phase I ESA was performed in accordance with the American Society for Testing and Materials (ASTM) E 1527-2005, Standard Practice for Environmental Site Assessments. The ASTM E 1527-2005 is the most current ASTM standard for this work. The Phase I ESA consisted of a site reconnaissance of the subject property, review of applicable and reasonably ascertainable information about the subject property, and interviews with selected officials knowledgeable about the subject property. The Phase I ESA was intended to provide an overview of environmental conditions at the subject property resulting from current and/or past site activities.

While conducting the Phase I ESA of the subject property, GEC followed the 2012 Georgia DCA Environmental Manual, its ESA standard, which requires that the consultant follow the ASTM standard and provide some additional information that exceeds the ASTM requirements. This information addresses items referred to as “non-scope” items in the ASTM Practice, and includes wetlands, state waters, floodways/floodplains, additional public/historic records review,

noise, water leaks/mold/fungi/microbial growth, radon, asbestos containing materials (ACMs), lead-based paint (LBP), lead in drinking water, and including (per DCA guidelines) polychlorinated biphenyls (PCB). Other hazards considered for the DCA ESA report include the presence of existing septic tanks or water wells on the subject property or the absence of the availability of a municipal water or sewer system to the subject site.

Interviews and review of reasonably ascertainable records by GEC during the completion of the DCA Phase I ESA did not indicate past usage or conditions which would likely result in significant environmental concerns. No recognized environmental conditions (RECs), as that term is defined in the referenced ASTM Practice, were identified on the subject property.

The user of this report is encouraged to read the entire report for detailed descriptions of the property and the observations and judgments made by GEC. The user is ultimately responsible for assessing whether the limitations of the ASTM Practice and this project's scope of work are appropriate to the level of risk the user assumes for the subject property transaction. The following summarizes general information discovered during GEC's Phase I ESA.

- The site reconnaissance and research revealed no business risk issues or no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property.
- GEC previously conducted a Phase I ESA on this property. The original report was issued June 17, 2011. The text and other pertinent information from the previous assessment are appended to this report, an update of the previous. The only noted change is the number of acres for the new assessment. The previous assessment consisted of a 57.63 acre tract while this new assessment consists of only 17.65 acres. No other significant changes in the property or surroundings were noted in this new assessment. Historical reference information from the original report was referenced for this report.
- During GEC's previous assessment, lead in soil sampling was conducted on the subject site due to pre 1978 structures being on the subject property. The lead detected in the area surface soils (upper one-half inch) was below the Georgia Environmental Protection Division notification concentration for lead (400 mg/kg). Lead in soil is not considered to be a concern for the subject property.
- Based on GEC's review of the readily available historical sources, such as Sanborn Maps, and aerial photographs, the subject property has been historically rural residential and undeveloped agricultural/wooded land on the reviewed 1937 to 2009 aerial photographs with two residential structures appearing on the subject site, one in the eastern and the other in the western portion of the subject site. The adjacent property in all directions of the subject site was either agricultural or wooded land with sparsely situated rural residential homesteads on the 1937 to 1962 aerial photographs. Higher density residential development is first observed in the northeastern vicinity of the subject property on the 1962 aerial photograph. Additionally, commercial development first appears on the 1962 aerial photograph in the southern and eastern vicinity of the subject site. Increased commercial and residential development is observed in each subsequent aerial photograph. A significant increase in residential development can be observed on the adjoining property to the north and in the northern vicinity in the 1975 aerial

photograph. The subject property's chain of title information indicated that the subject property, which is part of a larger tract, was an assemblage of properties made by J.H. Shumake in the late 1930s and early 1940s. The property ownership remained in the Shumake family until it was sold to Howard Johnson in the 1990's. The Johnson family currently retains ownership of the subject property. Research of readily available historic tax records and aerial photographs indicated the property has been in private individuals' or non-industrial entities' ownership and has been rural residential and undeveloped wooded/agricultural land since and likely before, the 1930s according to title records.

- The Environmental Data Resources, Inc. (EDR) Report has changed since the previous report dated April 27, 2011 that GEC used in the previous Phase I ESA on this subject property. Neither report identified the subject property on any Federal, State, or Local databases. The new 2012 EDR report identified one CERC-NFRAP database site (not listed in the 2011 report), two SHWS database sites (one more than the 2011 report), five LUST database sites (one more than the 2011 report), five UST database sites (two more than the 2011 report), two AST database sites (not listed in the 2011 report), three RCRA-NonGen database sites, and one Manufactured Gas Plants database site within the ASTM E 1527 prescribed search radii of the subject property. However, the listed databases sites are not considered to be a potential environmental and/or financial concern to the subject site. Refer to Section 4.1.1.1 and Appendix G for the current May 2012 EDR Environmental Database Report.
- Geotechnical & Environmental Consultants, Inc. (GEC) reviewed the National Wetlands Inventory (NWI) map and the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) to determine if these records indicate potential wetland and/or floodplain concerns on the subject property. According to the National Wetlands Inventory (NWI) map, no wetland areas or flood plains were identified on the subject property. As part of a wetland evaluation in 2011, GEC delineated 33.73 acres of wetlands and 325 linear feet of intermittent stream on adjacent properties hydrologically connected to Muckalee Creek, southwest of the subject property. Of the previously delineated area, approximately 0.0134 acres of wetlands remain on the Creekview Commons property adjacent to the existing 'dirt' road crossing.

8.1 On-Site

Based on the findings presented in this report, GEC found no obvious environmental concerns or risks associated with the subject property; therefore, we recommend no further environmental study of the site at this time.

8.2 Off-Site

Based on the findings presented in this report, GEC found no obvious environmental concerns regarding off-site properties within the ASTM search radii; therefore, we recommend no further study of potential off-site impacts at this time.

9.0 DATA REFERENCES

GDCA 2012 Environmental Manual
American Society for Testing and Materials (ASTM) E 1527-2005, Standard Practice for
Environmental Site Assessments
Mr. Jason Maddox with Creekview Commons, L.P. – client
Mr. Paul Johnson – owner environmental questionnaire
City of Americus and Sumter County, Georgia
City of Americus Water and Sewerage Authority
Sumter County Health Department, Environmental Services
City of Americus Fire Department
City of Americus Planning & Zoning
Georgia Power
Sumter County Tax Assessor's website
Sumter County Clerk of Superior Court (Deed Copies)
Environmental Data Resources, Inc. (EDR) – environmental database report &
historical aerial photographs and topographic map, Sanborn Maps, and City Directories
Google Earth website (2009 aerial photograph)
United States Geological Survey (U.S.G.S.)
Georgia Geologic Survey
Federal Emergency Management Agency (FEMA) Map Service Center (MSC) website (FIRM)
U.S. Dept. of the Interior Fish & Wildlife Service's National Wetlands Inventory (NWI) Map
United States Environmental Protection Agency (EPA) Publication 402-R-93-030:
EPA's Map of Radon Zones for Georgia, dated September 1993
Delorme™ 3-D TopoQuads™
GEC's Previous Environmental Report

10.0 VALUATION REDUCTION

10.1 Purchase Price

According to the User, Creekview Commons, L.P, the purchase price of the subject site is the same as the fair market value.

10.2 Interview of Broker regarding Market Value

GEC understands that no broker is involved in the sale of the subject property.

10.3 Differential between Purchase Price & Market Value

According to the User, the purchase price of the subject site is the same as the fair market value.

10.4 Environmental Reasons for any Differential

Since no differential between the purchase price and market value of the property exists, there is no known devaluation of the property for environmental reasons.

APPENDICES

GEC

**APPENDIX A:
Figures & Maps**

GEC

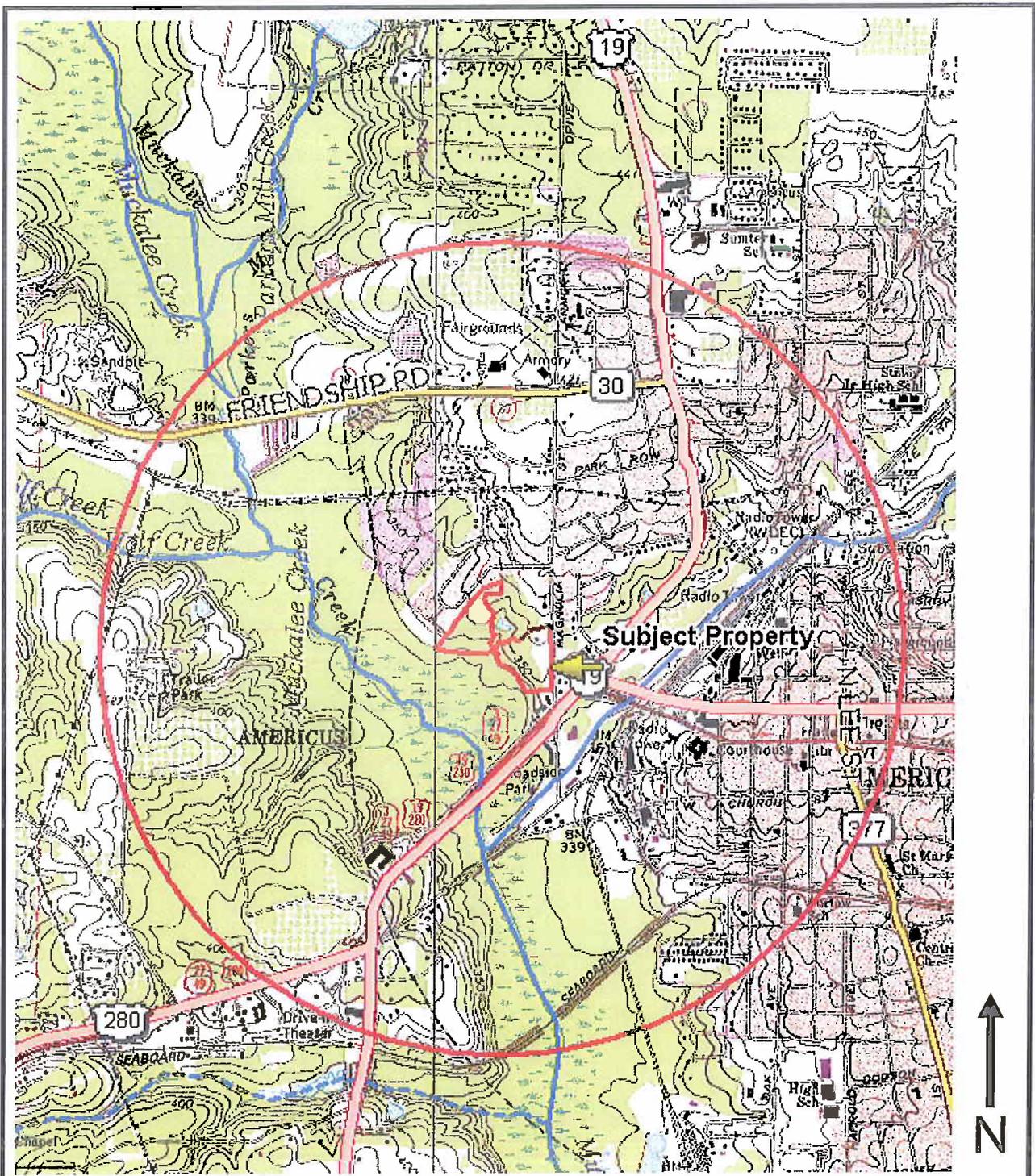


Figure 1
U.S.G.S. Topographic Map
Creekview Commons
Magnolia Street
Americus, Sumter County, Georgia
GEC Project # 110277.240
Approximate Scale: 1" = 2,000'
Source: Americus Quadrangle (1985)

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U.S. Fish and Wildlife Service

National Wetlands Inventory

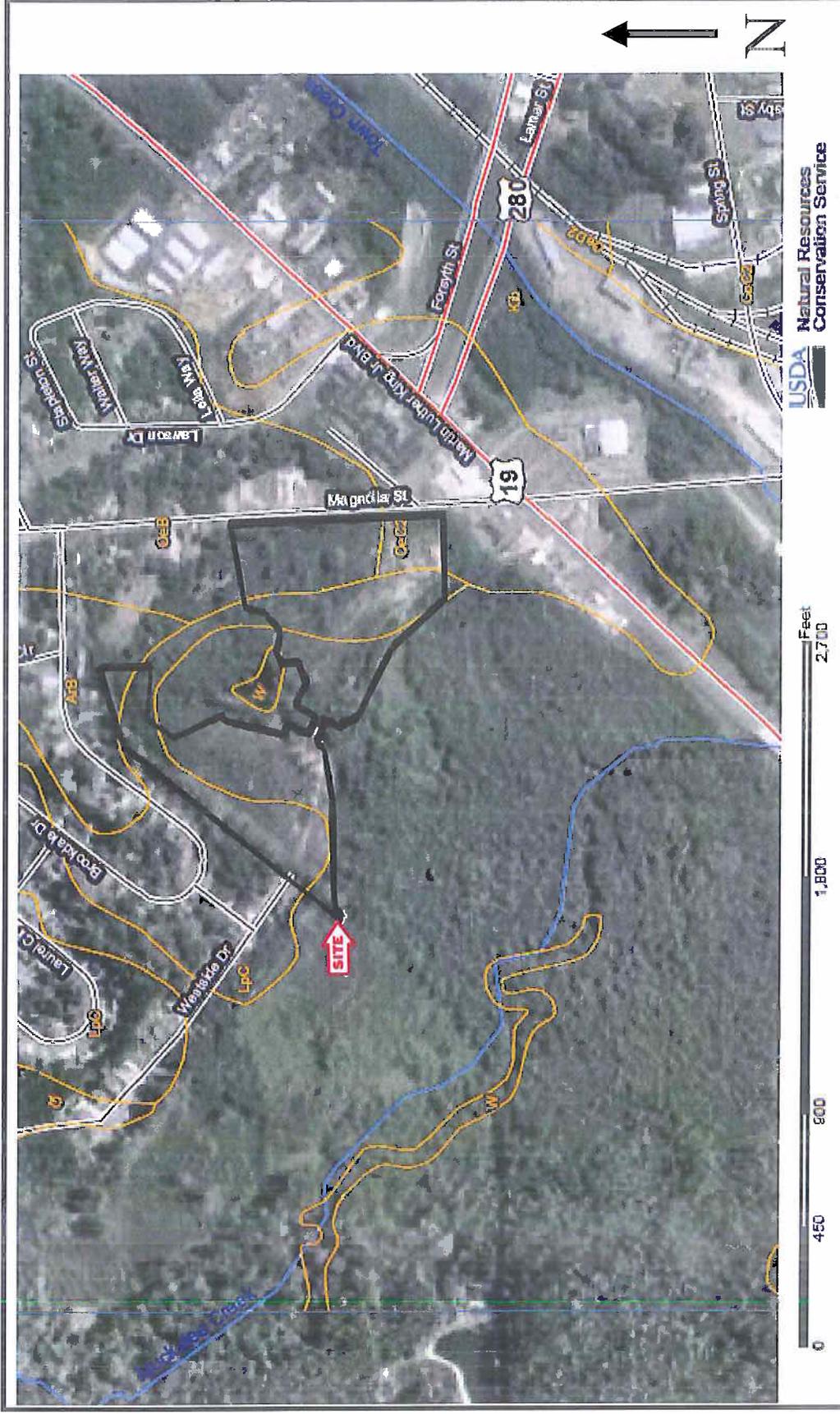


Figure 2
National Wetlands Inventory (NWI) Map
 Creekview Commons
 Magnolia Street
 Americus, Sumter County, Georgia
 GEC Project No. 110277.240
 Approximate Scale: 1"=667'
 Source: U.S. Fish & Wildlife Service



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USDA
Natural Resources
Conservation Service

Figure 3
Soil Survey Map
Creekview Commons
Magnolia Street
Americus, Sumter County, Georgia
GEC Project No. 110277.240
Approximate Scale: 1" = 600'
Source: USDA NRCS

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MAP LEGEND

 Area of Interest (AOI)	 Very Stony Spot
 Soils	 Wet Spot
 Soil Map Units	 Other
Special Point Features	Special Line Features
 Blowout	 Gully
 Borrow Pit	 Short Steep Slope
 Clay Spot	 Other
 Closed Depression	Political Features
 Gravel Pit	 Cities
 Gravelly Spot	Water Features
 Landfill	 Streams and Canals
 Lava Flow	Transportation
 Marsh or swamp	 Rails
 Mine or Quarry	 Interstate Highways
 Miscellaneous Water	 US Routes
 Perennial Water	 Major Roads
 Rock Outcrop	 Local Roads
 Saline Spot	
 Sandy Spot	
 Severely Eroded Spot	
 Sinkhole	
 Slide or Slip	
 Sodic Spot	
 Spoil Area	
 Stony Spot	

MAP INFORMATION

Map Scale: 1:8,570 if printed on A size (8.5" x 11") sheet.
 The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for accurate map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
 Coordinate System: UTM Zone 16N NAD83

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Schley and Sumter Counties, Georgia
 Survey Area Data: Version 5, Dec 29, 2006

Date(s) aerial images were photographed: 9/15/2007

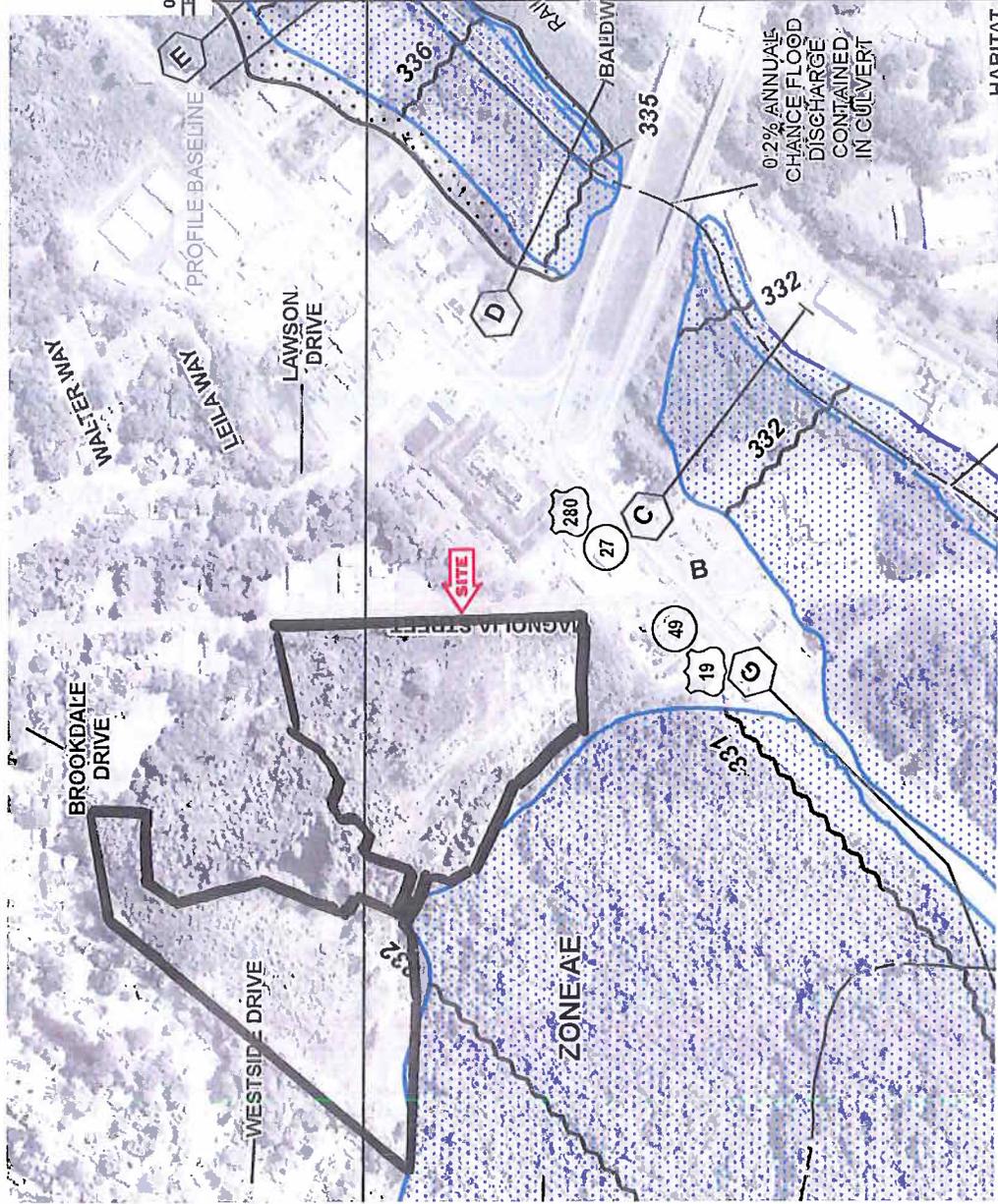
The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Schley and Sumter Counties, Georgia (GA652)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
ArB	Americus loamy sand, 0 to 5 percent slopes	8.4	2.7%
GoC2	Greenville sandy loam, 5 to 8 percent slopes, eroded	10.1	3.3%
Gt	Goldsboro loamy sand	1.7	0.6%
Kib	Kinston and Bibb soils	191.4	61.9%
LpC	Lakeland sand, 0 to 8 percent slopes	27.1	8.8%
OeB	Orangeburg loamy sand, 2 to 5 percent slopes	30.4	9.8%
OeC2	Orangeburg loamy sand, 5 to 8 percent slopes, eroded	33.1	10.7%
OeD2	Orangeburg loamy sand, 8 to 12 percent slopes, eroded	2.9	0.9%
W	Water	4.4	1.4%
Totals for Area of Interest		309.4	100.0%



MAP SCALE 1" = 500'



NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0153C

FIRM
FLOOD INSURANCE RATE MAP
SUMTER COUNTY,
GEORGIA
AND INCORPORATED AREAS

PANEL 153 OF 375
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:
 NUMBER PANEL SUBJECT
 13003 0103 C
 13021 0103 C

AGENCY CITY OF
 SUMTER COUNTY

Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
13261C0153C

MAP REVISED
SEPTEMBER 11, 2009

Federal Emergency Management Agency



Figure 4
Flood Insurance Rate Map (FIRM)
Creekview Commons
 Magnolia Street
 Americus, Sumter County, Georgia
 GEC Project No. 110277.240
 Approximate Scale: 1"=500'
 Source: FEMA Map Service Center Website

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LEGEND



SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual chance flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A No Base Flood Elevations determined.

ZONE AE Base Flood Elevations determined.

ZONE AH Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

ZONE AO Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.

ZONE AR Special Flood Hazard Areas formerly protected from the 1% annual chance flood by a flood control system that was subsequently decertified. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.

ZONE A99 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.

ZONE V Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.

ZONE VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.



FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.



OTHER FLOOD AREAS

ZONE X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.



OTHER AREAS

ZONE X Areas determined to be outside the 0.2% annual chance floodplain.

ZONE D Areas in which flood hazards are undetermined, but possible.



MAP SCALE 1" = 500'



ZONE X
ZONE D
Areas determined to be outside the 0.2% annual-chance floodplain.
Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS
OTHERWISE PROTECTED AREAS (OPAs)
CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

1% annual chance floodplain boundary
0.2% annual chance floodplain boundary
Floodway boundary
Zone D boundary
CBRS and OPA boundary
Boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.

Base Flood Elevation line and value; elevation in feet*
Base Flood Elevation value where uniform within zone; elevation in feet*
Cross section line
Transect line

*Referenced to the North American Vertical Datum of 1988
Geographic coordinates referenced to the North American Datum of 1983 (NAD 83) Western Hemisphere

500-foot grid ticks: County State Plane coordinate system, West zone (FIPS Zone 1000), Transverse Mercator

1000-meter Universal Transverse Mercator grid (values, zone 17)
Benchmark (see explanation in Notice to Users section of the FIRM panel)
River Mile

4989000FT
4989000 N
DXS510 X
* M1.5

MAP REPOSITORY
Refer to listing of Map Repositories on Map Index
EFFECTIVE DATE OF COUNTY-WIDE FLOOD INSURANCE RATE MAP
APRIL 2, 2007

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL
For community map revision history prior to countywide mapping, refer to the Community Map Index table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community contact your insurance agent or call National Flood Insurance Program at 1-800-634-6622.

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps, check the FEMA Flood Map Store at www.fema.gov

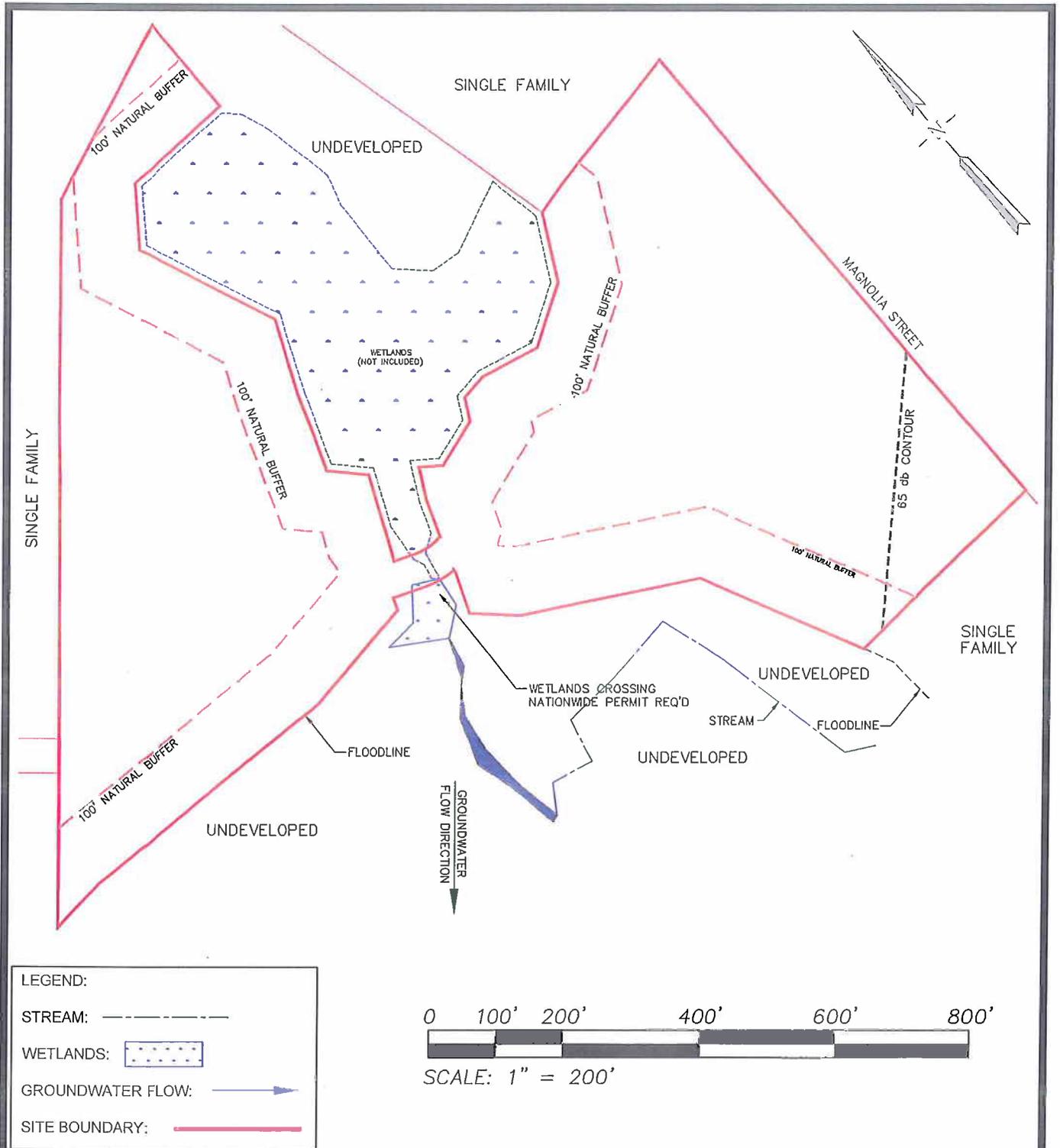


Figure 5
Site Map
Creekview Commons
Americus, Sumter County, Georgia
GEC Project No. 110277.240
Scale: 1"=200'
Source: GEC Client

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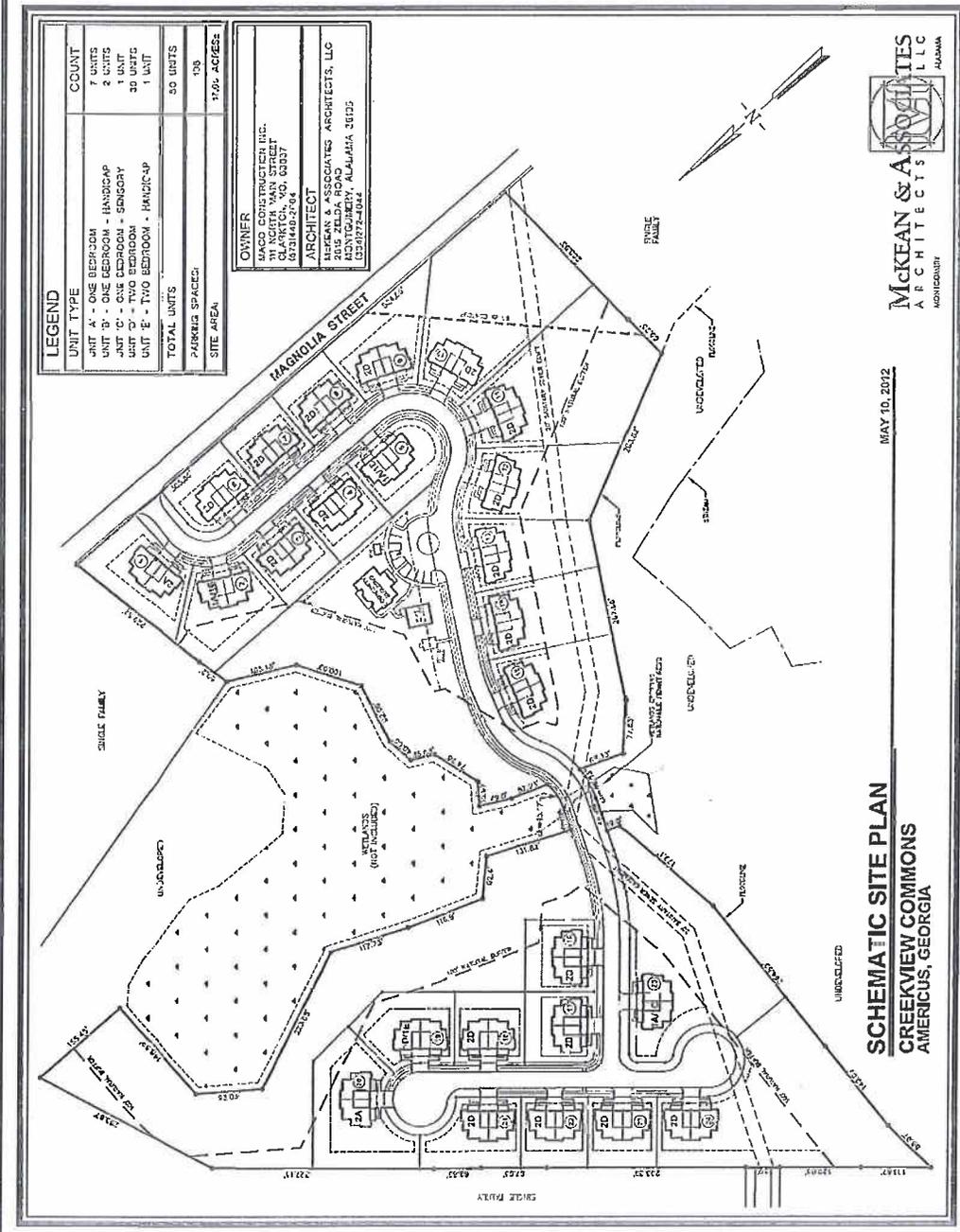


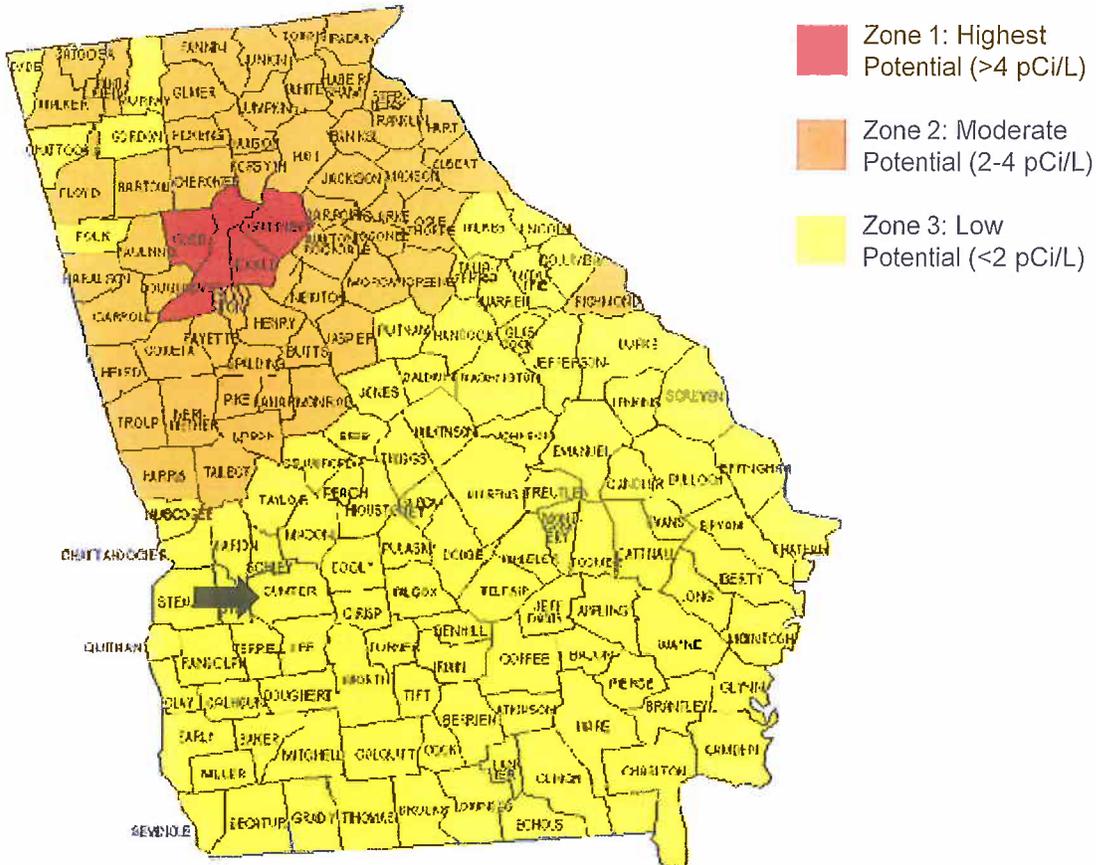
Figure 6
Site Plan
Creekview Commons
Magnolia Street
Americus, Sumter County, Georgia
GEC Project No. 110277.240
Approximate Scale: Graphic
Source: GEC's Client

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GEORGIA

The U.S. EPA and the U.S. Geological Survey have evaluated the radon potential in the U.S. and have developed this map to assist National, State, and local organizations to target their resources and to assist building code officials in deciding whether radon-resistant features are applicable in new construction. This map is not intended to be used to determine if a home in a given zone should be tested for radon. Homes with elevated levels of radon have been found in all three zones. All homes should be tested regardless of geographic location. The map assigns each of the 3,141 counties in the U.S. to one of three zones based on radon potential. Each zone designation reflects the average short-term radon measurement that can be expected to be measured in a building without the implementation of radon control methods. The radon zone designation of the highest priority is Zone 1.



Important: Consult the EPA Map of Radon Zones document (EPA-402-R-93-071) before using this map. This document contains information on radon potential variations within counties. EPA also recommends that this map be supplemented with any available local data in order to further understand and predict the radon potential of a specific area. This and other indoor air quality publications can be ordered through the [IAQ INFO Clearinghouse](#).

Figure 7
Radon Map
Creekview Commons
Magnolia Street
Americus, Sumter County, Georgia
GEC Project No. 110277.240
Source: US EPA Website
(www.epa.gov/iaq/radon/zonemap)

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6202 West Hamilton Park Drive Columbus, GA 31909 Tel: (706) 569-0008 Fax: (706) 569-0940



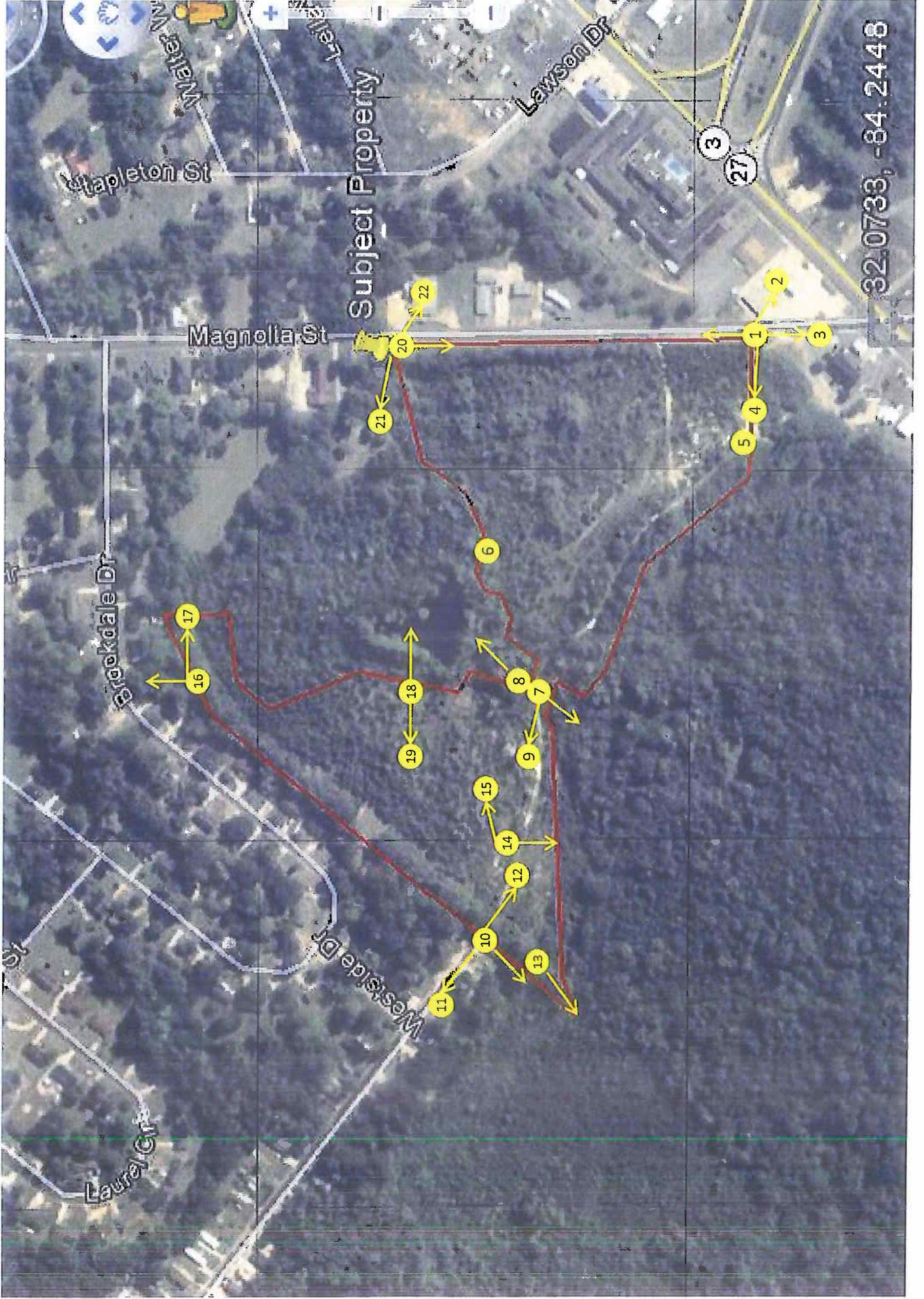
Figure 8
2009 Aerial Photograph
Creekview Commons
Magnolia Street
Moultrie, Colquitt County, Georgia
GEC Project No. 110277.240
Approximate Scale: 1' = 298'
Source: Google Earth Website

GEC
GEOTECHNICAL & ENVIRONMENTAL
CONSULTANTS, INC.

514 Hillcrest Industrial Blvd. Macon, GA 31204 Tel: (478) 757-1606 Fax: (478) 757-1608
 6202 West Hamilton Park Drive Columbus, GA 31909 Tel: (706) 569-0008 Fax: (706) 569-0940

APPENDIX B:
Site Photographs
(All Photographs taken May 23, 2012)

Photograph Map Key: Creekview Commons 110277.240





Photograph 1: View from the southeastern property corner looking north along Magnolia Street



Photograph 2: View from the southeastern property corner looking southeast toward an adjacent commercial property



Photograph 3: View from the southeastern property corner looking south along Magnolia Street toward an adjacent commercial property



Photograph 4: View from the southeastern property corner looking west along property access road



Photograph 5: View of debris pile along the southeastern property boundary



Photograph 6: View of old barn near the middle of the property area



Photograph 7: View from the wetland crossing looking southwest toward a vacant wooded area southwest of the subject property



Photograph 8: View from the wetland crossing looking northeast toward a wetland area on adjacent property northeast of the subject property



Photograph 9: View from the central portion of the subject property looking northwest along a property access road in the southwest portion of the subject property



Photograph 10: View from the northwestern property boundary at Westside Drive looking southwest toward an adjacent residential property



Photograph 11: View from the southwest boundary of the subject property looking northwest toward adjacent properties along Westside Drive



Photograph 12: View from the northwestern property boundary at Westside Drive looking southeast along an access road



Photograph 13: View from the western property corner looking southwest toward adjacent vacant wooded land



Photograph 14: View from the southwestern area of the northern property section looking south



Photograph 15: View from the southwestern area of the northern property section looking northeast



Photograph 16: View from the northernmost property boundary looking north toward adjacent residential property



Photograph 17: View from the northernmost property boundary looking east toward adjacent wooded property



Photograph 18: View from near the central portion of the subject property looking eastward toward a pond and wetland area located north of the property wetland crossing



Photograph 19: View from the west side of the pond area looking west toward the subject property



Photograph 20: View from the eastern property corner looking south along Magnolia Street



Photograph 21: View from the eastern property corner looking northwest toward an adjacent residential property



Photograph 22: View from the eastern property corner looking southeast toward an adjacent commercial property

**APPENDIX C:
Historical Research
Documentation**

GEC

Creekview Commons

Magnolia St & Martin Luther King Blvd
Americus, GA 31719

Inquiry Number: 3053406.5

April 27, 2011

The EDR Aerial Photo Decade Package



440 Wheelers Farms Road
Milford, CT 06461
800.352.0050
www.edrnet.com

EDR Aerial Photo Decade Package

Environmental Data Resources, Inc. (EDR) Aerial Photo Decade Package is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's professional researchers provide digitally reproduced historical aerial photographs, and when available, provide one photo per decade.

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Date EDR Searched Historical Sources:

Aerial Photography April 27, 2011

Target Property:

Magnolia St & Martin Luther King Blvd

Americus, GA 31719

<u>Year</u>	<u>Scale</u>	<u>Details</u>	<u>Source</u>
1937	Aerial Photograph. Scale: 1"=476'	Flight Year: 1937 Best Copy Available from original source	AAA
1941	Aerial Photograph. Scale: 1"=476'	Flight Year: 1941	AAA
1948	Aerial Photograph. Scale: 1"=476'	Flight Year: 1948	PMA
1953	Aerial Photograph. Scale: 1"=476'	Flight Year: 1953	CSS
1962	Aerial Photograph. Scale: 1"=476'	Flight Year: 1962	ASCS
1968	Aerial Photograph. Scale: 1"=476'	Flight Year: 1968	ASCS
1975	Aerial Photograph. Scale: 1"=950'	Flight Year: 1975	USDA
1988	Aerial Photograph. Scale: 1"=950'	Flight Year: 1988	USGS
1993	Aerial Photograph. Scale: 1"=950'	Flight Year: 1993	NAPP
2005	Aerial Photograph. Scale: 1"=604'	Flight Year: 2005	EDR
2006	Aerial Photograph. Scale: 1"=604'	Flight Year: 2006	EDR

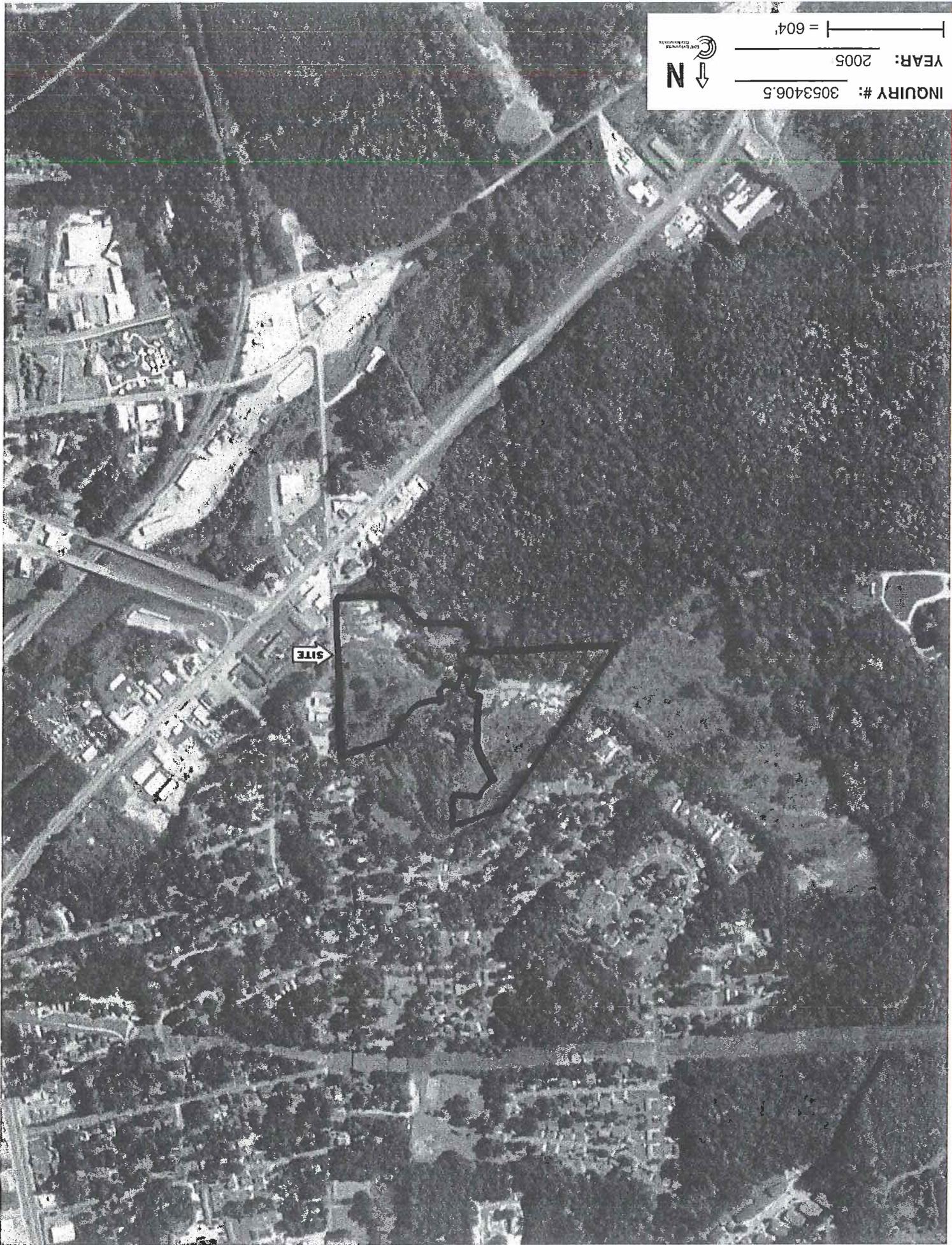


INQUIRY #: 3053406.5

YEAR: 2006

| = 604'





INQUIRY #: 3053406.5
YEAR: 2005
= 604'
N ↓

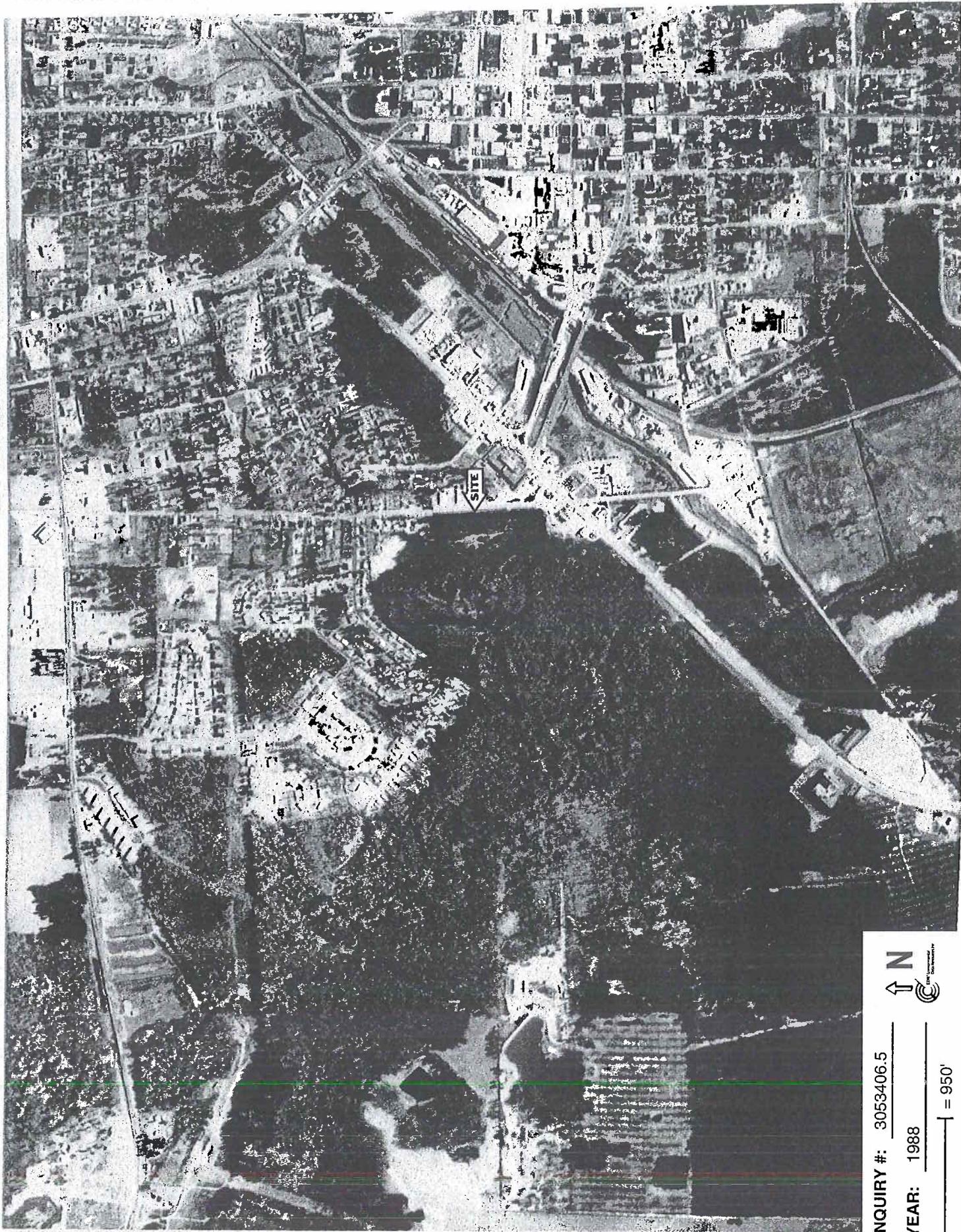


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YEAR: 1993

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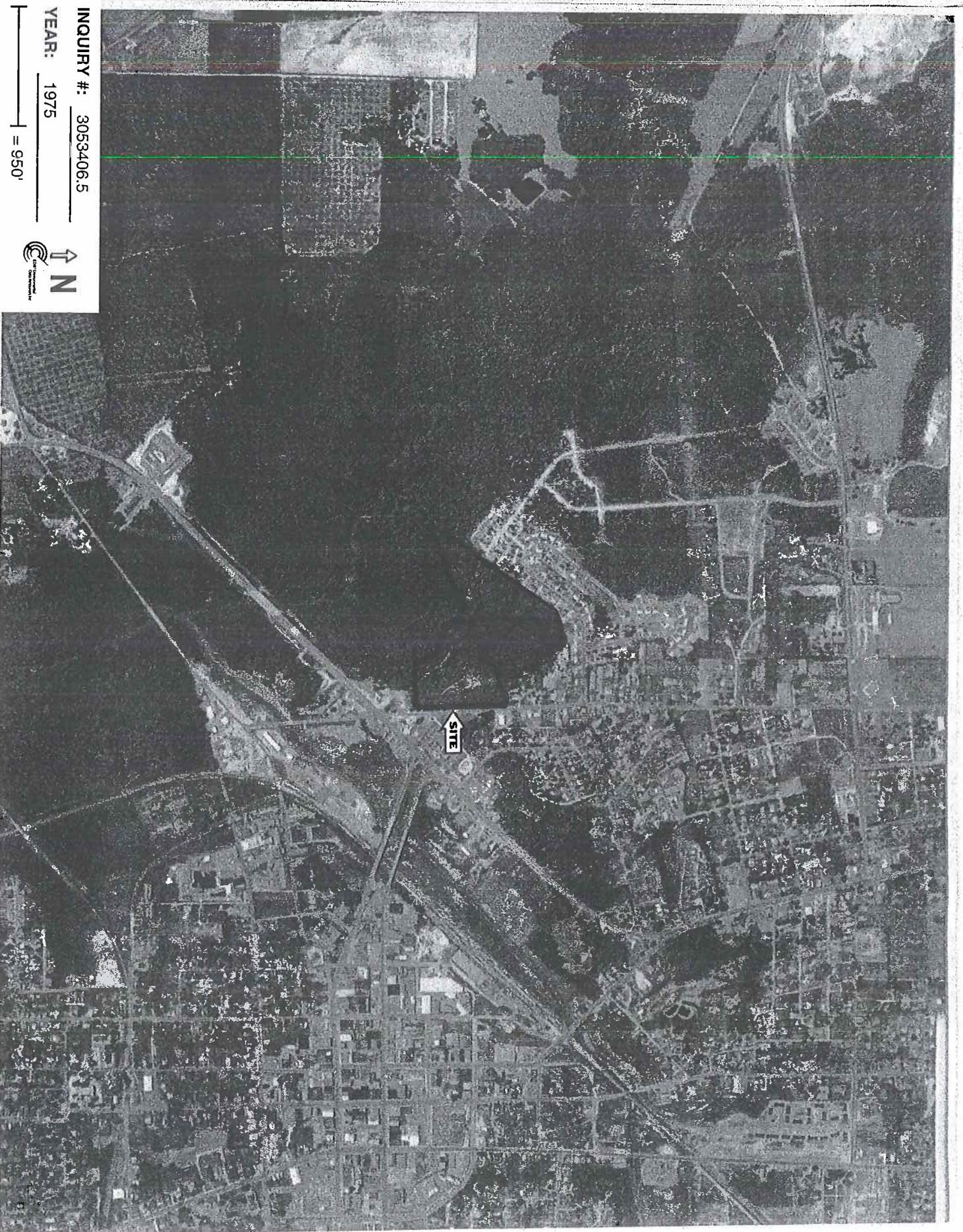


INQUIRY #: 3053406.5

YEAR: 1988

1" = 950'





INQUIRY #: 3053406.5

YEAR: 1975

1" = 950'





INQUIRY #: 3053406.5

YEAR: 1968

1" = 476'

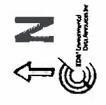




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YEAR: 1962

1" = 476'

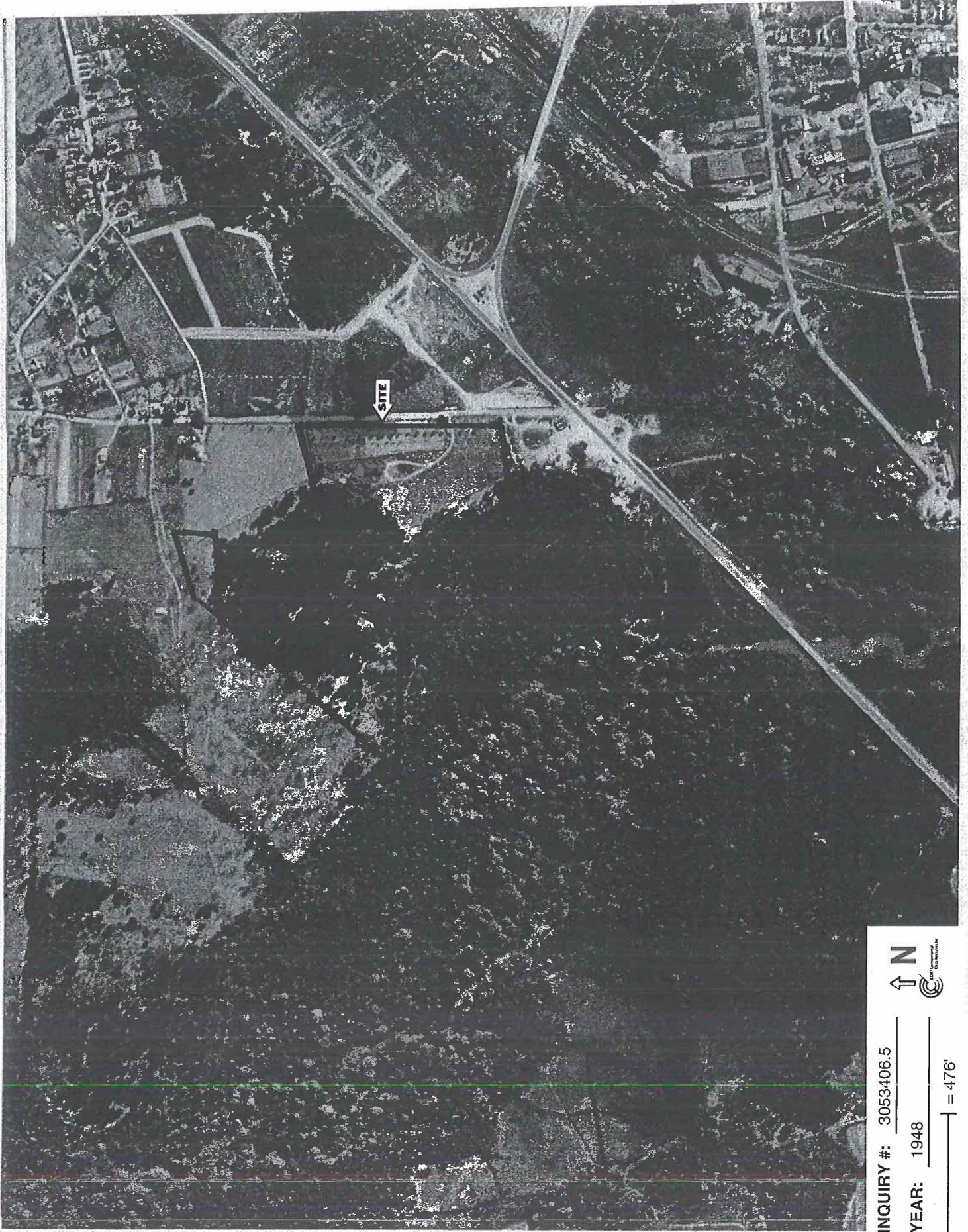




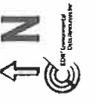
INQUIRY #: 3053406.5

YEAR: 1953

1" = 476'



SITE



INQUIRY #: 3053406.5

YEAR: 1948

1" = 476'



SITE

INQUIRY #: 3053406.5

YEAR: 1941

1" = 476'





INQUIRY #: 3053406.5

YEAR: 1937

1" = 476'



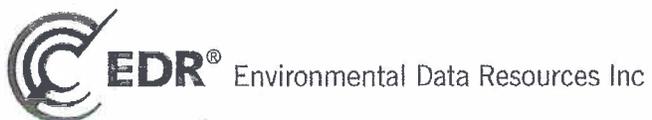
Creekview Commons

Magnolia St & Martin Luther King Blvd
Americus, GA 31719

Inquiry Number: 3053406.3

April 27, 2011

Certified Sanborn® Map Report



440 Wheelers Farms Road
Milford, CT 06461
800.352.0050
www.edrnet.com

Certified Sanborn® Map Report

4/27/11

Site Name:

Creekview Commons
Magnolia St & Martin Luther
Americus, GA 31719

Client Name:

Geotechnical & Env'tl. Cons.
514 Hillcrest Industrial
Macon, GA 31204



EDR® Environmental Data Resources Inc

EDR Inquiry # 3053406.3

Contact: Andrew Wohlrabe

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Certified Sanborn Results:

Site Name: Creekview Commons
Address: Magnolia St & Martin Luther King Blvd
City, State, Zip: Americus, GA 31719
Cross Street:
P.O. # NA
Project: 110277.210
Certification # 30EF-4871-9AE1



Sanborn® Library search results
Certification # 30EF-4871-9AE1

UNMAPPED PROPERTY

This report certifies that the complete holdings of the Sanborn Library, LLC collection have been searched based on client supplied target property information, and fire insurance maps covering the target property were not found.

The Sanborn Library includes more than 1.2 million Sanborn fire insurance maps, which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

The Sanborn Library LLC Since 1866™

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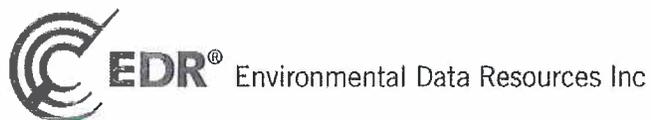
Creekview Commons

Magnolia St & Martin Luther King Blvd
Americus, GA 31719

Inquiry Number: 3053406.4

April 27, 2011

EDR Historical Topographic Map Report



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EDR Historical Topographic Map Report

Environmental Data Resources, Inc.s (EDR) Historical Topographic Map Report is designed to assist professionals in evaluating potential liability on a target property resulting from past activities. EDRs Historical Topographic Map Report includes a search of a collection of public and private color historical topographic maps, dating back to the early 1900s.

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with any questions or comments.

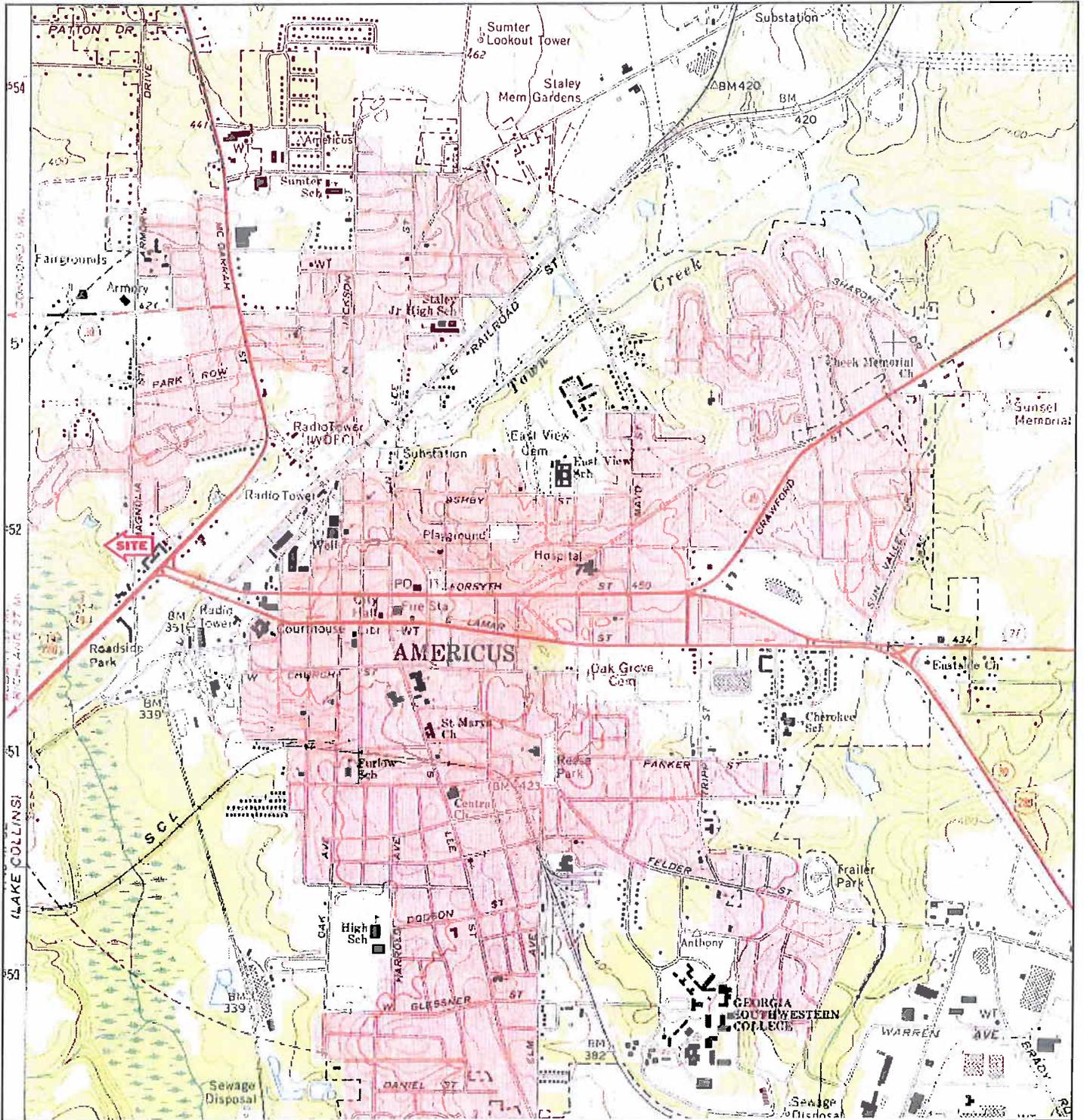
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Historical Topographic Map



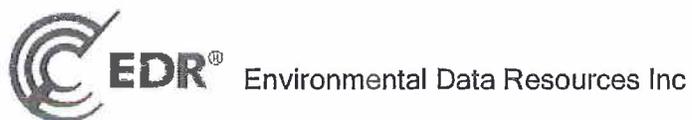
 N	TARGET QUAD NAME: AMERICUS MAP YEAR: 1973	SITE NAME: Creekview Commons ADDRESS: Magnolia St & Martin Luther King Blvd Americus, GA 31719	CLIENT: Geotechnical & Envtl. Cons. CONTACT: Andrew Wohlrabe INQUIRY#: 3053406.4 RESEARCH DATE: 04/27/2011
	SERIES: 7.5 SCALE: 1:24000	LAT/LONG: 32.0745 / -84.2474	

Creekview Commons

100 Martin Luther King Blvd
Americus, GA 31719

Inquiry Number: 3053406.6
April 27, 2011

The EDR-City Directory Abstract



440 Wheelers Farms Road
Milford, CT 06461
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Executive Summary

Findings

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EXECUTIVE SUMMARY

DESCRIPTION

Environmental Data Resources, Inc.'s (EDR) City Directory Abstract is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Abstract includes a search and abstract of available city directory data. For each address, the directory lists the name of the corresponding occupant at five year intervals.

RESEARCH SUMMARY

The following research sources were consulted in the preparation of this report. An "X" indicates where information was identified in the source and provided in this report.

<u>Year</u>	<u>Source</u>	<u>TP</u>	<u>Adjoining</u>	<u>Text Abstract</u>	<u>Source Image</u>
1990	Johnson's City Directory	-	-	-	-
1980	Johnson's City Directory	-	-	-	-
1972	Mullin-Kille's City Directory	-	-	-	-
1966	Mullin-Kille's City Directory	-	-	-	-

FINDINGS

TARGET PROPERTY INFORMATION

ADDRESS

100 Martin Luther King Blvd
Americus, GA 31719

FINDINGS DETAIL

Target Property research detail.

No Addresses Found

FINDINGS

ADJOINING PROPERTY DETAIL

The following Adjoining Property addresses were researched for this report. Detailed findings are provided for each address.

No Addresses Found

FINDINGS

STREET NOT IDENTIFIED IN RESEARCH SOURCE

The following Streets were researched for this report, and the Streets were not identified in the research source.

Street Researched

Martin Luther King Blvd

Street Not Identified in Research Source

1990, 1980, 1972, 1966

ADJOINING PROPERTY: ADDRESSES NOT IDENTIFIED IN RESEARCH SOURCE

The following Adjoining Property addresses were researched for this report, and the addresses were not identified in research source.

Address Researched

Martin Luther King Blvd

Address Not Identified in Research Source

No Years Found

**APPENDIX D:
Title Company/ Professional
Documentation**

CHAIN OF OWNERSHIP REVIEW
(for Environmental Phase 1 purposes)

Job # 110277.210

Date: 6/6/11

Tax Parcel #: 27-1-3

Owner: Paul Howard Johnson, Jr. & George Randolph Johnson as Trustees

Address: -----

Location: Land Lot 154 of the 27th District of Sumter County

++++Assessors records indicate the site is composed of 52 acres and is currently reported as vacant.

++The deed record indicated the site was an assemblage of properties made by J. H. Shumake in the late 1930's and early 1940's. The property remained in the Shumake family until sold to (Paul) Howard Johnson in the late 1990's and remains in the Johnson family today.

— Please note that a small portion of the large tract (Record "A2") came from the owner of the corner lot in the southeast of the property which appears to have had a filling station and other businesses on it. (This property was also owned by Paul Johnson at one time).

— There are a number of easements, right of ways, agreements, etc. which were reviewed.

— The deed record did not indicate past or present property use on the site.

= No Environmental Liens found in the deed record filed against this property =

=No Activity or Use Limitations or Engineering Controls found filed in the deed record due to conditions related to this site=

Chain of Ownership for Tax Parcel 27-1-3

Record #	Instrument Date	Instrument Type	Grantor	Grantee	Property Description / Notes	Book / Page
A1	7/16/1936	WD	Mrs. Louise H. Fain, Mrs. Flora H. Duncan & Mrs. May L. Brown	J.H. Shumake		19/337
A2	10/3/1939	WD	C.T. Pope	J.H. Shumake	Triangular Piece	24/32
A3-A	7/24/1901	QC	Henry R. Johnson Uriah R. Harrold	Uriah R. Harrold	Magnolia Dell Property	JJ/100
A3-B	12/9/1937	Heirs	The Hliers in Law of U.B Harrold	Frank B. Harrold	Tract	15/78
A3-C	9/10/1941	WD	Frank P. Harrold	J.H. Shumake	Tract	26/308
B1	10/15/1999	QC	Mary L. South, Angie S. Haney W. Allen Shumake, Jr. & Melanie S. Hawkins	Howard Johnson	1/16 each interest in tract	596/181
B2	10/12/1999	QC	Leonara B. Shumake	Howard Johnson	1/8 interest in tract	596/179
B3	10/15/1999	QC	Robert Lee Shumake	Howard Johnson	¼ interest in tract	596/177
B4	10/15/1999	QC	Henry Grady S Shumake	Howard Johnson	3/8 interest in tract	596/175
C	9/22/2009	WD	Paul Howard Johnson, Jr. George Randolph Johnson as co-executors of the estate of Paul Howard Johnson, Jr.	Paul Howard Johnson, Jr. George Randolph Johnson as Trustees under that certain Testamentary trust as contained in item VI of the Last Will and Testament of Paul Howard Johnson, Sr.	Tract 2 in deed identified as tax parcel 27-1-3	1160/60

002499

BOOK 1160 PAGE 60

PT-51 129-200-9-000698
 SUMTER COUNTY, GEORGIA
 REAL ESTATE TRANSFER TAX
 PAID \$ 0
 DATE 9-22-09
Joy Marchbanks
 DEPUTY CLERK OF SUPERIOR COURT

AFTER RECORDING RETURN TO:
 Russ F. Barnes
 P.O. Box 1043
 Americus, GA 31709
 File No. 10293B

GEORGIA, SUMTER COUNTY
 FILED FOR RECORD ON
SEPT 22, 2009
 TIME 4:15p BOOK 1160 PAGE 60-63
 RECORDED 9-22-09
Joy Marchbanks
 DEPUTY CLERK OF SUPERIOR COURT

EXECUTOR'S DEED

STATE OF GEORGIA

COUNTY OF SUMTER

THIS INDENTURE, made this 22nd day of Sept, 2009, between PAUL HOWARD JOHNSON, JR. and GEORGE RANDOLPH JOHNSON, AS CO-EXECUTOR'S OF THE ESTATE OF PAUL HOWARD JOHNSON, SR., late of the State of Georgia, and County of Sumter, deceased, of the first part (hereinafter called "Grantor") and PAUL HOWARD JOHNSON, JR. and GEORGE RANDOLPH JOHNSON, as TRUSTEES UNDER THAT CERTAIN TESTAMENTARY TRUST AS CONTAINED IN ITEM VI OF THE LAST WILL AND TESTAMENT OF PAUL HOWARD JOHNSON, SR. of the second part (hereinafter called "Grantee"); the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits:

WITNESSETH: That the said Grantor (acting under and by virtue of the power and authority contained in the said will, the same having been duly probated and recorded in the Court of Probate of Sumter County, Georgia), for and in consideration of the sum of TEN DOLLARS (\$10.00) and other valuable consideration, in hand paid, at and before the sealing and delivery of these presents (the receipt of which is hereby acknowledged), has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto the said Grantee, the following described property, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN BY SPECIFIC REFERENCE THERETO.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining to the only proper use, benefit and behoof of the said Grantee forever, IN FEE SIMPLE: in as full and ample a manner as the same was held, possessed and enjoyed, or might have been held, possessed and enjoyed, by the said deceased.

IN WITNESS WHEREOF, the Grantor has hereunto set their hands and seals, the day and year first above written.

Signed, sealed and delivered in the presence of:

Cindy Barnes
WITNESS

Paul Howard Johnson Jr.
PAUL HOWARD JOHNSON, JR. AS CO-EXECUTOR OF THE ESTATE OF PAUL HOWARD JOHNSON, SR.

Kathy Hardester
NOTARY PUBLIC
(Affix Notary Seal)



Signed, sealed and delivered in the presence of:

Cindy Barnes
WITNESS

George Randolph Johnson
GEORGE RANDOLPH JOHNSON AS CO-EXECUTOR OF THE ESTATE OF PAUL HOWARD JOHNSON, SR.

Kathy Hardester
NOTARY PUBLIC
(Affix Notary Seal)



Tract 1: Tax map #27-1-1 (1107 Martin Luther King, Jr. Blvd)

A certain parcel of land on which at this time are two buildings, one used as a garage and the other formerly used as a bowling alley by C. T. Pope, said parcel of land fronting 162 feet on the north side of U. S. Highway No. 19, in the City of Americus, Sumter County, GA., this portion of the said highway being known formerly as Meadowbrook Drive n/k/a Martin Luther King, Jr. Blvd. The parcel of land conveyed is better described as follows: Beginning at a point marked by an iron pin on the northwest side of the right of way of U. S. Highway No. 19, which beginning point lies 208 feet more or less on the northwest side of the right of way of said Highway No. 19 and southwest of the intersection of Magnolia Street and said highway, thence running along said highway a distance of 162 feet, more or less to an iron pin, thence at a ninety degree angle running northwest a distance of 44 feet, more or less, along the property line of J. H. Shumake to an iron pin, thence running in a northerly direction a distance of 210 feet, more or less, along the property line of J. H. Shumake to an iron pin, thence running southeasterly a distance of 171.5 feet, more or less, in a line at approximately a right angle to Highway No. 19 to an iron pin which is the POINT OF BEGINNING. This piece of property fronts 162 feet on the northwest side of U. S. Highway No. 19 and runs back at right angles from said highway and is 44 feet more or less, on the southwest side and 171.5 feet, more or less, on the northeast side with the back line being at an angle of 134 degrees 45' off of the southwest line and the back line measuring 210 feet, more or less, and running in a northerly direction. This property is bounded now or formerly as follows: on southeast by U. S. Highway No. 19; on the southwest by property of J. H. Shumake; on the west by property of J. H. Shumake; and on the northeast by property of C. T. Pope. Together with all buildings and improvements located thereon. The above measurements have reference to a plat made of the property by C. T. Pope by S. S. Hudson in October, 1939, and recorded in Book 36, Page 73, Sumter County Deed Records. Being the same property conveyed to P. Howard Johnson by that certain Deed recorded in Deed Book 60, Page 265 and recorded in the aforementioned deed records and incorporated herein by specific reference thereto.

Tract 2: Tax map # 27-1-3 (Magnolia Street / Martin Luther King, Jr. Blvd)

Starting at a point on the north side of State Aid Road Number Three (#3) and Federal Aid Road number Nineteen (#19) and known as some of the Magnolia Dell property in Americus, Georgia, which point is the intersection of the right-of-way line of said road and the abandoned east bank of Muckalee Creek and which point is one hundred (100) feet north from the center of said highway, and running two hundred and forty (240) feet, more or less, in a Northeasterly direction along said right-of-way of said highway; thence fifty (50) feet in a southerly direction along said right-of-way of said highway; thence four hundred and eighty (480) feet, more or less, along said right-of-way of said highway in a northeasterly direction to an iron stake placed at a point where this land being conveyed and other land belonging to J. H. Shumake meet; thence in a northwesterly direction along a fence on line between this land being conveyed and land belonging to J. H. Shumake a distance of eight hundred and eight (808) feet, more or less, to a cement stake located on or near the east bank of the present run of Muckalee Creek; thence in a southerly direction five hundred and twelve (512) feet, more or less, along east bank of present run and the abandoned run of Muckalee Creek to the starting point. Said tract being in the shape of a triangle, bounded now or formerly as follows: on the south by said Number Three (#3) Highway, on the west by the abandoned and present run of Muckalee Creek, on the north by land owed by J. H. Shumake. This being part of land conveyed by Frank P. Harrold, by heirs to his father's estate, (U.B. Harrold) and recorded in Book No. 15, Pages 78 and 79, December 10, 1932, Sumter Superior Court and dated December 9, 1932.

Tract 3: Tax map #24-1-16 and tax map #2702-177-2 (Spring Street and U. S. Hwy 19 South)

That certain tract or parcel of land consisting of 2.77 acres, with all improvements thereon, lying and being in Land Lot 177 of the 27th Land District of Sumter County, Georgia, all as shown more particularly on that certain plat of survey entitled "Survey for Howard Johnson" dated February 10, 1998, recorded in Plat Cabinet C, Slide 11-H in the Office of the Clerk of Superior Court of Sumter County, Georgia. All as more particularly described as follows: START at the intersection of the east right of way line of U.S. 19 (State Route 3) with the south line of Land Lot 177 of the 27th Land District of Sumter County, Georgia, and run thence North 03 degrees 54 minutes 10 seconds west a distance of 359.18 feet to a point, which is the POINT OF BEGINNING of the property described herein. From said POINT OF BEGINNING, run thence North 07 degrees 18 minutes 02 seconds west a distance of 191.98 feet to a point; thence turn right and run North 82 degrees 56 minutes 52 seconds east a distance of 10.00 feet to a point; thence turn left and run North 07 degrees 03 minutes 08 seconds west a distance of 184.52 feet to a point; thence run North 20 degrees 55 minutes 04 seconds east a distance of 69.78 feet to a point; thence run North 52 degrees 30 minutes 05 seconds east a

distance of 198.85 feet to a point; thence turn right and run South 18 degrees 53 minutes 08 seconds east a distance of 213.22 feet to a point; thence run South 07 degrees 00 minutes 58 seconds east a distance of 350.45 feet to a point; thence turn right and run South 87 degrees 27 minutes 20 seconds west a distance of 257.62 feet to a point, which is the POINT OF BEGINNING of the property described herein.

LESS AND EXCEPT THE FOLLOWING:

ALL that certain tract or parcel of land containing in the aggregate 0.58 acres, situate, lying and being located in Land Lot 177 of the 27th Land District of Americus, Sumter County, Georgia all as more particularly described as follows:

(Parcel 1:) ALL that tract or parcel of land lying and being in Land Lot 177 of the 27th Land District of Sumter County, Georgia, being more particularly described as follows: Beginning at a point 71.43 feet right of and opposite Station 374+11.666 on the construction centerline of U.S. 19/S.R. 3 on Georgia Highway Project No. EDS-19(51); running thence North 4 degrees 31 minutes 07.9 seconds west a distance of 191.90 feet to a point 75.88 feet right of and opposite station 376+03.511 on said construction centerline laid out for U.S. 19/S.R. 3; thence North 87 degrees 08 minutes 18.6 feet east a distance of 6.95 feet to a point 82.82 feet right of and opposite station 376+03.149 on said construction centerline laid out for U.S. 19/S. R. 3; thence North 84 degrees 08 minutes 44.1 seconds east a distance of 17.18 feet to a point 100.00 feet right of and opposite station 376+03.150 on said construction centerline laid out for U.S. 19/S.R. 3; thence South 5 degrees 50 minutes 59.4 seconds east a distance of 194.15 feet to a point 100.00 feet right of and opposite station 374+08.990 on said construction centerline laid out for U.S. 19/S.R. 3; thence South 89 degrees 30 minutes 02.3 seconds west a distance of 28.70 feet back to the point of beginning. Containing 0.117 acres more or less.

(Parcel 2:) ALL that tract or parcel of land lying and being in Land Lot 177 of the 27th Land District of Sumter County, Georgia, being more particularly described as follows: Beginning at a point 127.01 feet right of and opposite Station 10+50.925 on the construction centerline of U.S. 19/S. R. 3 on Georgia Highway Project No. EDS-19(51); running thence North 5 degrees 34 minutes 52.3 seconds west a distance of 61.47 feet to a point 66.57 feet right of and opposite station 10+62.124 on said construction centerline laid out for U. S. 280 East; thence North 22 degrees 22 minutes 18.0 seconds east a distance of 70.00 feet to a point 11.75 feet right of and opposite station 11+.5.654 on said construction centerline laid out for U.S. 280 East; thence North 54 degrees 04 minutes 00.9 seconds east a distance of 197.92 feet to a point; 46.88 feet left of and opposite station 12+99.892 on said construction centerline laid out for U.S. 280 East; thence South 17 degrees 30 minutes 54.8 seconds east a distance of 117.82 feet to a point 70.00 feet right of and opposite station 12+85.230 on said construction centerline laid out for U.S. 280 East; thence South 69 degrees 52 minutes 02.0 seconds west a distance of 108.75 feet to a point 70.00 feet right of and opposite station 11+86.280 on said construction centerline laid out for U.S. 280 East; thence South 73 degrees 55 minutes 16.4 seconds west a distance of 56.29 feet to a point 70.00 feet right of and opposite station 11+30.000 on said construction centerline laid out for U.S. 280 East; thence South 38 degrees 07 minutes 55.7 seconds west a distance of 97.48 feet back to the point of beginning. Containing 0.463 acres more or less. Also granted is the right to an easement for the construction of a driveway as shown and said easement expires upon completion and final acceptance of said project by the Department of Transportation.

Recorded
9/22/09
Jay Marchbanks
Deputy Clerk

STATE HIGHWAY DEPARTMENT OF GEORGIA

HP-114
All references in this document shall refer to copies of these documents
of to the Department of State Highway Department of Georgia
County Highway Department of Georgia Department of Georgia
Highway Department of Georgia Department of Georgia
Pink - County Court House

Yellow - General Office
Blue - Division Engineer
Green - Field Inspector



Division No. 3
State Hwy. No. 3 (US 19)
State Project No. GSB-2-1787-A (10)
County Sumter
Parcel No. 972-2-261

TEMPORARY CONDITIONAL PERMIT FOR COMMERCIAL DRIVEWAY

Owner Howard Johnson
Name
P.O. Address
Methen's Mill Road, Americus, Georgia

Location of Property SR 3 & US 19 Sumter Project GSB-2-1787-A (10) Sumter County
State Highway No. County Described Location

beginning at Sta. 67 + 40 and ending at Sta. 69 + 00

The attached plan, a part of this agreement, shows the following features of the owner's entrance failing to conform with the State Highway Board's Rules and Regulations for the Control and Protection of State Highway Rights-of-Way.

A 6 inch Header Curb has been installed 1.5 feet inside of the R/W (existing R/W being 50'), permitting Howard Johnson to use this 1.5 feet of the Department of Transportation R/W.

The undersigned owner, in consideration of permission hereby granted by the State Highway Board to use temporarily a portion or portions of the highway right-of-way in the manner described above in violation of the said Rules and Regulations, AGREES to make no extensions, major repairs or replacements to the features shown above in violation of the said Rules and Regulations or to take any action tending to perpetuate this violation. Should the owner, the lessee or others fail to conform to this agreement, the Highway Department shall consider such failure evidence of the refusal to comply with the State Highway Board's regulations for the protection of highway right-of-way as required in conformance with State law. The State Highway Engineer may instruct Highway Department personnel to clear the right-of-way of encroachments and install traffic controls regardless of the interference with the site's business or the inconvenience such actions may cause; or the enforcement of the Highway Board's regulations may be referred to the State's Attorney General. It is understood that the provisions of this agreement are applicable to the site and binding upon any and all successors in ownership, lessees and tenants.

Signed this 7 day of July 1972

Executed in the presence of:
Sara M. Jackson Notary Public

Howard Johnson
Owner

Witness
Chas. L. Blythe

Signed this day of 1972
Executed in the presence of:

Notary Public

Tenant or Lessee

RECORDED

Signed for the State Highway Department of Georgia
as Agent for the State Highway Board of Georgia,

Date 10-3-72

This 3rd day of September 1972

Betty Jackson, Notary Public

J.P. Blythe
State Highway Engineer

Recorded above Permit, October 3, 1972.

Betty Jackson

of all persons whomsoever.

In Witness Whereof, The first party has signed, sealed and delivered these presents, the day and year first above written. Signed, sealed and delivered in the presence of: Adela Ethridge, Wingate Dykes, Notary Public, Sunter County, Georgia. Harry G. Powers, (\$2.50 Rev. Stamps Can)

Recorded above Deed September 30th, 1939.

Handwritten signature

STATE OF GEORGIA SUNTER COUNTY.

THIS INDENTURE, MADE the 3rd day of October in the year of our Lord One Thousand Nine Hundred and Thirty Nine between -- C. T. Pope-- of the County of Sunter and State of Georgia of the FIRST PART, and -- J. H. Shumake -- of the County of Sunter and State of Georgia of the SECOND PART, WITNESSETH, That the said party of the FIRST PART, for and in consideration of the sum of -- Ten and No/100 (\$10.00) and other considerations -- Dollars, in hand paid, by said second party at and before the sealing, delivery of these presents the receipt whereof is hereby acknowledged, has granted, bargained, aliened, conveyed and by these presents, do grant, bargain, sell, alien, and convey unto the said party of the SECOND PART, his heirs and assigns, all the following described property, to-wit:

A certain City Lot facing 50 feet East on the American, Albany Highway in the City of Americus, Sunter County, Georgia, in the shape of a triangle, the apex of which points South and the Base of said triangle being 44 feet and adjoining the C. T. Pope filling station on said Highway and more particularly described as follows: Commencing at an iron stake on the North side of the J. H. Shumake Blacksmith property on said highway and running from thence North along the West side of said highway a distance of 50 feet to an iron stake, thence West along the C. T. Pope Filling Station property a distance of 44 feet to an iron stake, thence in a Southeasterly direction a distance of 69 feet to the starting point and bounded as follows: East by said public highway;

FYI South by J. H. Shumake property; West by J. H. Shumake property and North by C. T. Pope Filling Station Property. FYI

TO HAVE AND TO HOLD the said premises, with all and singular the rights, members and appurtenances thereunto appertaining to the said party of the SECOND PART, in FEE-SIMPLE; Party of first part warrants the title to said lands against the lawful claims of all persons. IN WITNESS WHEREOF, the said party of the FIRST PART has hereunto set his hand, affixed his seal, and delivered these presents this the day and year first above written.

Signed, sealed and delivered in presence of: Agnes Mitchell; H. O. Jones, W. P. S. C. Ga. C. T. Pope (Seal) (Revenue Stamp 50¢ Cancelled)

Recorded above Warranty Deed, October 3rd, 1939.

Handwritten signature

For Off of Decent See App 546 pg 173 (10/8/39)

BOOK 596 173

GEORGIA, Sumter County

Filed for record in Clerk's Office

Superior Court, at 2:30 P.M.

10/18 1999 and

Recorded in Book 596 Page 173-74

10/22 1999

Ramie Parker Clerk

004811

After recording return to:

JOHN V. HARPER
HARPER & BARNES, P.C.
P. O. Box 1043
Americus, GA 31709

AFFIDAVIT OF DESCENT

STATE OF GEORGIA

COUNTY OF SUMTER

RE: Property of J. H. Shumake, deceased
Deed Book 19, Page 337
Deed Book 24, Page 32
Deed Book 26, Page 308
Sumter County Deed Records

The undersigned Deponent, being duly sworn, deposes and says on oath that he, HENRY GRADY SHUMAKE is the son of J. H. Shumake, deceased; that J. H. Shumake, deceased died intestate, a resident of Sumter County, Georgia in 1944, owning the above-captioned property, that all debts of his estate have been paid; that said decedent was married only one time as follows: NANCY L. SHUMAKE.

Deponent further says on oath that the following are all the children ever born or adopted by said decedent: JOHN H. SHUMAKE, JR., WYATT SHUMAKE, HENRY GRADY SHUMAKE and E. MURRAY SHUMAKE (who died at the age of five years on August 18, 1920 without issue).

Deponent further says on oath that the decedent's son, JOHN H. SHUMAKE, JR., died on June 2, 1974, testate, leaving as issue one son, ROBERT LEE SHUMAKE who is of age and sound mind.

HARPER & BARNES, P.C.
ATTORNEYS AT LAW
137 THOMAS DRIVE
POST OFFICE BOX 1043
AMERICUS, GEORGIA
31709
TELEPHONE: 912/724-1900
FACSIMILE: 912/724-0111

Deponent further states that decedent's wife, NANCY L. SHUMAKE , died on October 28, 1981, intestate leaving two living children, to wit: HENRY GRADY SHUMAKE and WYATT SHUMAKE, who are of age and sound mind.

Deponent further states that decedent's son, WYATT SHUMAKE, died on July 7, 1998, intestate, leaving his wife, LEONORA SHUMAKE, and their four children, to wit: MARY L. SOUTH, ANGIE S. HANEY, W. ALLEN SHUMAKE, JR. and MELANIE S. HAWKINS, who are of age and sound mind, to inherit his interest in the property.

Deponent's attention has been directed to the fact that the within affidavit will be relied upon by prospective purchasers or lenders dealing with the heirs herein named.

Henry Grady Shumake
HENRY GRADY SHUMAKE

Sworn to and subscribed
before me this 26th day
of October, 1999

Kevin J. Hill
NOTARY PUBLIC

Affix Seal

Commission expires:



HARPER & BARNES, P.C.
ATTORNEYS AT LAW
137 THOMAS DRIVE
POST OFFICE BOX 1043
AMERICUS, GEORGIA
31709
TELEPHONE: 912/924-1000
FACSIMILE: 912/924-0121

Recorded
10/22/99
Kevin Barnes
Deputy Clerk

AFFIDAVIT OF DESCENT

STATE OF GEORGIA

COUNTY OF SUMTER

BOOK 113 PAGE 341

The undersigned Deponent, being duly sworn, deposes and says on oath that he was personally acquainted with John H. Shumake, Sr., deceased, over a period of twenty-one years; that Deponent is related to said decedent (as his son); that said decedent died intestate, a resident of the City of Americus, County of Sumter, State of Georgia, on the 24th day of November, 1944, and all debts of the estate have been duly paid; that said decedent was married only one time as follows:

Mrs Nancy L. Shumake Age 79, Americus, Georgia

Deponent further says on oath that the following are all the children ever born to or adopted by said decedent:

John H. Shumake, Jr. Age 52, Americus, Georgia
Wyatt Shumake Age 50, Americus, Georgia
Henry Grady Shumake Age 47, Americus, Georgia
E. Murray Shumake, who died at the age of five years on August 18, 1920 without issue.

Deponent further says on oath that the living persons above named constitute all the heirs at law of said decedent, and that all of said heirs are of age and sound mind.

Deponents attention has been directed to the fact that the within Affidavit will be relied upon by prospective purchasers or lenders dealing with the heirs herein named.

H. Grady Shumake
H. Grady Shumake

Sworn to and subscribed before me this 29th day of April, 1971.

Robert A. Raven
Notary Public
Notary Public, Georgia State at Large
My Commission Expires April 1, 1973

CRISP & OXFORD, OLD CITIZENS BANK BUILDING, AMERICUS, GEORGIA

SEWER LINE EASEMENT

STATE OF GEORGIA

COUNTY OF SUMTER

113 P. 342

THIS AGREEMENT made and entered into this 28th day of April, 1971, by and between Nancy L. Shumake, Widow of John H. Shumake, Sr., John H. Shumake, Jr., H. Grady Shumake and Wyatt Shumake of Sumter County, Georgia, as party of the first part, and The Mayor and City Council of Americus hereinafter referred to as party of the second part.

WITNESSETH:

For and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, receipt whereof is hereby acknowledged, the party of the first part has this day bargained and sold and by these presents does grant, bargain, sell and convey unto the party of the second part a permanent easement and right of way, including perpetual right to enter upon the real estate hereinafter described at any time and construct, maintain and repair sewer lines over, across, through and under the lands hereinafter described, together with the right to excavate and refill ditches and/or trenches for the location of said sewer lines and all mains, and the further right to remove the trees, bushes, undergrowth and other obstructions interfering with the location, construction and maintenance of said sewer lines and all appurtenances thereto. The land affected by the grant of this easement and right of way is located in Americus, Sumter County, Georgia, more particularly described as follows:

START at the center of a manhole located in Meadowbrook Drive immediately South of the intersection of Meadowbrook Drive and Magnolia Street and run thence along the center line of Magnolia Street North 5° 49' West 285.5 feet; thence South 76° 43' West 15.6 feet to the back of the curb line on the West side of Magnolia Street; thence South 76° 43' West 239.7 feet; thence North 37° West 15.5 feet to the property line of Shumake and the POINT OF BEGINNING, thence North 17° West 334.5 feet; thence North 54° 17' West 250 feet; thence North 43° 23' West 200 feet; thence

CRISP & OXFORD, OLD CITIZENS BANK BUILDING, AMERICUS, GEORGIA

South 78° 45' West 235 feet; thence North 71° 26' West 363 feet to the property of Home Development Company, which is the termination of the perpetual and construction easement granted herein. Said land situate, lying and being in the City of Americus, Sumter County, Georgia

The easement and right of way for construction purposes covers the strip of land fifteen (15) feet each side of the above center line, and for maintenance purposes five (5) feet each side of the above center line.

TO HAVE AND TO HOLD the said easement and right of way unto the said party of the second part forever. Party of the first part does hereby covenant with party of the second part that they have good and lawful title to said property and right to convey same and that it is free and clear of all liens and encumbrances, and they will forever warrant and defend the title thereto against the lawful claims of all persons whomsoever. As part of the consideration for this grant, party of the first part does hereby release party of the second part from any and all claims for damages from whatever cause incidental to the exercise of the rights herein granted. The party of the first part is to have the rights to connect to said sewer line at desired locations in keeping with rules, regulations and requirements established by the Mayor and City Council of Americus.

IN WITNESS WHEREOF the party of the first part has hereunto set their hands and affixed their seals this the day and year first above written.

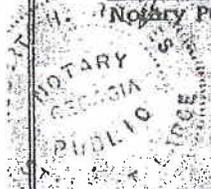
Nancy I. Shumake
Nancy I. Shumake

Signed, sealed and delivered

in the presence of:

Mrs. Phil Guest

Robert A. Revere
Notary Public, State of Georgia



Notary Public, Georgia State at Large
My Commission Expires April 1, 1973

CRISP & OXFORD, OLD CITIZENS BANK BUILDING, AMERICUS, GEORGIA



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Owner and Parcel Information

Owner Name	JOHNSON JR PAUL HOWARD	Today's Date	April 27, 2011
Mailing Address	& JOHNSON, GEORGE RANDOLPH	Parcel Number	27 1 3
	136 WOLF CREEK DRIVE AMERICUS, GA 31719	Tax District	AMERICUS (District 16)
Location Address		2010 Millage Rate	29.600
Legal Description	52 ACRES	Acres	52
Class Code(NOTE: Not Zoning Info)	A5-Agricultural	Neighborhood	
Zoning		Homestead Exemption	No (50)
Landlot/District	/27	Parcel Map	Show Parcel Map
Water	Public	Sewer	Public Sewer
Electric		Gas	Pipa Gas
Topography	Rolling	Drainage	Fair
Road Class	City	Parcel Road Access	Paved

2010 Tax Year Value Information

Land Value	Improvement Value	Accessory Value	Total Value	Previous Value
\$ 84,500	\$ 0	\$ 0	\$ 84,500	\$ 84,500

Land Information

Type	Description	Calculation Method	Acres	Photo
RES	MLK BLVD - \$20000 AC (548)	Acres	3	NA
RES	MLK BLVD - \$1000 AC (655)	Acres	49	NA

Improvement Information

No Improvement Information associated with this parcel.

Accessory Information

Description	Year Built	Dimensions/Units	Value
No accessory Information associated with this parcel.			

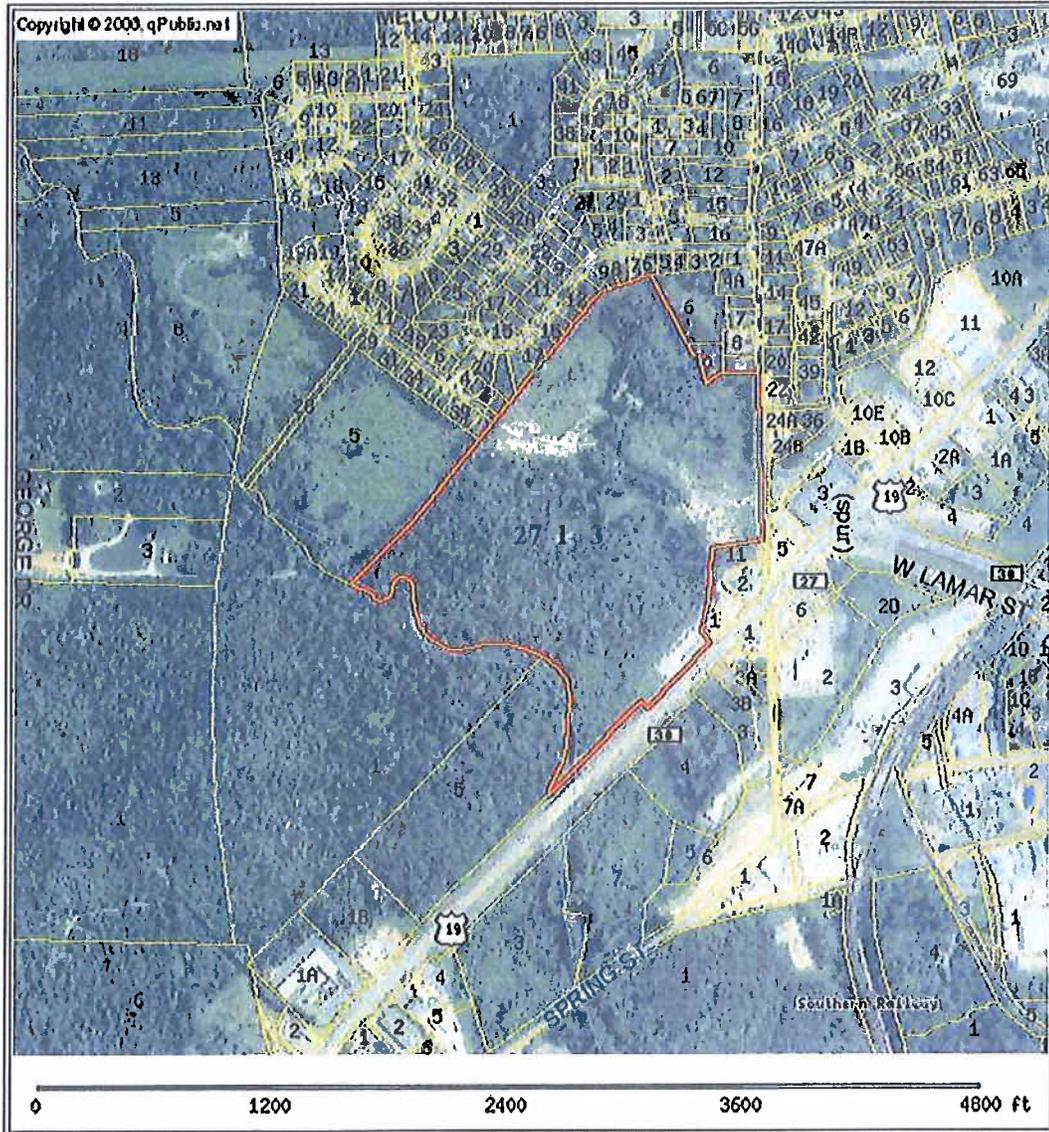
Sale Information

Sale Date	Deed Book	Plat Page	Price	Reason	Grantor	Grantee
09-22-2009	1160 60		\$ 0	Estate	JOHNSON, HOWARD	JOHNSON JR, PAUL HOWARD
10-15-1999	596 175		\$ 140,000	Land Market Sale	SHUMAKE, MRS J H	JOHNSON, HOWARD
09-01-1941	26 308		\$ 0	Old Sale		SHUMAKE, MRS J H

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The Assessor's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll. Website Updated: April 22, 2011

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PARCEL INFORMATION TABLE

Selected Parcel	27 1 3		
Class Code (NOTE: Not Zoning Info)	A5		
Taxing District	AMERICUS		
Acres	52		
OWNERSHIP INFORMATION			
Name	JOHNSON JR PAUL HOWARD & JOHNSON, GEORGE RANDOLPH		
Mailing Address	136 WOLF CREEK DRIVE AMERICUS, GA 31719		
Situs/Physical Address	0		
VALUES			
Land Value	\$84,500.00		
Improvement Value	\$0.00		
Accessory Value	\$0.00		
Total Value	\$84,500.00		
LAST 2 SALES			
Date	Price	Reason	Qual
09-2009	\$0	ES	U
10-1999	\$140,000	LM	Q

APPENDIX E
Non-Scope Testing

(Lead based paint, Lead in soil, Lead in water, Asbestos, Radon,
Vapor Encroachment)

GEC



ANALYTICAL ENVIRONMENTAL SERVICES, INC.

June 10, 2011

Brandon Stuart
GeoTechnical & Env. Consultants, Inc.
514 Hillcrest Industrial Blvd
Macon GA 31204

TEL: (478) 757-1606
FAX: (478) 757-1608

RE: Americus DCA Site: Creekview

Dear Brandon Stuart:

Order No: 1105P22

Analytical Environmental Services, Inc. received 8 samples on 5/31/2011 10:20:00 AM for the analyses presented in following report.

No problems were encountered during the analyses. Additionally, all results for the associated Quality Control samples were within EPA and/or AES established limits. Any discrepancies associated with the analyses contained herein will be noted and submitted in the form of a project Case Narrative.

AES' certifications are as follows:

- NELAC/Florida Certification number E87582 for analysis of Environmental Water, soil/hazardous waste, and Drinking Water Microbiology, effective 07/01/10-06/30/11.
- AIHA Certification ID #100671 for Industrial Hygiene samples (Organics, Inorganics), Environmental Lead (Paint, Soil, Dust Wipes, Air), and Environmental Microbiology (Fungal) effective until 09/01/11.

These results relate only to the items tested. This report may only be reproduced in full.

If you have any questions regarding these test results, please feel free to call.

Chantelle Kanhai
Project Manager



ANALYTICAL ENVIRONMENTAL SERVICES, INC
 3785 Presidential Parkway, Atlanta GA 30340-3704
 AFS TEL: (770) 457-8177 / TOLL-FREE (800) 972-4889 / FAX: (770) 457-8188

CHAIN OF CUSTODY

Work Order: 11050222

Date: _____ of _____

#	SAMPLE ID	SAMPLED		Grab	Composite	Matrix (See codes)	ANALYSIS REQUESTED		REMARKS	No. of Containers
		DATE	TIME				PRESERVATION (See codes)			
1	AMERICUS HSE-2 A9B	5-16-11	2:11	✓	✓	Soil				
2	AMERICUS B-1		2:17	✓	✓	Soil				
3	AMERICUS B54		2:08	✓	✓	Soil				
4	AMERICUS HSE-2 C9D		2:11	✓	✓	Soil				
5	AMERICUS HSE-1 A9B		2:47	✓	✓	Soil				
6	AMERICUS HSE-1 C4D		2:49	✓	✓	Soil				
7	AMERICUS B-2		2:55	✓	✓	Soil				
8	AMERICUS B-3		3:00	✓	✓	Soil				
9										
10										
11										
12										
13										
14										

RELINQUISHED BY: <i>J. Bullock</i>	DATE/TIME: 5/27/10	RECEIVED BY: <i>Mufc</i>	DATE/TIME: 5/31/11 10:00
PROJECT NAME: AMERICUS DEASIE, Creekview		PROJECT #: 110277.210	
SITE ADDRESS: _____			
SEND REPORT TO: <i>Stuart@geconsultants.com</i>			
INVOICE TO: (IF DIFFERENT FROM ABOVE)			
QUOTE #: _____ PO# _____			

ADDRESS: 514 Hickory Industrial Blvd.
 Macon, GA 31204
 PHONE: 478-757-1606
 SAMPLED BY: Brandon Stuart
 SIGNATURE: *J. Bullock*
 FAX: 478-757-1608

COMPANY: GEC
 VISIT OUR WEBSITE: www.aesatlanta.com
 TO CHECK ON THE STATUS OF YOUR RESULTS, PLACE BOTTLE ORDERS, ETC.

SAMPLES RECEIVED AFTER 3PM OR SATURDAY ARE CONSIDERED AS RECEIVED ON THE NEXT BUSINESS DAY. IF NO TAT IS MARKED ON COC AES WILL PROCEED AS STANDARD TAT.
 MATRIX CODES: A - Air GW = Groundwater SE = Sediment SO = Soil SW = Surface Water W = Water (Blanks) O = Other (specify)
 PRESERVATIVE CODES: H+1 = Hydrochloric acid + ice I = Ice only N = Nitric acid S+I = Sulfuric acid + ice S+M-I = Sodium Disulfate/Methanol + ice O = Other (specify) NA = None
 STATE PROGRAM (if any): _____ E-mail? Y/N, Fax? Y/N
 DATA PACKAGE: I II III IV
 Turnaround Time Request: Standard 5 Business Days 2 Business Day Rush Next Business Day Rush Same Day Rush (auth req.) Other

White Copy - Original; Yellow Copy - Client

Analytical Environmental Services, Inc

Date: 10-Jun-11

Client: GeoTechnical & Env. Consultants, Inc.	Client Sample ID: AMERICUS HSE-2 A&B
Project Name: Americus DCA Site: Creekview	Collection Date: 5/16/2011 2:11:00 PM
Lab ID: 1105P22-001	Matrix: Soil

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
METALS, TOTAL SW6010C					(SW3050B)			
Lead	18.4	4.75		mg/Kg-dry	147127	1	06/03/2011 17:30	MW
PERCENT MOISTURE D2216								
Percent Moisture	0.250	0		wt%	R198464	1	06/06/2011 10:00	AS

Qualifiers:	* Value exceeds maximum contaminant level	E Estimated (value above quantitation range)
	BRL Below reporting limit	S Spike Recovery outside limits due to matrix
	H Holding times for preparation or analysis exceeded	Narr See case narrative
	N Analyte not NELAC certified	NC Not confirmed
	B Analyte detected in the associated method blank	< Less than Result value
	> Greater than Result value	J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc

Date: 10-Jun-11

Client: GeoTechnical & Env. Consultants, Inc.	Client Sample ID: AMERICUS B-1
Project Name: Americus DCA Site: Creekview	Collection Date: 5/16/2011 2:17:00 PM
Lab ID: 1105P22-002	Matrix: Soil

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
METALS, TOTAL SW6010C					(SW3050B)			
Lead	71.8	4.83		mg/Kg-dry	147127	1	06/03/2011 17:34	MW
PERCENT MOISTURE D2216								
Percent Moisture	1.67	0		wt%	R198464	1	06/06/2011 10:00	AS

Qualifiers:	• Value exceeds maximum contaminant level	E Estimated (value above quantitation range)
BRL	Below reporting limit	S Spike Recovery outside limits due to matrix
H	Holding times for preparation or analysis exceeded	Narr See case narrative
N	Analyte not NELAC certified	NC Not confirmed
B	Analyte detected in the associated method blank	< Less than Result value
>	Greater than Result value	J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc

Date: 10-Jun-11

Client: GeoTechnical & Env. Consultants, Inc.	Client Sample ID: AMERICUS B4
Project Name: Americus DCA Site: Creekview	Collection Date: 5/16/2011 2:08:00 PM
Lab ID: 1105P22-003	Matrix: Soil

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
METALS, TOTAL SW6010C					(SW3050B)			
Lead	BRL	4.89		mg/Kg-dry	147127	1	06/03/2011 17:38	MW
PERCENT MOISTURE D2216								
Percent Moisture	0.746	0		wt%	R198464	1	06/06/2011 10:00	AS

Qualifiers:

- * Value exceeds maximum contaminant level
- BRL Below reporting limit
- H Holding times for preparation or analysis exceeded
- N Analyte not NELAC certified
- B Analyte detected in the associated method blank
- > Greater than Result value

- E Estimated (value above quantitation range)
- S Spike Recovery outside limits due to matrix
- Narr See case narrative
- NC Not confirmed
- < Less than Result value
- J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc

Date: 10-Jun-11

Client: GeoTechnical & Env. Consultants, Inc.	Client Sample ID: AMERICUS HSE-2 C&D
Project Name: Americus DCA Site: Creekview	Collection Date: 5/16/2011 2:11:00 PM
Lab ID: 1105P22-004	Matrix: Soil

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
METALS, TOTAL SW6010C					(SW3050B)			
Lead	9.36	4.74		mg/Kg-dry	147127	1	06/03/2011 17:41	MW
PERCENT MOISTURE D2216								
Percent Moisture	0.285	0		wt%	R198464	1	06/06/2011 10:00	AS

Qualifiers:	* Value exceeds maximum contaminant level	E Estimated (value above quantitation range)
	BRL Below reporting limit	S Spike Recovery outside limits due to matrix
	H Holding times for preparation or analysis exceeded	Narr See case narrative
	N Analyte not NELAC certified	NC Not confirmed
	B Analyte detected in the associated method blank	< Less than Result value
	> Greater than Result value	J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc

Date: 10-Jun-11

Client: GeoTechnical & Env. Consultants, Inc.	Client Sample ID: AMERICUS HSE-1 A&B
Project Name: Americus DCA Site: Creekview	Collection Date: 5/16/2011 2:47:00 PM
Lab ID: 1105P22-005	Matrix: Soil

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
METALS, TOTAL SW6010C					(SW3050B)			
Lead	24.7	5.02		mg/Kg-dry	147127	1	06/03/2011 17:45	MW
PERCENT MOISTURE D2216								
Percent Moisture	1.31	0		wt%	R198464	1	06/06/2011 10:00	AS

Qualifiers:	* Value exceeds maximum contaminant level	E Estimated (value above quantitation range)
	BRL Below reporting limit	S Spike Recovery outside limits due to matrix
	H Holding times for preparation or analysis exceeded	Narr See case narrative
	N Analyte not NELAC certified	NC Not confirmed
	B Analyte detected in the associated method blank	< Less than Result value
	> Greater than Result value	J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc

Date: 10-Jun-11

Client: GeoTechnical & Env. Consultants, Inc.	Client Sample ID: AMERICUS HSE-1 C&D
Project Name: Americus DCA Site: Creekview	Collection Date: 5/16/2011 2:49:00 PM
Lab ID: 1105P22-006	Matrix: Soil

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
METALS, TOTAL SW6010C					(SW3050B)			
Lead	67.1	5.14		mg/Kg-dry	147127	1	06/03/2011 17:55	MW
PERCENT MOISTURE D2216								
Percent Moisture	5.16	0		wt%	R198464	1	06/06/2011 10:00	AS

Qualifiers:	* Value exceeds maximum contaminant level	E Estimated (value above quantitation range)
	BRL Below reporting limit	S Spike Recovery outside limits due to matrix
	H Holding times for preparation or analysis exceeded	Narr See case narrative
	N Analyte not NELAC certified	NC Not confirmed
	B Analyte detected in the associated method blank	< Less than Result value
	> Greater than Result value	J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc

Date: 10-Jun-11

Client: GeoTechnical & Env. Consultants, Inc.	Client Sample ID: AMERICUS B-2
Project Name: Americus DCA Site: Creekview	Collection Date: 5/16/2011 2:55:00 PM
Lab ID: 1105P22-007	Matrix: Soil

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
METALS, TOTAL SW6010C					(SW3050B)			
Lead	16.0	5.40		mg/Kg-dry	147127	1	06/03/2011 17:59	MW
PERCENT MOISTURE D2216								
Percent Moisture	11.1	0		wt%	R198464	1	06/06/2011 10:00	AS

Qualifiers: * Value exceeds maximum contaminant level
 BRL Below reporting limit
 H Holding times for preparation or analysis exceeded
 N Analyte not NELAC certified
 B Analyte detected in the associated method blank
 > Greater than Result value
 E Estimated (value above quantitation range)
 S Spike Recovery outside limits due to matrix
 Narr See case narrative
 NC Not confirmed
 < Less than Result value
 J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc

Date: 10-Jun-11

Client: GeoTechnical & Env. Consultants, Inc.	Client Sample ID: AMERICUS B-3
Project Name: Americus DCA Site: Creekview	Collection Date: 5/16/2011 3:00:00 PM
Lab ID: 1105P22-008	Matrix: Soil

Analyses	Result	Reporting Limit	Qual	Units	BatchID	Dilution Factor	Date Analyzed	Analyst
METALS, TOTAL SW6010C					(SW3050B)			
Lead	10.5	4.73		mg/Kg-dry	147127	1	06/03/2011 18:07	MW
PERCENT MOISTURE D2216								
Percent Moisture	0.710	0		wt%	R198464	1	06/06/2011 10:00	AS

Qualifiers:	* Value exceeds maximum contaminant level	E Estimated (value above quantitation range)
	BRL Below reporting limit	S Spike Recovery outside limits due to matrix
	H Holding times for preparation or analysis exceeded	Narr See case narrative
	N Analyte not NELAC certified	NC Not confirmed
	B Analyte detected in the associated method blank	< Less than Result value
	> Greater than Result value	J Estimated value detected below Reporting Limit

Analytical Environmental Services, Inc.

Sample/Cooler Receipt Checklist

Client GEC

Work Order Number 1105P22

Checklist completed by [Signature] Date 5/31/11
Signature Date

Carrier name: FedEx UPS Courier Client US Mail Other

Shipping container/cooler in good condition? Yes No Not Present

Custody seals intact on shipping container/cooler? Yes No Not Present

Custody seals intact on sample bottles? Yes No Not Present

Container/Temp Blank temperature in compliance? (4°C±2)* Yes No
MJ 5/31/11

Cooler #1 Amh Cooler #2 _____ Cooler #3 _____ Cooler #4 _____ Cooler #5 _____ Cooler #6 _____

Chain of custody present? Yes No

Chain of custody signed when relinquished and received? Yes No

Chain of custody agrees with sample labels? Yes No

Samples in proper container/bottle? Yes No

Sample containers intact? Yes No

Sufficient sample volume for indicated test? Yes No

All samples received within holding time? Yes No

Was TAT marked on the COC? Yes No

Proceed with Standard TAT as per project history? Yes No Not Applicable

Water - VOA vials have zero headspace? No VOA vials submitted Yes No

Water - pH acceptable upon receipt? Yes No Not Applicable

Sample Condition: Good Other(Explain) _____ Adjusted? _____ Checked by _____

(For diffusive samples or AIHA lead) Is a known blank included? Yes No

See Case Narrative for resolution of the Non-Conformance.

* Samples do not have to comply with the given range for certain parameters.

EDR Vapor Encroachment

GEC

Creekview Commons

Magnolia Street

Americus, GA 31719

Inquiry Number: 3315626.2s

May 15, 2012

EDR Vapor Encroachment Screen

Prepared using EDR's Vapor Encroachment Worksheet



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Milford, CT 06461
Toll Free: 800.352.0050
www.edrnet.com

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Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of the ASTM Standard Practice for Assessment of Vapor Encroachment into Structures on Property Involved in Real Estate Transactions (E 2600).

	Maximum Search Distance*	Summary		
		property	1/10	1/10 - 1/3
STANDARD ENVIRONMENTAL RECORDS				
Federal NPL	0.333	0	0	0
Federal CERCLIS	0.333	0	0	0
Federal RCRA CORRACTS facilities list	0.333	0	0	0
Federal RCRA TSD facilities list	0.333	0	0	0
Federal RCRA generators list	property	0	-	-
Federal institutional controls / engineering controls registries	property	0	-	-
Federal ERNS list	property	0	-	-
State and tribal - equivalent NPL	not searched	-	-	-
State and tribal - equivalent CERCLIS	0.333	0	0	0
State and tribal landfill / solid waste disposal	0.5	0	0	0
State and tribal leaking storage tank lists	0.333	0	1	1
State and tribal registered storage tank lists	property	0	-	-
State and tribal institutional control / engineering control registries	0.5	0	0	0
State and tribal voluntary cleanup sites	0.333	0	0	0
State and tribal Brownfields sites	0.333	0	0	0
Other Standard Environmental Records	0.333	0	1	1
HISTORICAL USE RECORDS				
Former manufactured Gas Plants	0.333	0	0	0
Historical Gas Stations	not searched	-	-	-
Historical Dry Cleaners	not searched	-	-	-

*Each category may include several separate databases, each having a different search distance. For each category, the table reports the maximum search distance applied. See the section 'Record Sources and Currency' for information on individual databases.

EXECUTIVE SUMMARY

TARGET PROPERTY INFORMATION

ADDRESS

CREEKVIEW COMMONS
MAGNOLIA STREET
AMERICUS, GA 31719

COORDINATES

Latitude (North):	32.074 - 32° 4' 26.404724"
Longitude (West):	84.2457 - 84° 14' 44.509277"
Elevation:	373 ft. above sea level

EXECUTIVE SUMMARY

PHYSICAL SETTING INFORMATION

Flood Zone: YES

NWI Wetlands: YES

AQUIFLOW®

Search Radius: 0.333 Mile.

No Aquiflow sites reported.

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps. The following information is based on Soil Conservation Service STATSGO data.

Soil Component Name: TROUP

Soil Surface Texture: sand

Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.

Soil Drainage Class: Somewhat excessive. Soils have high hydraulic conductivity and low water holding capacity. Depth to water table is more than 6 feet.

Hydric Status: Hydric Status: Soil does not meet the requirements for a hydric soil.

Corrosion Potential - Uncoated Steel: LOW

Depth to Bedrock Min: > 60 inches

Depth to Bedrock Max: > 60 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Permeability Rate (in/hr)	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	53 inches	sand	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 20.00 Min: 6.00	Max: 6.00 Min: 4.50

EXECUTIVE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Permeability Rate (in/hr)	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
2	53 inches	80 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 2.00 Min: 0.60	Max: 5.50 Min: 4.50

OTHER SOIL TYPES IN AREA

Based on Soil Conservation Service STATSGO data, the following additional subordinant soil types may appear within the general area of target property.

Soil Surface Textures: loamy sand
sandy loam

Surficial Soil Types: loamy sand
sandy loam

Shallow Soil Types: loam
sandy clay loam
fine sandy loam
silt loam

Deeper Soil Types: sand
sandy loam
coarse sandy loam

EXECUTIVE SUMMARY

SEARCH RESULTS

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
GA FC/AMERICUS DIST OFC FINDS: Other Standard Environmental Records LUST: State and tribal leaking storage tank lists	243 US HWY 19 NORTH	<1/10 SE	▼ 1	10
GA DEPT PUBLIC SAFETY/GA STATE P FINANCIAL ASSURANCE: Other Standard Environmental Records LUST: State and tribal leaking storage tank lists UST: State and tribal registered storage tank lists	506 WEST LAMAR ST	1/10 - 1/3 E	▼ 2	12

HISTORICAL USE RECORDS

<u>Name</u>	<u>Address</u>	<u>Dist/Dir</u>	<u>Map ID</u>	<u>Page</u>
Not Reported				

PRIMARY MAP - 3315626.2s



- ☆ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ▼ Sites at elevations lower than the target property
- ⚙ Manufactured Gas Plants
- ⚡ Sensitive Receptors
- 🏠 National Priority List Sites
- 🏢 Dept. Defense Sites
- 🏠 Indian Reservations BIA
- 🛞 Oil & Gas pipelines from USGS
- 🌊 100-year flood zone
- 🌊 500-year flood zone
- 🌿 National Wetland Inventory
- ➡ Groundwater Flow Direction
- (GI) Indeterminate Groundwater Flow at Location
- (GV) Groundwater Flow Varies at Location

<p>SITE NAME: Creekevview Commons ADDRESS: Magnolia Street Americus GA 31719 LAT/LONG: 32.074 / 84.2457</p>	<p>CLIENT: Geotechnical & Envtl. Cons. CONTACT: Tameka Gordon INQUIRY #: 3315626.2s DATE: May 03, 2012 12:08 pm</p>
---	--

SECONDARY MAP - 3315626.2s

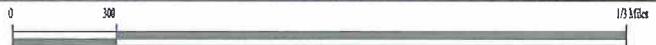


- | | | |
|--|---|---|
| <ul style="list-style-type: none"> ★ Target Property ▲ Sites at elevations higher than or equal to the target property ▼ Sites at elevations lower than the target property ⚡ Manufactured Gas Plants ☒ National Priority List Sites ☒ Dept. Defense Sites | <ul style="list-style-type: none"> ☒ Indian Reservations BIA — Contour Lines — Power transmission lines — Oil & Gas pipelines from USGS ▨ 100-year flood zone ▨ 500-year flood zone ▨ National Wetland Inventory | <ul style="list-style-type: none"> ☐ Upgradient Area |
|--|---|---|

SITE NAME: Creekview Commons
ADDRESS: Magnolia Street
 Americus GA 31719
LAT/LONG: 32.074 / 84.2457

CLIENT: Geotechnical & Env'tl. Cons.
CONTACT: Tameka Gordon
INQUIRY #: 3315626.2s
DATE: May 03, 2012 12:06 pm

AERIAL PHOTOGRAPHY - 3315626.2s



SITE NAME: Creekview Commons
ADDRESS: Magnolia Street
Americus GA 31719
LAT/LONG: 32.074 / 84.2457

CLIENT: Geotechnical & Envtl. Cons.
CONTACT: Tameka Gordon
INQUIRY #: 3315626.2s
DATE: May 03, 2012 12:09 pm

MAP FINDINGS

LEGEND

FACILITY NAME FACILITY ADDRESS, CITY, ST, ZIP			EDR SITE ID NUMBER
▼ MAP ID#	Direction Distance Range Relative Elevation	(Distance feet / miles) Feet Above Sea Level	ASTM 2600 Record Sources found in this report. Each database searched has been assigned to one or more categories. For detailed information about categorization, see the section of the report Records Searched and Currency.
Worksheet:			
Comments: Comments may be added on the online Vapor Encroachment Worksheet.			

DATABASE ACRONYM: Applicable categories (A hoverbox with database description).

GA FC/AMERICUS DIST OFC 243 US HWY 19 NORTH, AMERICUS, GA, 31719			1006793444
▼ 1	SE <1/10 28 ft. Lower Elevation	(485 ft. / 0.092 mi.) 345 ft. Above Sea Level	State and tribal leaking storage tank lists Other Standard Environmental Records

Worksheet:

Impact on Target Property: VEC Can Be Ruled Out

Groundwater Flow Gradient:

Downgradient: YES

Topographically: YES

FINDS: Other Standard Environmental Records

Registry ID: 110013628949

Environmental Interest/Information System:

GEIMS (Geographic Environmental Information Management System) provides the EPA and Public a single point of access to core data for all facilities and sites regulated or monitored by the EPA and a single system for the reporting of all environmental data.

LUST: State and tribal leaking storage tank lists

Facility ID:	01290037
Leak ID:	1
Description:	Confirmed Release Received
Cleanup Status:	NFA - No Further Action
Date Received:	02/21/2001
Project Officer:	Humphris, David D
Facility ID:	01290037
Leak ID:	2

MAP FINDINGS

GA FC/AMERICUS DIST OFC, 243 US HWY 19 NORTH, AMERICUS, GA 31719 (Continued)

Description:	Confirmed Release Received
Cleanup Status:	NFA - No Further Action
Date Received:	04/02/2001
Project Officer:	Humphris, David D

MAP FINDINGS

GA DEPT PUBLIC SAFETY/GA STATE P 506 WEST LAMAR ST, AMERICUS, GA, 31709		U001484012
▼ 2	E 1/10 - 1/3 1 ft. Lower Elevation	(1362 ft. / 0.258 mi.) 372 ft. Above Sea Level
		State and tribal leaking storage tank lists State and tribal registered storage tank lists Other Standard Environmental Records

Worksheet:

Impact on Target Property: VEC Can Be Ruled Out

Groundwater Flow Gradient:

Downgradient: YES

Topographically: YES

Geological Attributes - Hydraulic Barrier:

Other: YES

GA FINANCIAL ASSURANCE: Other Standard Environmental Records

Region: 1
 Facility ID: 1290110
 Financial Responsibility: G.U.S.T. Trust Fund

LUST: State and tribal leaking storage tank lists

Facility ID: 01290110
 Leak ID: 1
 Description: Confirmed Release Received
 Cleanup Status: NFA - No Further Action
 Date Received: 09/29/2008
 Project Officer: Humphris, David D

Facility: State and tribal registered storage tank lists

Facility Id: 1290110
 Facility Status: Closed
 Facility Type: State
 District: South West
 Contact Id: 10
 Owner Name: GEORGIA DEPARTMENT OF PUBLIC SAFETY
 Owner Address: 959 EAST CONFEDERATE AVE SE
 Owner City: ATLANTA
 Owner State: GA
 Owner Zip: 30316
 Owner City, St, Zip: ATLANTA, GA 30316
 Owner Telephone: 404-624-7080

Tanks:

Facility ID: 1290110
 Tank ID: 1
 Status Date: 03/10/1971
 Status: Installed

MAP FINDINGS

GA DEPT PUBLIC SAFETY/GA STATE P, 506 WEST LAMAR ST, AMERICUS, GA 31709 (Continued)

Product1: Gas
 Material: Bare Steel
 Capacity: 6000
 Pipe Material: Unknown
 Pipe Type: Not Marked
 Overfill Protection: Not Reported
 Overfill Installed: Not Reported
 Tank Exempt From Spill: Not Reported
 Date Spill Device Installed: Not Reported

Facility ID: 1290110
 Tank ID: 1
 Status Date: 02/18/2008
Status: Removed From Ground
 Product1: Gas
 Material: Bare Steel
 Capacity: 6000
 Pipe Material: Unknown
 Pipe Type: Not Marked
 Overfill Protection: Not Reported
 Overfill Installed: Not Reported
 Tank Exempt From Spill: Not Reported
 Date Spill Device Installed: Not Reported

Facility ID: 1290110
 Tank ID: 1
 Status Date: 03/06/2002
Status: Temporarily Out Of Use
 Product1: Gas
 Material: Bare Steel
 Capacity: 6000
 Pipe Material: Unknown
 Pipe Type: Not Marked
 Overfill Protection: Not Reported
 Overfill Installed: Not Reported
 Tank Exempt From Spill: Not Reported
 Date Spill Device Installed: Not Reported

Facility ID: 1290110
 Tank ID: 1
 Status Date: Not Reported
Status: Upgrade Repair Not Marked
 Product1: Gas
 Material: Bare Steel
 Capacity: 6000
 Pipe Material: Unknown
 Pipe Type: Not Marked
 Overfill Protection: Not Reported
 Overfill Installed: Not Reported

GA DEPT PUBLIC SAFETY/GA STATE P, 506 WEST LAMAR ST, AMERICUS, GA 31709 (Continued)

Tank Exempt From Spill: Not Reported
Date Spill Device Installed: Not Reported

Facility ID: 1290110
Tank ID: 2
Status Date: 03/12/1961
Status: Installed
Product1: Gas
Material: Bare Steel
Capacity: 850
Pipe Material: Unknown
Pipe Type: Not Marked
Overfill Protection: Not Reported
Overfill Installed: Not Reported
Tank Exempt From Spill: Not Reported
Date Spill Device Installed: Not Reported

Facility ID: 1290110
Tank ID: 2
Status Date: 02/18/2008
Status: Removed From Ground
Product1: Gas
Material: Bare Steel
Capacity: 850
Pipe Material: Unknown
Pipe Type: Not Marked
Overfill Protection: Not Reported
Overfill Installed: Not Reported
Tank Exempt From Spill: Not Reported
Date Spill Device Installed: Not Reported

RECORD SOURCES AND CURRENCY

To maintain currency of the following databases, EDR contacts the appropriate agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

AIRS: Permitted Facility & Emissions Lising

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

A listing of permitted Air facilities and emissions data.

Date of Government Version: 12/31/2011

Source: Department of Natural Resources

Number of Days to Update: 49

Telephone: 404-363-7000

Last EDR Contact :02/27/2012

AST: Above Ground Storage Tanks

Standard Environmental Record Source: State and tribal registered storage tank lists

Search Distance: Property

A listing of LP gas tank site locations.

Date of Government Version: 03/06/2012

Source: Office of Insurance & Safety Fire Commissioner

Number of Days to Update: 36

Telephone: 404-656-5875

Last EDR Contact :02/27/2012

AUL: Uniform Environmental Covenants

Standard Environmental Record Source: State and tribal institutional control / engineering control registries

Search Distance: 0.5 Mile

A list of environmental covenants

Date of Government Version: 12/08/2010

Source: Department of Natural Resources

Number of Days to Update: 24

Telephone: 404-657-8600

Last EDR Contact :02/17/2012

BROWNFIELDS: Brownfields Public Record List

Standard Environmental Record Source: State and tribal Brownfields sites

Search Distance: 0.333 Mile

The Brownfields Public Record lists properties where response actions under the Georgia Hazardous Site Reuse and Redevelopment Act are planned, ongoing or completed.

Date of Government Version: 10/27/2011

Source: Department of Natural Resources

Number of Days to Update: 27

Telephone: 404-657-8600

Last EDR Contact :02/17/2012

COAL ASH: Coal Ash Disposal Site Listing

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: 0.333 Mile

A listing of coal ash landfills.

Date of Government Version: 05/27/2011

Source: Department of Natural Resources

Number of Days to Update: 41

Telephone: 404-362-2537

RECORD SOURCES AND CURRENC

Last EDR Contact :03/05/2012

DEL SHWS: Delisted Hazardous Site Inventory Listing

Standard Environmental Record Source: State and tribal - equivalent CERCLIS

Search Distance: 0.333 Mile

A listing of sites delisted from the Hazardous Site Inventory.

Date of Government Version: 07/01/2011

Source: Department of Natural Resources

Number of Days to Update: 19

Telephone: 404-657-8636

Last EDR Contact :04/02/2012

DRYCLEANERS: Drycleaner Database

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: 0.25 Mile

A list of drycleaners in the state. The listing includes drycleaner facilities, that use perchloroethylene, that responded to the Notification of Compliance Status forms. It also includes those businesses that are pick-up stores only and do not conduct dry cleaning on site.

Date of Government Version: 09/18/2009

Source: Department of Natural Resources

Number of Days to Update: 21

Telephone: 404-363-7000

Last EDR Contact :02/27/2012

FINANCIAL ASSURANCE: Financial Assurance Information Listing

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

A listing of financial assurance information for underground storage tank facilities.

Date of Government Version: 03/08/2012

Source: Department of Natural Resources

Number of Days to Update: 26

Telephone: 404-362-4892

Last EDR Contact :03/16/2012

HIST LF: Historical Landfills

Standard Environmental Record Source: State and tribal landfill / solid waste disposal

Search Distance: 0.333 Mile

Landfills that were closed many years ago.

Date of Government Version: 01/15/2003

Source: Department of Natural Resources

Number of Days to Update: 17

Telephone: 404-362-2696

Last EDR Contact :01/20/2004

INST CONTROL: Public Record List

Standard Environmental Record Source: State and tribal institutional control / engineering control registries

Search Distance: Property

Sites on the Public Record Listing that have institutional controls or limitations on use are sites with Risk Reduction Standards of 3, 4, and 5.

Date of Government Version: 10/27/2011

Source: Department of Natural Resources

Number of Days to Update: 27

Telephone: 404-657-8600

Last EDR Contact :02/17/2012

LUST: List of Leaking Underground Storage Tanks

Standard Environmental Record Source: State and tribal leaking storage tank lists

RECORD SOURCES AND CURRENCY

Search Distance: 0.333 Mile

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state.

Date of Government Version: 01/11/2012

Source: Environmental Protection Division

Number of Days to Update: 20

Telephone: 404-362-2687

Last EDR Contact :03/21/2012

NON HSI: Non-Hazardous Site Inventory

Standard Environmental Record Source: State and tribal - equivalent CERCLIS

Search Distance: 0.333 Mile

This list was obtained by EDR in 1998 and contains property listings that have reported contamination of soil or groundwater under the Georgia Hazardous Site Response Act (HSRA). These sites were not placed on the Georgia Priority list (Hazardous Site Inventory or HSI) because their hazard evaluation scores did not exceed the threshold levels established for sites posing an imminent threat to health or the environment. Disclaimer provided by Rindt-McDuff Associates - the database information has been obtained from publicly available sources produced by other entities. While reasonable steps have been taken to insure the accuracy of the data, RMA does not guarantee the accuracy of the data. No claim is made for the actual existence of pollution at any site. This data does not constitute a legal opinion.

Date of Government Version: 01/12/2012

Source: Rindt-McDuff Associates, Inc.

Number of Days to Update: 35

Telephone: Not Reported

Last EDR Contact :03/16/2012

NPDES: NPDES Wastewater Permit List

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

A listing of NPDES wastewater permits issued by the Watershed Protection Branch.

Date of Government Version: 01/27/2011

Source: Department of Natural Resources

Number of Days to Update: 8

Telephone: 404-362-2680

Last EDR Contact :02/15/2012

SHWS: Hazardous Site Inventory

Standard Environmental Record Source: State and tribal - equivalent CERCLIS

Search Distance: 0,333 Mile

State Hazardous Waste Sites. State hazardous waste site records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. Available information varies by state.

Date of Government Version: 07/01/2011

Source: Department of Environmental Protection

Number of Days to Update: 19

Telephone: 404-657-8600

Last EDR Contact :04/02/2012

SPILLS: Spills Information

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

Oil or Hazardous Material Spills or Releases.

Date of Government Version: 12/31/2011

Source: Department of Natural Resources

Number of Days to Update: 27

Telephone: 404-656-6905

Last EDR Contact :04/02/2012

SWF/LF: Solid Waste Disposal Facilities

RECORD SOURCES AND CURRENCY

Standard Environmental Record Source: State and tribal landfill / solid waste disposal
Search Distance: 0.333 Mile

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 03/04/2011
Number of Days to Update: 43
Last EDR Contact :02/10/2012

Source: Department of Natural Resources
Telephone: 404-362-2696

SWRCY: Recycling Center Listing

Standard Environmental Record Source: State and tribal landfill / solid waste disposal
Search Distance: 0.5 Mile

A listing of recycling facility locations.

Date of Government Version: 03/14/2012
Number of Days to Update: 26
Last EDR Contact :04/11/2012

Source: Department of Community Affairs
Telephone: 404-679-1598

TIER 2: Tier 2 Data Listing

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: Property

A listing of facilities which store or manufacture hazardous materials and submit a chemical inventory report.

Date of Government Version: 12/31/2010
Number of Days to Update: 24
Last EDR Contact :03/05/2012

Source: Department of Natural Resources
Telephone: 404-656-4852

UST: Underground Storage Tank Database

Standard Environmental Record Source: State and tribal registered storage tank lists
Search Distance: Property

Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 03/08/2012
Number of Days to Update: 26
Last EDR Contact :03/16/2012

Source: Environmental Protection Division
Telephone: 404-362-2687

VCP: Voluntary Cleanup Program site

Standard Environmental Record Source: State and tribal voluntary cleanup sites
Search Distance: 0.333 Mile

Georgias Voluntary Remediation Program Act was created to encourage voluntary investigation and remediation of contaminated properties.

Date of Government Version: 01/01/2012
Number of Days to Update: 35
Last EDR Contact :03/06/2012

Source: DNR
Telephone: 404-657-8600

CERCLIS: Comprehensive Environmental Response, Compensation, and Liability Information System

Standard Environmental Record Source: Federal CERCLIS
Search Distance: 0.333 Mile

RECORD SOURCES AND CURRENCY

CERCLIS contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to or on the National Priorities List (NPL) and sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 12/27/2011 Source: EPA
Number of Days to Update: 14 Telephone: 703-412-9810
Last EDR Contact :04/05/2012

CERCLIS-NFRAP: CERCLIS No Further Remedial Action Planned

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: 0.333 Mile

Archived sites are sites that have been removed and archived from the inventory of CERCLIS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

Date of Government Version: 12/28/2011 Source: EPA
Number of Days to Update: 14 Telephone: 703-412-9810
Last EDR Contact :04/05/2012

COAL ASH DOE: Sleam-Electric Plan Operation Data

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: Property

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2005 Source: Department of Energy
Number of Days to Update: 76 Telephone: 202-586-8719
Last EDR Contact :04/16/2012

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: 0.333 Mile

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 08/17/2010 Source: Environmental Protection Agency
Number of Days to Update: 77 Telephone: Not Reported
Last EDR Contact :03/16/2012

CONSENT: Superfund (CERCLA) Consent Decrees

Standard Environmental Record Source: Federal NPL
Search Distance: 0.333 Mile

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 12/01/2011 Source: Department of Justice, Consent Decree Library
Number of Days to Update: 36 Telephone: Varies
Last EDR Contact :04/02/2012

CORRACTS: Corrective Action Report

Standard Environmental Record Source: Federal RCRA CORRACTS facilities list
Search Distance: 0.333 Mile

RECORD SOURCES AND CURRENCY

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 08/19/2011

Source: EPA

Number of Days to Update: 132

Telephone: 800-424-9346

Last EDR Contact :02/13/2012

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

Standard Environmental Record Source: State and tribal landfill / solid waste disposal

Search Distance: 0.333 Mile

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009

Source: EPA, Region 9

Number of Days to Update: 137

Telephone: 415-947-4219

Last EDR Contact :03/26/2012

DELISTED NPL: National Priority List Deletions

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: 0.333 Mile

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 09/07/2011

Source: EPA

Number of Days to Update: 141

Telephone: Not Reported

Last EDR Contact :04/05/2012

DOT OPS: Incident and Accident Data

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 07/29/2011

Source: Department of Transportation, Office of Pipeline Safety

Number of Days to Update: 94

Telephone: 202-366-4595

Last EDR Contact :02/07/2012

ERNS: Emergency Response Notification System

Standard Environmental Record Source: Federal ERNS list

Search Distance: Property

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 10/03/2011

Source: National Response Center, United States Coast Guard

Number of Days to Update: 38

Telephone: 202-267-2180

Last EDR Contact :04/03/2012

FEMA UST: Underground Storage Tank Listing

Standard Environmental Record Source: State and tribal registered storage tank lists

Search Distance: Property

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/01/2010

Source: FEMA

RECORD SOURCES AND CURRENCY

Number of Days to Update: 55
Last EDR Contact :04/10/2012

Telephone: 202-646-5797

FINDS: Facility Index System/Facility Registry System

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: Property

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 10/23/2011
Number of Days to Update: 79
Last EDR Contact :03/13/2012

Source: EPA
Telephone: Not Reported

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: Property

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009
Number of Days to Update: 25
Last EDR Contact :02/27/2012

Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Telephone: 202-566-1667

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

Standard Environmental Record Source: Other Standard Environmental Records
A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009
Number of Days to Update: 25
Last EDR Contact :02/27/2012

Source: EPA
Telephone: 202-566-1667

FUDS: Formerly Used Defense Sites

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: 0.333 Mile

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 12/31/2009
Number of Days to Update: 112
Last EDR Contact :03/12/2012

Source: U.S. Army Corps of Engineers
Telephone: 202-528-4285

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: Property

RECORD SOURCES AND CURRENCY

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006
Number of Days to Update: 40
Last EDR Contact :12/17/2007

Source: Environmental Protection Agency
Telephone: 202-564-2501

HMIRS: Hazardous Materials Information Reporting System

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: Property

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 10/04/2011
Number of Days to Update: 38
Last EDR Contact :04/03/2012

Source: U.S. Department of Transportation
Telephone: 202-366-4555

ICIS: Integrated Compliance Information System

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: Property

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 07/20/2011
Number of Days to Update: 61
Last EDR Contact :03/26/2012

Source: Environmental Protection Agency
Telephone: 202-564-5088

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal leaking storage tank lists
Search Distance: 0.333 Mile

A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 10/01/2011
Number of Days to Update: 10
Last EDR Contact :05/01/2012

Source: EPA Region 1
Telephone: 617-918-1313

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal leaking storage tank lists
LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 11/02/2011
Number of Days to Update: 7
Last EDR Contact :04/30/2012

Source: EPA Region 10
Telephone: 206-553-2857

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal leaking storage tank lists
LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 12/14/2011
Number of Days to Update: 26

Source: EPA Region 4
Telephone: 404-562-8677

RECORD SOURCES AND CURRENCY

Last EDR Contact :04/30/2012

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal leaking storage tank lists
LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 09/12/2011

Source: EPA Region 6

Number of Days to Update: 59

Telephone: 214-665-6597

Last EDR Contact :04/23/2012

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal leaking storage tank lists
LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 11/01/2011

Source: EPA Region 7

Number of Days to Update: 50

Telephone: 913-551-7003

Last EDR Contact :04/30/2012

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal leaking storage tank lists
LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 08/18/2011

Source: EPA Region 8

Number of Days to Update: 25

Telephone: 303-312-6271

Last EDR Contact :04/30/2012

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal leaking storage tank lists
LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 12/05/2011

Source: Environmental Protection Agency

Number of Days to Update: 34

Telephone: 415-972-3372

Last EDR Contact :04/30/2012

INDIAN ODI: Report on the Status of Open Dumps on Indian Lands

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: 0.333 Mile

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998

Source: Environmental Protection Agency

Number of Days to Update: 52

Telephone: 703-308-8245

Last EDR Contact :02/06/2012

INDIAN UST R1: Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal registered storage tank lists
Search Distance: Property

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 10/01/2011

Source: EPA, Region 1

Number of Days to Update: 10

Telephone: 617-918-1313

Last EDR Contact :05/01/2012

RECORD SOURCES AND CURRENCY

INDIAN UST R10: Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal registered storage tank lists

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 11/02/2011

Source: EPA Region 10

Number of Days to Update: 7

Telephone: 206-553-2857

Last EDR Contact :04/30/2012

INDIAN UST R4: Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal registered storage tank lists

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 12/14/2011

Source: EPA Region 4

Number of Days to Update: 26

Telephone: 404-562-9424

Last EDR Contact :04/30/2012

INDIAN UST R5: Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal registered storage tank lists

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 07/01/2011

Source: EPA Region 5

Number of Days to Update: 18

Telephone: 312-886-6136

Last EDR Contact :04/30/2012

INDIAN UST R6: Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal registered storage tank lists

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 05/10/2011

Source: EPA Region 6

Number of Days to Update: 34

Telephone: 214-665-7591

Last EDR Contact :04/23/2012

INDIAN UST R7: Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal registered storage tank lists

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 11/01/2011

Source: EPA Region 7

Number of Days to Update: 50

Telephone: 913-551-7003

Last EDR Contact :04/30/2012

INDIAN UST R8: Underground Storage Tanks on Indian Land

Standard Environmental Record Source: State and tribal registered storage tank lists

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 08/18/2011

Source: EPA Region 8

Number of Days to Update: 25

Telephone: 303-312-6137

Last EDR Contact :04/30/2012

INDIAN UST R9: Underground Storage Tanks on Indian Land

RECORD SOURCES AND CURRENCY

Standard Environmental Record Source: State and tribal registered storage tank lists

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 11/28/2011

Source: EPA Region 9

Number of Days to Update: 42

Telephone: 415-972-3368

Last EDR Contact :04/30/2012

INDIAN VCP R1: Voluntary Cleanup Priority Listing

Standard Environmental Record Source: State and tribal voluntary cleanup sites

Search Distance: 0.333 Mile

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 08/04/2011

Source: EPA, Region 1

Number of Days to Update: 38

Telephone: 617-918-1102

Last EDR Contact :04/03/2012

INDIAN VCP R7: Voluntary Cleanup Priority Listing

Standard Environmental Record Source: State and tribal voluntary cleanup sites

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008

Source: EPA, Region 7

Number of Days to Update: 27

Telephone: 913-551-7365

Last EDR Contact :04/20/2009

LIENS 2: CERCLA Lien Information

Standard Environmental Record Source: Federal CERCLIS

Search Distance: Property

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 09/09/2011

Source: Environmental Protection Agency

Number of Days to Update: 13

Telephone: 202-564-6023

Last EDR Contact :04/30/2012

LUCIS: Land Use Control Information System

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: 0.333 Mile

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 12/09/2005

Source: Department of the Navy

Number of Days to Update: 31

Telephone: 843-820-7326

Last EDR Contact :04/03/2012

MINES: Mines Master Index File

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

RECORD SOURCES AND CURRENCY

Date of Government Version: 08/18/2011

Source: Department of Labor, Mine Safety and Health Administration

Number of Days to Update: 21

Telephone: 303-231-5959

Last EDR Contact :03/07/2012

MLTS: Material Licensing Tracking System

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 06/21/2011

Source: Nuclear Regulatory Commission

Number of Days to Update: 60

Telephone: 301-415-7169

Last EDR Contact :03/12/2012

NPL: National Priority List

Standard Environmental Record Source: Federal NPL

Search Distance: 0.333 Mile

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 09/07/2011

Source: EPA

Number of Days to Update: 141

Telephone: Not Reported

Last EDR Contact :04/05/2012

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-566-0690

EPA Region 1
Telephone: 617-918-1102

EPA Region 2
Telephone: 212-637-4293

EPA Region 3
Telephone: 215-814-5418

EPA Region 4
Telephone: 404-562-8681

EPA Region 5
Telephone: 312-353-1063

EPA Region 6
Telephone: 214-655-6659

EPA Region 7
Telephone: 913-551-7247

EPA Region 8
Telephone: 303-312-6118

EPA Region 9
Telephone: 415-947-4579

EPA Region 10
Telephone: 206-553-4479

NPL LIENS: Federal Superfund Liens

RECORD SOURCES AND CURRENCY

Standard Environmental Record Source: Federal NPL
Search Distance: Property

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

Date of Government Version: 10/15/1991 Source: EPA
Number of Days to Update: 56 Telephone: 202-564-4267
Last EDR Contact :08/15/2011

ODI: Open Dump Inventory

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: 0.333 Mile

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985 Source: Environmental Protection Agency
Number of Days to Update: 39 Telephone: 800-424-9346
Last EDR Contact :06/09/2004

PADS: PCB Activity Database System

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: Property

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 11/01/2010 Source: EPA
Number of Days to Update: 98 Telephone: 202-566-0500
Last EDR Contact :04/17/2012

PCB TRANSFORMER: PCB Transformer Registration Database

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: Property

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 02/01/2011 Source: Environmental Protection Agency
Number of Days to Update: 83 Telephone: 202-566-0517
Last EDR Contact :02/03/2012

Proposed NPL: Proposed National Priority List Sites

Standard Environmental Record Source: Federal NPL
Search Distance: 0.333 Mile

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 09/07/2011 Source: EPA
Number of Days to Update: 141 Telephone: Not Reported
Last EDR Contact :04/05/2012

RAATS: RCRA Administrative Action Tracking System

Standard Environmental Record Source: Other Standard Environmental Records

RECORD SOURCES AND CURRENCY

Search Distance: Property

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995

Source: EPA

Number of Days to Update: 35

Telephone: 202-564-4104

Last EDR Contact :06/02/2008

RADINFO: Radiation Information Database

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 01/10/2012

Source: Environmental Protection Agency

Number of Days to Update: 49

Telephone: 202-343-9775

Last EDR Contact :04/10/2012

RCRA-CESQG: RCRA - Conditionally Exempt Small Quantity Generators

Standard Environmental Record Source: Federal RCRA generators list

Search Distance: Property

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 11/10/2011

Source: Environmental Protection Agency

Number of Days to Update: 67

Telephone: 703-308-8895

Last EDR Contact :04/04/2012

RCRA-LQG: RCRA - Large Quantity Generators

Standard Environmental Record Source: Federal RCRA generators list

Search Distance: Property

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 11/10/2011

Source: Environmental Protection Agency

Number of Days to Update: 67

Telephone: 703-308-8895

Last EDR Contact :04/04/2012

RCRA-NonGen: RCRA - Non Generators

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

RECORD SOURCES AND CURRENCY

Date of Government Version: 11/10/2011
Number of Days to Update: 67
Last EDR Contact :04/04/2012

Source: Environmental Protection Agency
Telephone: 703-308-8895

RCRA-SQG: RCRA - Small Quantity Generators

Standard Environmental Record Source: Federal RCRA generators list
Search Distance: Property

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 11/10/2011
Number of Days to Update: 67
Last EDR Contact :04/04/2012

Source: Environmental Protection Agency
Telephone: 703-308-8895

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

Standard Environmental Record Source: Federal RCRA TSD facilities list
Search Distance: 0.333 Mile

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 11/10/2011
Number of Days to Update: 67
Last EDR Contact :04/04/2012

Source: Environmental Protection Agency
Telephone: 703-308-8895

ROD: Records Of Decision

Standard Environmental Record Source: Federal NPL
Search Distance: 0.333 Mile

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 09/28/2011
Number of Days to Update: 27
Last EDR Contact :03/14/2012

Source: EPA
Telephone: 703-416-0223

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: 0.333 Mile

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 03/07/2011
Number of Days to Update: 54
Last EDR Contact :04/23/2012

Source: Environmental Protection Agency
Telephone: 615-532-8599

SSTS: Section 7 Tracking Systems

Standard Environmental Record Source: Other Standard Environmental Records

RECORD SOURCES AND CURRENCY

Search Distance: Property

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 12/31/2009

Source: EPA

Number of Days to Update: 77

Telephone: 202-564 4203

Last EDR Contact :04/30/2012

TRIS: Toxic Chemical Release Inventory System

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2009

Source: EPA

Number of Days to Update: 131

Telephone: 202-566-0250

Last EDR Contact :02/28/2012

TSCA: Toxic Substances Control Act

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2006

Source: EPA

Number of Days to Update: 64

Telephone: 202-260-5521

Last EDR Contact :03/28/2012

UMTRA: Uranium Mill Tailings Sites

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: 0.333 Mile

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 09/14/2010

Source: Department of Energy

Number of Days to Update: 146

Telephone: 505-845-0011

Last EDR Contact :02/28/2012

US BROWNFIELDS: A Listing of Brownfields Sites

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: 0.333 Mile

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 06/27/2011

Source: Environmental Protection Agency

RECORD SOURCES AND CURRENCY

Number of Days to Update: 78
Last EDR Contact :04/03/2012

Telephone: 202-566-2777

US CDL: Clandestine Drug Labs

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: Property

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 10/07/2011
Number of Days to Update: 32
Last EDR Contact :03/06/2012

Source: Drug Enforcement Administration
Telephone: 202-307-1000

US ENG CONTROLS: Engineering Controls Sites List

Standard Environmental Record Source: Federal institutional controls / engineering controls registries
Search Distance: Property

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 12/30/2011
Number of Days to Update: 11
Last EDR Contact :03/12/2012

Source: Environmental Protection Agency
Telephone: 703-603-0695

US HIST CDL: National Clandestine Laboratory Register

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: Property

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 09/01/2007
Number of Days to Update: 131
Last EDR Contact :03/23/2009

Source: Drug Enforcement Administration
Telephone: 202-307-1000

US INST CONTROL: Sites with Institutional Controls

Standard Environmental Record Source: Federal institutional controls / engineering controls registries
Search Distance: Property

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 12/30/2011
Number of Days to Update: 11
Last EDR Contact :03/12/2012

Source: Environmental Protection Agency
Telephone: 703-603-0695

DOD: Department of Defense Sites

Standard Environmental Record Source: Other Standard Environmental Records
Search Distance: 0.333 Mile

RECORD SOURCES AND CURRENCY

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005

Source: USGS

Number of Days to Update: 62

Telephone: 888-275-8747

Last EDR Contact :04/16/2012

INDIAN RESERV: Indian Reservations

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2005

Source: USGS

Number of Days to Update: 34

Telephone: 202-208-3710

Last EDR Contact :04/16/2012

PWS: Public Water System Data

Standard Environmental Record Source: Other Standard Environmental Records

Search Distance: Property

This Safe Drinking Water Information System (SDWIS) file contains public water systems name and address, population served and the primary source of water

Date of Government Version: 04/12/2007

Source: EPA

Number of Days to Update: N/A

Telephone: Not Reported

Last EDR Contact :03/12/2012

RECORD SOURCES AND CURRENCY

HISTORICAL USE RECORDS

Manufactured Gas Plants: EDR Proprietary Manufactured Gas Plants

Standard Environmental Record Source: Former manufactured Gas Plants

Search Distance: 0.333 Mile

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: 08/28/2009

Source: EDR, Inc.

Number of Days to Update: 55

Telephone: Not Reported

Last EDR Contact :04/06/2012

RECORD SOURCES AND CURRENCY

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5' minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

HYDROLOGIC INFORMATION

Flood Zone Data: This data, available in select counties across the country, was obtained by EDR in 1999 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002 and 2005 from the U.S. Fish and Wildlife Service.

HYDROGEOLOGIC INFORMATION

AQUIFLOW® Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW® Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services. The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Services, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

STREET AND ADDRESS INFORMATION

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APPENDIX F:
Noise Assessment Documentation

**Worksheet A
Site Evaluation**

Noise Assessment Guidelines

Site Location

Magnolia Street

Program

Project Name

Creekview Commons

Locality

Americus, Sumter County, Georgia

File Number

110277.210

Sponsor's Name

Phone

Street Address

City, State

	Acceptability Category	DNL	Predicted for Operations in Year
1. Roadway Noise	<u>Acceptable</u>	<u>55.1 - 63.5</u>	<u>2022</u>
2. Aircraft Noise	<u>Acceptable</u>	<u><55</u>	<u>2012</u>
3. Railway Noise	<u>Acceptable</u>	<u>60.0 - 64.1</u>	<u>2012</u>
		<u>61.4 - 66.8</u>	

Value of DNL for all noise sources (see page 3 for combination procedure)

Final Site Evaluation (circle one)

Acceptable

Normally Unacceptable

Unacceptable

The southeastern portion of the site is above 65 DNL, therefore, noise mitigation is required per HUD Noise Assessment Guidelines (NAG). The Noise Mitigation Plan is attached.

Signature

[Handwritten Signature]

Date

06/08/12

Clip this worksheet to the top of a package containing Worksheets B-E and Workcharts 1-7 that are used in the site evaluations

[Handwritten Signature]
6/10/12

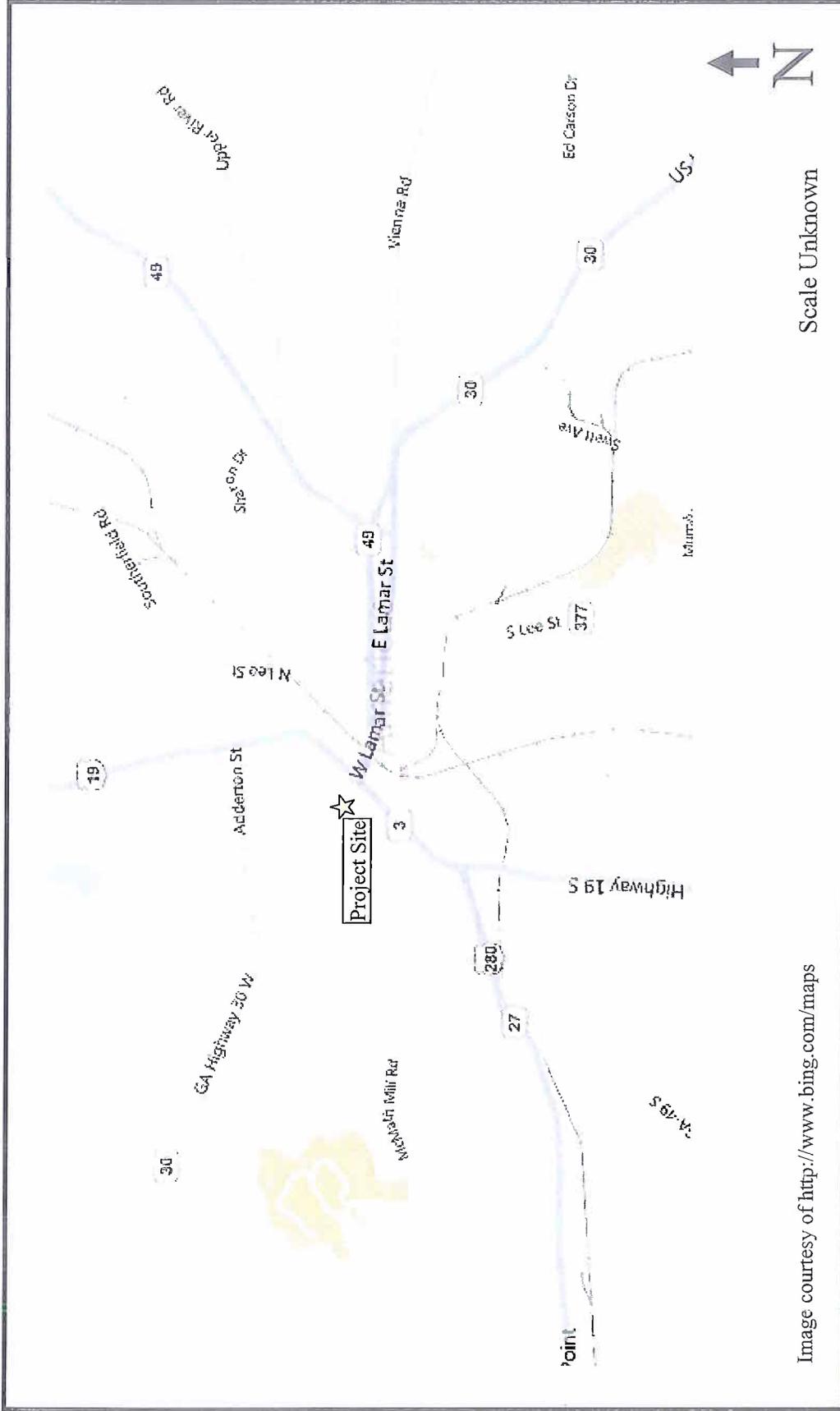


Image courtesy of <http://www.bing.com/maps>

Scale Unknown

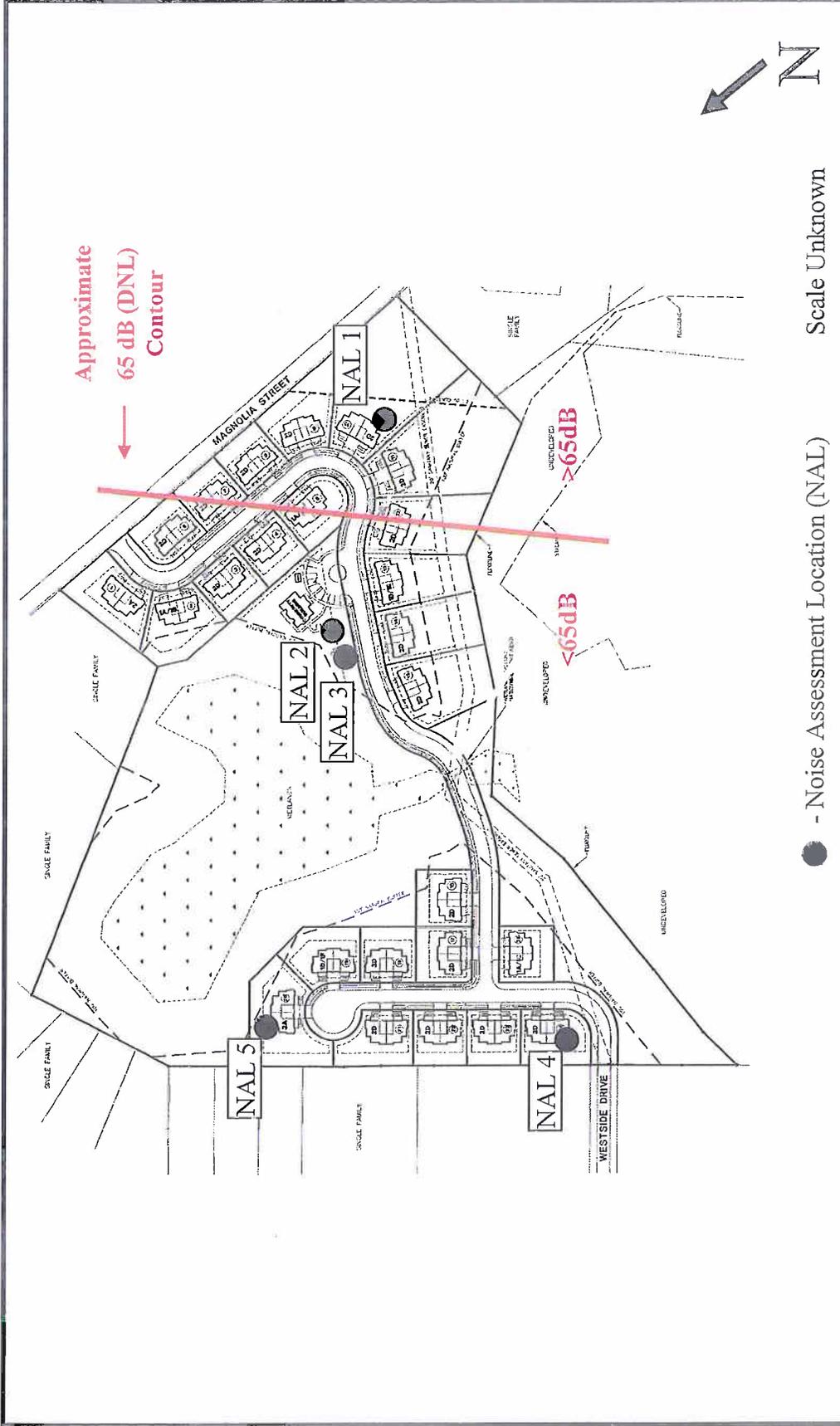
Site Vicinity

Creekview Commons
 Americus, Georgia
 GEC Project No. 110277.240



**GEOTECHNICAL & ENVIRONMENTAL
 CONSULTANTS, INC.**

514 Hillcrest Industrial Blvd. Macon, GA 31204 Tel: (478) 757-1606 Fax: (478) 757-1608
 6202 West Hamilton Park Drive Columbus, GA 31909 Tel: (706) 569-0008 Fax: (706) 569-0940
 6310 Chapel Glen Court Atlanta, GA 30360 Tel: (770) 604-9055



● - Noise Assessment Location (NAL)

NAL Total Aircraft		Roadway		Railway	
DNL (dB)	DNL (dB)	DNL (dB)	DNL (dB)	DNL (dB)	DNL (dB)
1	66.8	<55	63.5	64.1	64.1
2	64.3	<55	59.6	62.4	62.4
3	64.1	<55	59.3	62.2	62.2
4	61.4	<55	55.6	60.0	60.0
5	61.5	<55	55.7	60.1	60.1

Noise Assessment Locations (NAL)

Creekview Commons
 Americus, Georgia
 GEC Project No. 110277.240



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 6202 West Hamilton Park Drive Columbus, GA 31909 Tel: (706) 569-0008 Fax: (706) 569-0940
 6810 Chapel Glen Court Atlanta, GA 30350 Tel: (770) 804-5055

Worksheet C
Roadway Noise

List all major roads within 1000 feet of the site:

1 U.S. 19 / Martin Luther King Jr. Blvd

2 GA 49 / W Forsyth St / W Lamar St

NAL 1/2/3/4/5

3 Per maps, no other major roads within 1000 feet of the site

4 _____

Necessary Information	Road 1	Road 2	Road 3	Road 4
1. Distance in feet from the NAL to the edge of the road				
a. nearest lane	_____	_____	_____	_____
b. farthest lane	_____	_____	_____	_____
c. average (effective distance)	<u>Various</u>	<u>Various</u>	_____	_____
2. Distance to stop sign	_____	_____	_____	_____
3. Road gradient in percent (%)	<u>0</u>	<u>0</u>	_____	_____
4. Average speed in mph	_____	_____	_____	_____
a. Automobiles	<u>55</u>	<u>45</u>	_____	_____
b. heavy trucks - uphill	<u>55</u>	<u>45</u>	_____	_____
c. heavy trucks - downhill	_____	_____	_____	_____
5. 24 hour average number of automobiles and medium trucks in both directions (ADT)	_____	_____	_____	_____
a. automobiles	<u>17586*</u>	<u>22808*</u>	_____	_____
b. medium trucks	<u>765*</u>	<u>992*</u>	_____	_____
c. effective ADT (a + (10xb))	_____	_____	_____	_____
6. 24 hour average number of heavy trucks	_____	_____	_____	_____
a. uphill	_____	_____	_____	_____
b. downhill	_____	_____	_____	_____
c. total	<u>765*</u>	<u>992*</u>	_____	_____
7. Fraction of nighttime traffic (10 p.m. to 7 a.m.)	<u>15</u>	<u>15</u>	_____	_____
8. Traffic projected for what year?	<u>2022</u>	<u>2022</u>	_____	_____

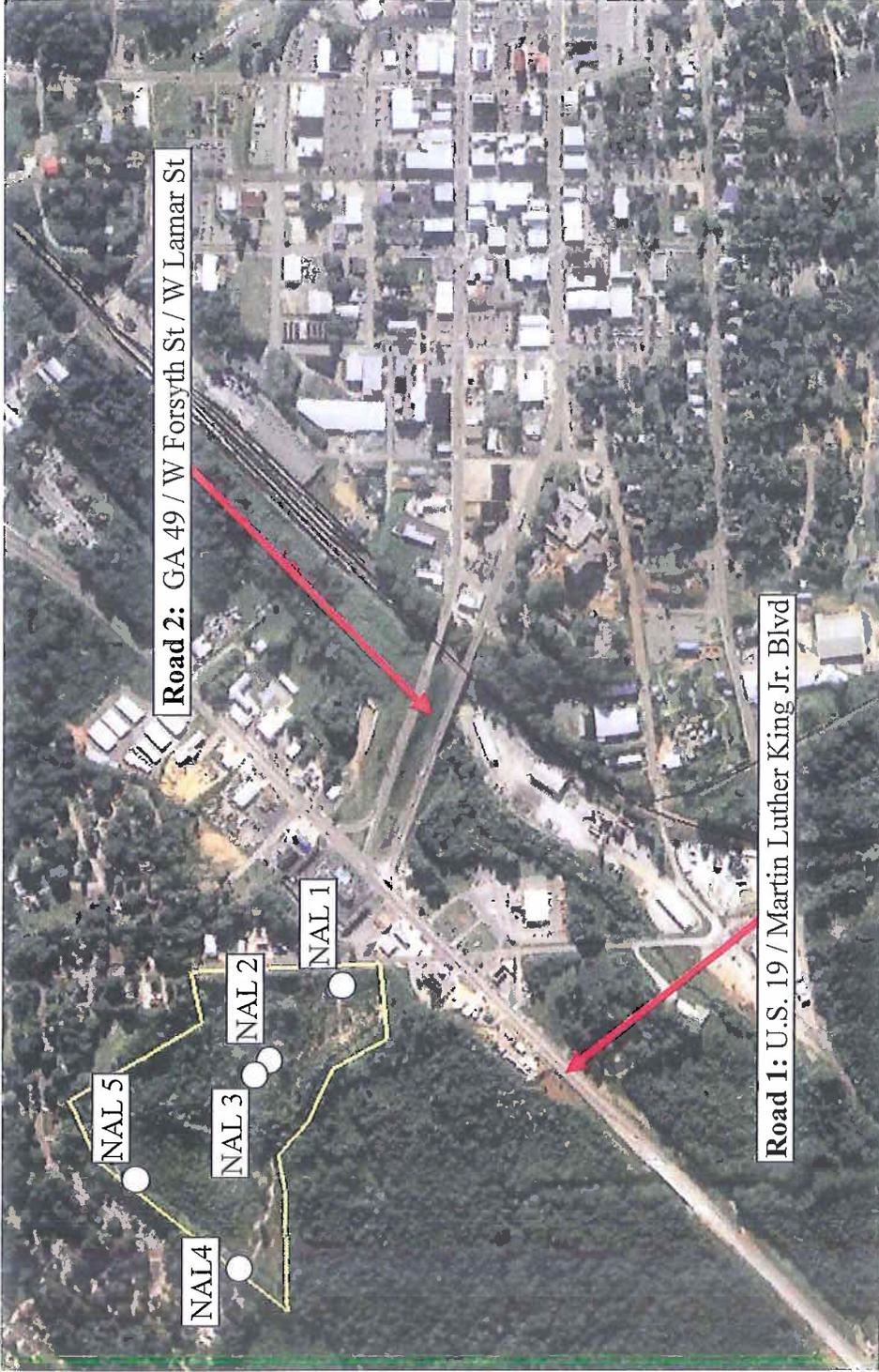
* Per GDOT Website (2011 data), with assumptions: 3% growth for 11 years; and as no truck data given, therefore 92% autos, 4% medium trucks, 4% heavy trucks.

Signed



Date

06/08/12



Aerial photo courtesy of Google Earth

○ - Noise Assessment Location (NAL)

Scale Unknown

Roadway Noise

(all major roads within 1000 feet of site)

Creekview Commons
Americus, Georgia
GEC Project No. 110277.240

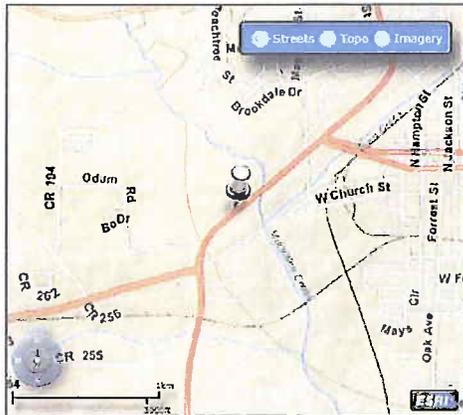
NAL	Total		Road 1		Road 2	
	DNL (dB)	Distance (feet)	DNL (dB)	Distance (feet)	DNL (dB)	Distance (feet)
1	63.5	460	61.2	560	59.8	560
2	59.6	880	57.0	960	56.3	1000
3	59.3	925	56.6	1825	56.0	1705
4	55.6	1610	53.0		52.1	
5	55.7	1650	52.9		52.6	



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6202 West Hamilton Park Drive Columbus, GA 31909 Tel: (706) 569-0008 Fax: (706) 569-9940
6810 Chapel Glen Court Atlanta, GA 30360 Tel: (770) 604-9655

U.S. 19 / Martin Luther King, Jr. Blvd

261 Sumter, Traffic Counter: 0007



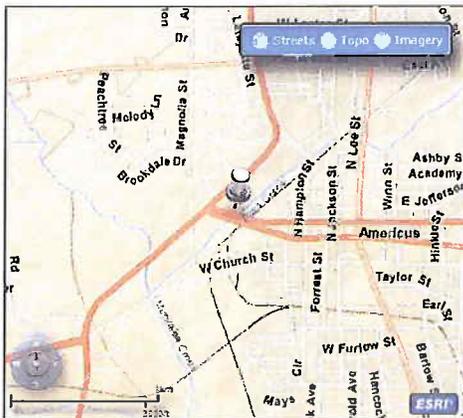
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Year	RCLINK	Beginning Milepoint	Ending Milepoint	Directional	Actual/Estimate	Direction 1	Direction 2	Total AADT	Truck%
2011	2611000300	10.75	11.62	Non-Directional	Estimate			13810	
2010	2611000300	10.75	11.62	Non-Directional	Estimate			14040	
2009	2611000300	10.65	11.52	Non-Directional	Estimate			14210	
2008	2611000300	10.65	11.52	Non-Directional	Estimate			14040	
2007	2611000300	10.65	11.52	Bi-Directional	Actual	7160 (North)	7310 (South)	14470	
2006	2611000300	10.65	11.52	Bi-Directional	Actual	6930 (North)	7100 (South)	14030	
2005	2611000300	10.65	11.52	Bi-Directional	Actual	7110 (North)	7480 (South)	14590	

Internet

Ga 49 / W Forsyth St / W Lamar St

261 Sumter, Traffic Counter: 0023



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Year	RCLINK	Beginning Milepoint	Ending Milepoint	Directional	Actual/Estimate	Direction 1	Direction 2	Total AADT	Truck%
2011	26110027WE	1.48	2.13	Non-Directional	Estimate			17910	
2010	26110027WE	1.48	2.13	Non-Directional	Estimate			18210	
2009	26110027WE	1.79	2.13	Non-Directional	Estimate			18430	
2008	26110027WE	1.79	2.13	Non-Directional	Estimate			18220	
2007	26110027WE	1.79	2.13	Bi-Directional	Estimate	9400 (East)	9400 (West)	18800	
2006	26110027WE	1.79	2.13	Bi-Directional	Actual	9080 (East)	8980 (West)	18060	
2005	26110027WE	1.79	2.13	Bi-Directional	Actual	9390 (East)	9250 (West)	18640	

Internet

Community Planning and Development

- About CPD
- Economic Development
- Community Development
- Affordable Housing
- Homeless Assistance
- HUDVet
- Environment
- Environmental Contacts**
- Review Requirements**
- Laws and Regulations**
- Training**
- Resource Library**
- Acquisition/Relocation
- Energy
- HIV/AIDS Housing
- Technical Assistance
- Online Systems/ Databases
- Library
- Laws and Regulations

HUD news

Homes

Resources

Communities

Working with HUD

Tools

- Webcasts
- Mailing lists
- RSS Feeds
- Help



Site DNL Calculator

For more information on using the noise calculator, to access the user guidebook, or send comments, please visit the following page:

[Day/Night Noise Level Electronic Assessment Tool](#)

Providing Feedback & Corrections

Using the DNL Assessment Tool, following the directions in the User's Guide, users are encouraged to provide feedback on how the DNL Assessment Tool may be improved. Users are also encouraged to send comments or corrections for the improvement of the tool. Please send comments on the input to: ATEC@hud.gov

Guidelines:

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
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- **Note #2:** DNL Calculator assumes roadway data is always entered.

Related Information

- ▶ [Day/Night Noise Level Assessment](#)
- ▶ [Railway Assessment](#)
- ▶ [System Requirements](#)
- ▶ [Internet Explorer 6.0 or above](#)
- ▶ [Adobe Reader](#)
- ▶ [Enabling JavaScript](#)

Site ID

Record Date

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Road # 1 Name:

Road #1			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	460	460	460
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	17586	765	765
Night Fraction of ADT	15	15	15
Road Gradient (%)			0
Vehicle DNL	56.2282	52.6132	58.513
<input type="button" value="Calculate Road #1 DNL"/>	61.1784	<input type="button" value="Reset"/>	

Road # 2 Name:

Road #2			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	560	560	560
Distance to Stop Sign			
Average Speed	45	45	45
Average Daily Trips (ADT)	22807	992	992
Night Fraction of ADT			

	15	15	15
Road Gradient (%)			0
Vehicle DNL	54.3328	50.7172	57.553
Calculate Road #2 DNL	59.811	Reset	

Railroad #1 Track Identifier:

Rail # 1		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		1400
Average Train Speed		30
Engines per Train		2
Railway cars per Train		80
Average Train Operations (ATO)		15
Night Fraction of ATO		73
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Train DNL		63.899
Calculate Rail #1 DNL	63.899	Reset

Railroad #2 Track Identifier:

Rail # 2		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		1550
Average Train Speed		10
Engines per Train		1
Railway cars per Train		10
Average Train Operations (ATO)		3
Night Fraction of ATO		0
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Train DNL		49.2162
Calculate Rail #2 DNL	49.2162	Reset

Airport Noise Level

Loud Impulse Sounds? Yes No

Combined DNL for all Road and Rail sources



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Site DNL Calculator

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[Day/Night Noise Level Electronic Assessment Tool](#)

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Related Information

- ▶ [Day/Night Noise Level](#)
- ▶ [Information has been added to the respective data Assessment Tool Calculations](#)
- ▶ [System Requirements](#)
- ▶ [Internet Explorer 6.0 or above](#)
- ▶ [Adobe Reader](#)
- ▶ [Enabling JavaScript](#)

Site ID

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Road # 1 Name:

Road #1			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	880	880	880
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	17586	765	765
Night Fraction of ADT	15	15	15
Road Gradient (%)			0
Vehicle DNL	52.0024	48.3873	54.2875
Calculate Road #1 DNL	56.9527	Reset	

Road # 2 Name:

Road #2			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	960	960	960
Distance to Stop Sign			
Average Speed	45	45	45
Average Daily Trips (ADT)	22807	992	992
Night Fraction of ADT			

	15	15	15
Road Gradient (%)			0
Vehicle DNL	50.8215	47.206	54.0415
Calculate Road #2 DNL	56.2997	Reset	

Railroad #1 Track Identifier:

Rail # 1		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		1815
Average Train Speed		30
Engines per Train		2
Railway cars per Train		80
Average Train Operations (ATO)		15
Night Fraction of ATO		73
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Train DNL		62.2078
Calculate Rail #1 DNL	62.2078	Reset

Railroad #2 Track Identifier:

Rail # 2		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		1955
Average Train Speed		10
Engines per Train		1
Railway cars per Train		10
Average Train Operations (ATO)		3
Night Fraction of ATO		0
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Train DNL		47.704
Calculate Rail #2 DNL	47.704	Reset

Airport Noise Level

Loud Impulse Sounds? Yes No

Combined DNL for all Road and Rail sources

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Site DNL Calculator

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[Day/Night Noise Level Electronic Assessment Tool](#)

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Related Information

- ▶ [Day/Night Noise Level Assessment: DNL Calculator](#)
- ▶ [System Requirements](#)

Site ID

Record Date

User's Name

- ▶ [Internet Explorer 6.0 or above](#)
- ▶ [Adobe Reader](#)
- ▶ [Enabling JavaScript](#)

Road # 1 Name:

Road #1			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	925	925	925
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	17586	765	765
Night Fraction of ADT	15	15	15
Road Gradient (%)			0
Vehicle DNL	51.6775	48.0624	53.9635
<input type="button" value="Calculate Road #1 DNL"/>	<input type="text" value="56.6282"/>	<input type="button" value="Reset"/>	

Road # 2 Name:

Road #2			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	1000	1000	1000
Distance to Stop Sign			
Average Speed	45	45	45
Average Daily Trips (ADT)	22807	992	992
Night Fraction of ADT			

	15	15	15
Road Gradient (%)			0
Vehicle DNL	50.5556	46.94	53.776
Calculate Road #2 DNL	56.034	Reset	

Railroad #1 Track Identifier:

Rail # 1		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		1855
Average Train Speed		30
Engines per Train		2
Railway cars per Train		80
Average Train Operations (ATO)		15
Night Fraction of ATO		73
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Train DNL		62.0658
Calculate Rail #1 DNL	62.0658	Reset

Railroad #2 Track Identifier:

Rail # 2		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		1990
Average Train Speed		10
Engines per Train		1
Railway cars per Train		10
Average Train Operations (ATO)		3
Night Fraction of ATO		0
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Train DNL		47.5884
Calculate Rail #2 DNL	47.5884	Reset

Airport Noise Level

Loud Impulse Sounds? Yes No

Combined DNL for all Road and Rail sources



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Related Information

- ▶ [Day/Night Noise Level Assessment](#)
- ▶ [DNL Calculator](#)

System Requirements

- ▶ [Internet Explorer 6.0 or above](#)
- ▶ [Adobe Reader](#)
- ▶ Enabling JavaScript

Site ID

Record Date

User's Name

Road # 1 Name:

Road #1			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	1610	1610	1610
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	17586	765	765
Night Fraction of ADT	15	15	15
Road Gradient (%)			0
Vehicle DNL	48.0672	44.4522	50.353
<input type="button" value="Calculate Road #1 DNL"/>	53.0178	<input type="button" value="Reset"/>	

Road # 2 Name:

Road #2			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	1825	1825	1825
Distance to Stop Sign			
Average Speed	45	45	45
Average Daily Trips (ADT)	22807	992	992
Night Fraction of ADT			

	15	15	15
Road Gradient (%)			0
Vehicle DNL	46.6367	43.0211	49.8565
Calculate Road #2 DNL	52.1147	Reset	

Railroad #1 Track Identifier:

Rail # 1		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		2615
Average Train Speed		30
Engines per Train		2
Railway cars per Train		80
Average Train Operations (ATO)		15
Night Fraction of ATO		73
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Train DNL		59.8289
Calculate Rail #1 DNL	59.8289	Reset

Railroad #2 Track Identifier:

Rail # 2		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		2655
Average Train Speed		10
Engines per Train		1
Railway cars per Train		10
Average Train Operations (ATO)		3
Night Fraction of ATO		0
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Train DNL		45.7102
Calculate Rail #2 DNL	45.7102	Reset

Airport Noise Level

Loud Impulse Sounds? Yes No

Combined DNL for all Road and Rail sources



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Related Information

[Day/Night Noise Level](#) information have been added in the respective data assessment! DNL Results

System Requirements

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- Adobe Reader
- Enabling JavaScript

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Site ID

Record Date

User's Name

Road # 1 Name:

Road #1			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	1650	1650	1650
Distance to Stop Sign			
Average Speed	55	55	55
Average Daily Trips (ADT)	17586	765	765
Night Fraction of ADT	15	15	15
Road Gradient (%)			0
Vehicle DNL	47.9073	44.2923	50.1925
Calculate Road #1 DNL	52.8576	Reset	

Road # 2 Name:

Road #2			
Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input checked="" type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	1705	1705	1705
Distance to Stop Sign			
Average Speed	45	45	45
Average Daily Trips (ADT)	22807	992	992
Night Fraction of ADT			

	15	15	15
Road Gradient (%)			0
Vehicle DNL	47.0797	43.4642	50.3005
Calculate Road #2 DNL	52.5583	Reset	

Railroad #1 Track Identifier:

Rail # 1		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		2580
Average Train Speed		30
Engines per Train		2
Railway cars per Train		80
Average Train Operations (ATO)		15
Night Fraction of ATO		73
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input type="checkbox"/> No: <input checked="" type="checkbox"/>
Train DNL		59.9167
Calculate Rail #1 DNL	59.9167	Reset

Railroad #2 Track Identifier:

Rail # 2		
Train Type	Electric <input type="checkbox"/>	Diesel <input checked="" type="checkbox"/>
Effective Distance		2720
Average Train Speed		10
Engines per Train		1
Railway cars per Train		10
Average Train Operations (ATO)		3
Night Fraction of ATO		0
Railway whistles or horns?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Bolted Tracks?	Yes: <input type="checkbox"/> No: <input type="checkbox"/>	Yes: <input checked="" type="checkbox"/> No: <input type="checkbox"/>
Train DNL		45.5527
Calculate Rail #2 DNL	45.5527	Reset

Airport Noise Level

Loud Impulse Sounds? Yes No

Combined DNL for all Road and Rail sources

Combined DNL including Airport

Site DNL with Loud Impulse Sound

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- o **No Action Alternative**
Cancel the project at this location [DNL Calculator](#)
- o **Other Reasonable Alternatives**
Choose an alternate site [DNL Calculator](#)
- o **Mitigation**
 - o **Contact your Field or Regional Environmental Officer - [Environmental Contacts](#)**
 - o **Increase mitigation in the building walls** (only effective if no outdoor, noise sensitive areas).
 - o **Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses** [DNL Calculator](#)
 - o **Incorporate natural or man-made barriers.** See [The Noise Guidebook](#)
 - o **Construct noise barrier.** See the [Barrier Performance Module](#)

Content current as of 13 August 2010

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Worksheet B Aircraft Noise

List all airports within 15 miles of the site:

- 1 Jimmy Carter Regional / Souther Airfield* 4 miles NE
- 2 Per maps, no other airports within 15 miles of the site
- 3 _____

Necessary Information:	Airport 1	Airport 2	Airport 3
1. Are DNL, NEF or CNR contours available? (yes/no)	<u>N</u>	_____	_____
2. Any supersonic aircraft operations? (yes/no)	<u>N</u>	_____	_____
3. Estimating approximate contours from Figure 3:			
a. number of nighttime jet operations	<u>0</u>	_____	_____
b. number of daytime jet operations	<u>1</u>	_____	_____
c. effective number of operations (10 times a + b)	<u>1</u>	_____	_____
d. distance A for 65 dB	<u>1200 ft</u>	_____	_____
70 dB	_____	_____	_____
75 dB	_____	_____	_____
e. distance B for 65 dB	<u>5000 ft</u>	_____	_____
70 dB	_____	_____	_____
75 dB	_____	_____	_____
4. Estimating DNL from Table 2:			
a. distance from 65 dB contour to flight path, D ¹	<u>n/a</u>	_____	_____
b. distance from NAL to flight path, D ²	<u>13735 - 14575 ft*</u>	_____	_____
c. D ² divided by D ¹	<u>n/a</u>	_____	_____
d. DNL	<u><55</u>	_____	_____
5. Operations projected for what year?	<u>2012</u>	_____	_____
6. Total DNL from all airports	_____	<u><55</u>	_____

* - See attached Aircraft Noise Map for 65dB and Flight Path contours

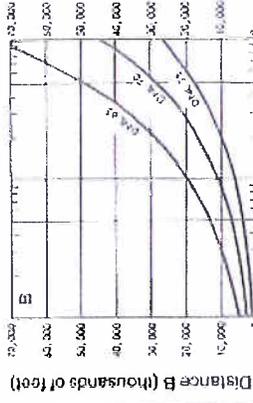
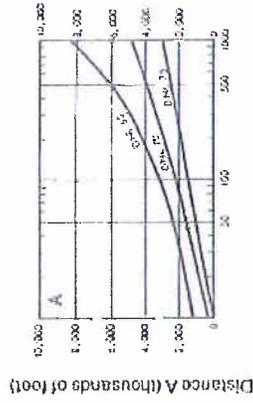
Signed

Anthony Stuber

Date

06/08/12

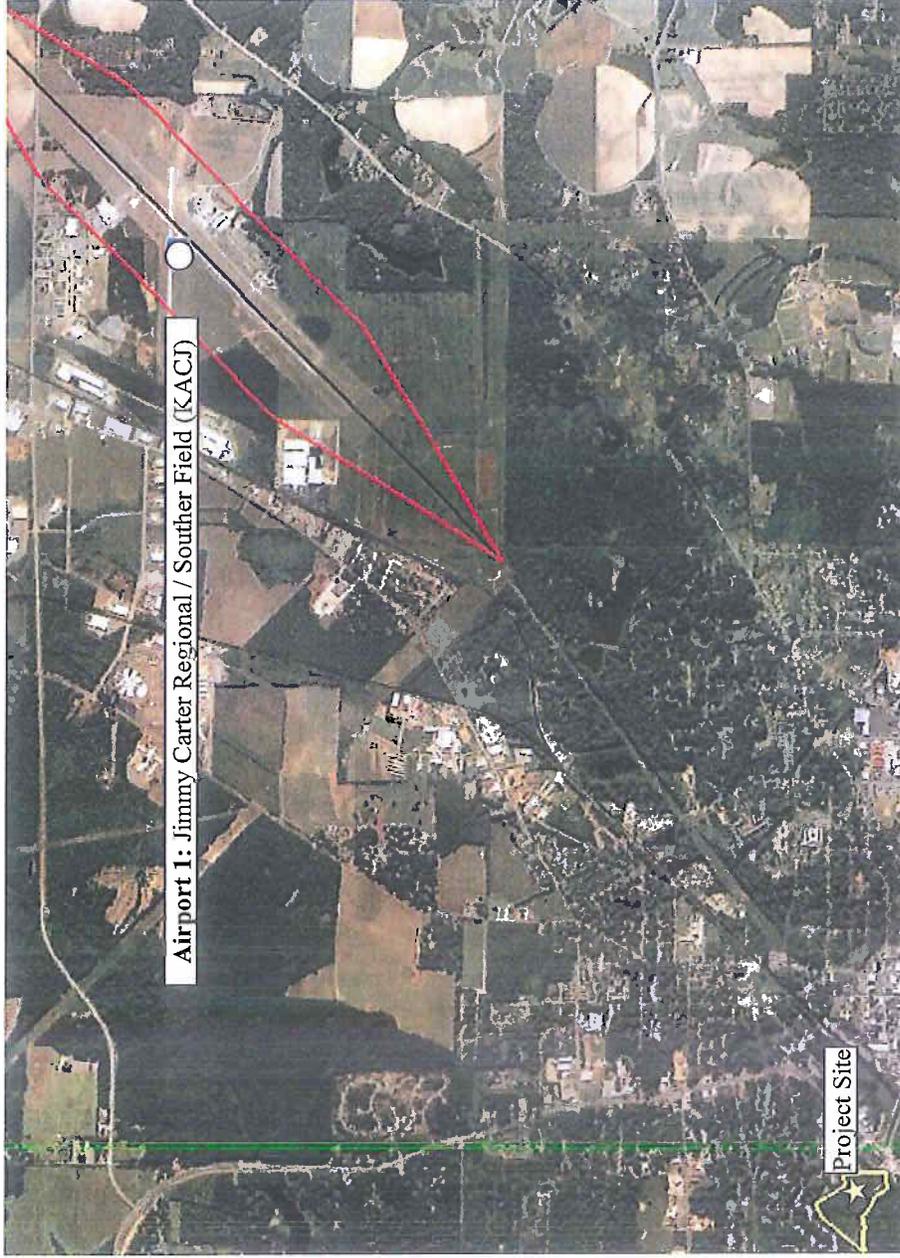
Figure 5
Charts for Estimating
DNL for Aircraft Operations



Effective Number of Flights

Scale Unknown

N



Airport 1: Jimmy Carter Regional / Southern Field (KACJ)

Project Site

D^2 = Distance to Flight Path
 D^1 = D^2 - Distance to 65 dB Contour

— 65 dB Contour
 — Flight Path

Aerial photo courtesy of Google Earth

NAL	DNL (dB)	Airport 1		Airport 2	
		D^2 (feet)	D^1 (feet)	D^2 (feet)	D^1 (feet)
1	<55	13735	n/a	-	-
2	<55	13855	n/a	-	-
3	<55	13885	n/a	-	-
4	<55	14575	n/a	-	-
5	<55	14060	n/a	-	-

Aircraft Noise
(all airports within 15 miles of site)

Creekview Commons
 Americus, Georgia
 GEC Project No. 110277.240

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 GEOTECHNICAL & ENVIRONMENTAL
 CONSULTANTS, INC.

514 Hillcrest Industrial Blvd., Macon, GA 31204 Tel: (478) 751-1666 Fax: (478) 751-1608
 6202 West Hamilton Park Drive Columbus, GA 31909 Tel: (706) 569-0008 Fax: (706) 569-0940
 6810 Chapel Glen Court Atlanta, GA 30360 Tel: (770) 604-9055

KACJ Jimmy Carter Regional Airport
Americus, Georgia, USA



GOING TO AMERICUS?



FAA INFORMATION EFFECTIVE 31 MAY 2012

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Location

FAA Identifier: ACJ
 Lat/Long: 32-06-38.9000N / 084-11-19.9000W
 32-06.648333N / 084-11.331667W
 32.1108056 / -84.1888611
 (estimated)
 Elevation: 468 ft. / 142.6 m (surveyed)
 Variation: 04W (2010)
 From city: 4 miles NE of AMERICUS, GA
 Time zone: UTC -4 (UTC -5 during Standard Time)
 Zip code: 31709

Richmor Aviation Stewart
LOW FUEL PRICES

10 AVTRIP Points per gallon
Toll Free: 855-FBO-KSWF
 (855-326-5793)
 stewart@richmor.com

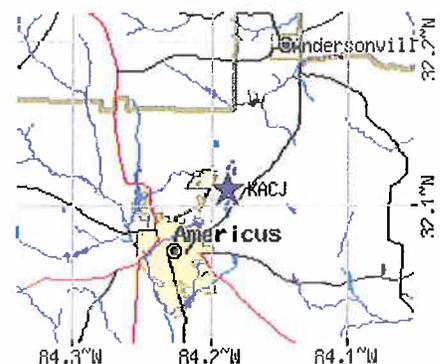
Airport Operations

Airport use: Open to the public
 Activation date: 03/1941
 Sectional chart: [ATLANTA](#)
 Control tower: no
 ARTCC: ATLANTA CENTER
 FSS: MACON FLIGHT SERVICE STATION
 NOTAMs facility: MCN (NOTAM-D service available)
 Attendance: 0800-1800
 Wind indicator: lighted
 Segmented circle: yes
 Lights: ACTVT MIRL RY 05/23, PAPI RY 05 & RY 23 AND MASLF RY 23 - CTAF.
 Beacon: white-green (lighted land airport)
 Operates sunset to sunrise.

Now Offering
AirBoss Discounts

Airport Communications

CTAF/UNICOM: 122.8
 WX AWOS-3: 128.375 (229-928-0934)
 ATLANTA APPROACH: 125.5 126.55 7000 & ABV
 ATLANTA DEPARTURE: 125.5 126.55 7000 & ABV
 CLEARANCE DELIVERY: 119.95



Road maps at: [MapQuest](#) [MapPoint](#) [Yahoo!](#)
[Maps Google](#) [Rand McNally](#)
 Satellite photo at: [TerraServer](#) [Virtual Earth](#)

Aerial photo

WARNING: Photo may not be current or correct

• ATLANTA LARGE TRACON IS PROVIDING PART-TIME

APCH/DEP SVC 0615-0000; ATLANTA ARTCC PROVIDES
 APCH/DEP SVC 0000-0615 ON FREQS 123.95/269.3 & CLNC DLVY
 ON FREQ 123.95 (MACON RCAG).

Nearby radio navigation aids

VOR radial/distance	VOR name	Freq	Var
PZD r013/27.8	PECAN VORTAC	116.10	02W
VNA r259/35.7	VIENNA VORTAC	116.50	01E

NDB name	Hdg/Dist	Freq	Var	ID
LINDBERGH	231/5.6	242	04W	LKG - . . . - . - . - .
MONTEZUMA	215/17.9	426	04W	IZS .. - -
CONEY	294/18.0	400	02W	OHY - - - - - -
BAY CREEK	229/29.9	350	03W	BEP - - - -

Airport Services

Fuel available: 100LL JET-A
 Parking: tiedowns
 Airframe service: MAJOR
 Powerplant service: MAJOR
 Bottled oxygen: NONE
 Bulk oxygen: NONE

Runway Information

Runway 5/23

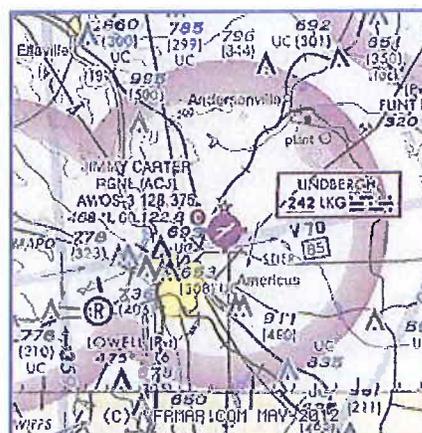
Dimensions: 6011 x 100 ft. / 1832 x 30 m	Surface: asphalt, in good condition
Weight bearing capacity: Single wheel: 30.0	Double wheel: 50.0
Runway edge lights: medium intensity	Gradient: RY 23 SLOPE 0.08% UP SW.
RUNWAY 5	RUNWAY 23
Latitude: 32-06.262653N	32-06.953237N
Longitude: 084-11.730760W	084-10.895192W
Elevation: 468.3 ft.	458.5 ft.
Gradient: 0.1%	0.1%
Traffic pattern: left	left
Runway heading: 050 magnetic, 046 true	230 magnetic, 226 true
Markings: precision, in good condition	precision, in good condition
Visual slope indicator: 2-light PAPI on left (3.00 degrees glide path)	2-light PAPI on left (3.00 degrees glide path)
Approach lights:	MALSF: 1,400 foot medium intensity approach lighting system with sequenced flashers
Runway end identifier lights:	yes
Touchdown point: yes, no lights	yes, no lights
Instrument approach:	LOC/GS
Obstructions: 58 ft. trees, 595 ft.	trees



Photo courtesy of AirNav, LLC
 Photo taken 06-Mar-2010

Do you have a better or more recent aerial photo of Jimmy Carter Regional Airport that you would like to share? If so, please [send us your photo](#).

Sectional chart



Airport distance calculator

Flying to Jimmy Carter Regional Airport?
 Find the distance to fly.

From to KACJ

Sunrise and sunset

	Times for 09-Jun-2012	
	Local (UTC-4)	Zulu (UTC)
Morning civil twilight	06:03	10:03
Sunrise	06:31	10:31
Sunset	20:42	00:42
Evening civil twilight	21:10	01:10

Current date and time

Zulu (UTC) 09-Jun-2012 13:13:16
 Local (UTC-4) 09-Jun-2012 09:13:16

METAR

KACJ 091255Z AUTO 10007KT 10SM CLR
 22/18 A3007 RMK AO2

TAF

KABY 091122Z 0912/1012 07005KT
 35nm S P6SM BKN050 OVC100 FM091600

from runway, 495 ft.
left of centerline, 34:1
slope to clear
+12 FT TREES AND
BRUSH 400 FT
RIGHT AT THLD.

12010KT P6SM -TSRA BKN040CB
OVC050 TEMPO 0918/0922
11010KT 4SM TSRA BKN030CB
FM100000 11012KT 6SM -TSRA
BKN025CB FM100600 14010KT
P6SM VCSH BKN015
KLSF 0909/1015 12006KT 9999 FEW045
43nm W QNH2993INS BECMG 0915/0916
14010G15KT 9999 BKN020
QNH2994INS TEMPO 0917/0923
12012G18KT 8000 -SHRA OVC015
TEMPO 1007/1010 6000 BR
OVC030 BECMG 1010/1011
16009KT 8000 -SHRA OVC015
QNH2997INS TEMPO 1010/1015 -
TSRA BKN025CB T32/0919Z
T16/1011Z LIMITED METWATCH
0910 TIL 1110
KWRB 0905/1011 10006KT 9999 FEW030
43nm NE QNH2998INS BECMG 0914/0915
14010G15KT 9999 BKN040
QNH2985INS TEMPO 0918/0923
12009KT 9000 -TSRA OVC015CB
BECMG 1000/1001 14006KT 9999
OVC030 QNH2990INS T27/0920Z
T17/0908Z LIMITED METWATCH
0906 TIL 1011

Runway 10/28

Dimensions: 3786 x 75 ft. / 1154 x 23 m

Surface: asphalt, in fair condition

Weight bearing capacity: Single wheel: 30.0

Runway edge markings: RWY MARKINGS BADLY FADED.

RUNWAY 10

Latitude: 32-06.715463N

Longitude: 084-11.727433W

Elevation: 465.3 ft.

Gradient: 0.2%

Traffic pattern: left

Runway heading: 095 magnetic, 091 true

Markings: basic, in poor condition

Touchdown point: yes, no lights

Obstructions: 38 ft. trees, 352 ft. from
runway, 50 ft. left of
centerline, 4:1 slope to
clear

RUNWAY 28

Latitude: 32-06.705623N

Longitude: 084-10.993908W

Elevation: 458.6 ft.

Gradient: 0.2%

Traffic pattern: left

Runway heading: 275 magnetic, 271 true

Markings: basic, in poor condition

Touchdown point: yes, no lights

Obstructions: 56 ft. trees, 1432 ft. from
runway, 200 ft. both sides
of centerline, 22:1 slope to
clear

NOTAMS

Click for the latest NOTAMS

NOTAMS are issued by the DoD/FAA and
will open in a separate window not
controlled by AirNav.

Airport Ownership and Management from official FAA records

Ownership: Publicly-owned

Owner: CITY OF AMERICUS

COUNTY COURTHOUSE, PO BOX 944

AMERICUS, GA 31709

Phone 229-924-3090

AND SUMTER COUNTY.

Manager: FRANK JOINER, ARPT COMM

P.O. BOX 366

AMERICUS, GA 31709

Phone 229-924-2813

Airport Operational Statistics

Aircraft based on the field: 24 Aircraft operations: avg 117/week *

Single engine airplanes: 23 66% local general aviation

Multi engine airplanes: 1 33% transient general aviation

2% military

* for 12-month period ending 21 June 2010

Additional Remarks

- WILDLIFE ACTIVITY ON & INVOF ARPT.

Instrument Procedures

NOTE: All procedures below are presented as PDF files. If you need a reader for these files,
you should [download](#) the free Adobe Reader.

NOT FOR NAVIGATION. Please procure official charts for flight.
 FAA instrument procedures published for use between 31 May 2012 at 0901Z and 28 June 2012 at 0900Z.

IAPs - Instrument Approach Procedures

ILS OR LOC/NDB RWY 23 ****CHANGED**** [download](#) (353KB)
 RNAV (GPS) RWY 05 ****CHANGED**** [download](#) (303KB)
 RNAV (GPS) RWY 23 ****CHANGED**** [download](#) (330KB)
 NOTE: Special Take-Off Minimums/Departure Procedures apply [download](#) (116KB)

Other nearby airports with instrument procedures:

- [7A9](#) - Peterson Field Airport (9 nm W)
- [53A](#) - Dr. C P Savage Sr. Airport (15 nm NE)
- [KCKF](#) - Crisp County-Cordele Airport (22 nm E)
- [16J](#) - Dawson Municipal Airport (25 nm SW)
- [6A1](#) - Butler Municipal Airport (28 nm N)

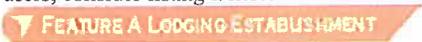
FBO, Fuel Providers, and Aircraft Ground Support

Business Name	Contact	Services / Description	Fuel Prices	Comments
		no information available		
Souther Field Aviation	229-924-2813	If you are affiliated with Souther Field Aviation and would like to show here your services, contact info, web link, logo, and more, click here	100LL Jet A FS \$6.10 \$5.20 Updated 15-May-2012	not yet rated write

FS=[Full service](#)


Where to Stay: Hotels, Motels, Resorts, B&Bs, Campgrounds

In this space we feature lodging establishments that are convenient to the Jimmy Carter Regional Airport. If your hotel/inn/B&B/resort is near the Jimmy Carter Regional Airport, provides convenient transportation, or is otherwise attractive to pilots, flight crews, and airport users, consider listing it here.



Hotels near Jimmy Carter Regional Airport

	Miles	Price (\$)
HAMPTON INN AMERICUS	3.1	104-105
JAMESON INN AMERICUS	3.1	85-86
BAYMONT INN AND SUITES AMERICUS	3.1	60-61
QUALITY INN AMERICUS	3.6	80-85
BEST WESTERN PLUS WINDSOR HOTEL	3.7	100-176
KNIGHTS INN AMERICUS	3.9	47-59

Hotels in other cities near Jimmy Carter Regional Airport

- 7 in [Americus](#)
- 1 in [Montezuma](#)

Distances are approximate, and may vary depending on the actual route traveled and the location of the travel start on the airport.

Would you like to see your business listed on this page?

If your business provides an interesting product or service to pilots, flight crews, aircraft, or users of the Jimmy Carter Regional Airport, you should consider listing it here. To start the listing process, click on the button below



Other Pages about Jimmy Carter Regional Airport

 www.southerfield.com

 UPDATE, REMOVE OR ADD A LINK

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[Privacy Policy](#) [Contact](#)

Worksheet D
Railway Noise

List All Railways within 3000 feet of the site:

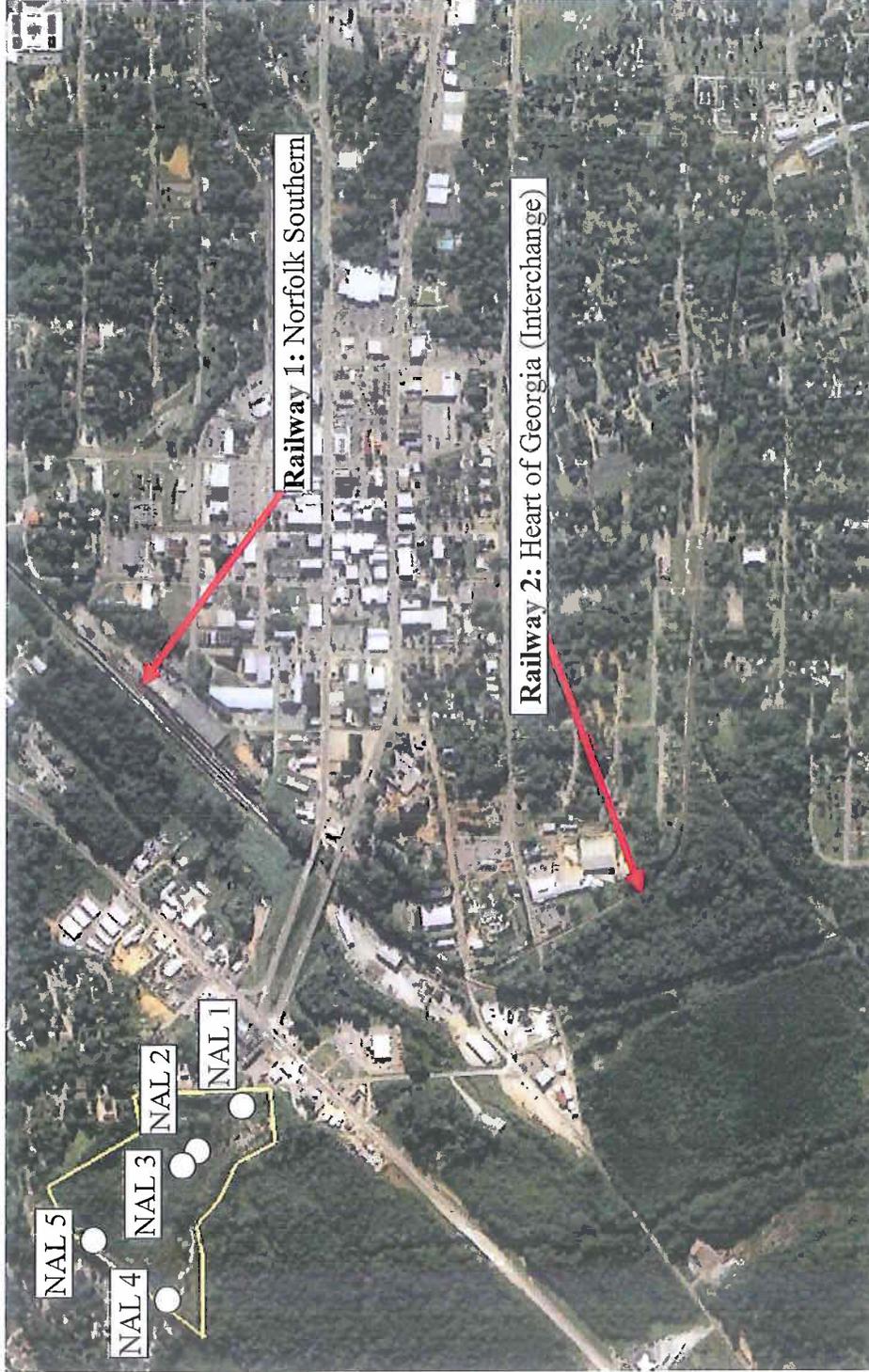
- 1 Norfolk Southern
- 2 Heart of Georgia Railroad (HOG) interchange NAL 1/2/3/4/5
- 3 Per maps, no other railways within 3000 feet of the site

Necessary Information:	Railway No. 1	Railway No. 2	Railway No. 3
1. Distance in feet from the NAL to the railway track:	<u>Various</u>	<u>Various</u>	
2. Number of trains in 24 hours:			
a. diesel	<u>15</u>	<u>3</u>	
b. electrified			
3. Fraction of operations at night (10 p.m. - 7 a.m.):	<u>73</u>	<u>0</u>	
4. Number of diesel locomotives per train:	<u>2</u>	<u>1</u>	
5. Number of rail cars per train:			
a. diesel trains	<u>80</u>	<u>10</u>	
b. electrified trains			
6. Average train speed:	<u>30</u>	<u>10</u>	
7. Is track welded or bolted? (w/b)	<u>w</u>	<u>b</u>	
8. Are whistles or horns required for grade crossings? (y/n)	<u>y</u>	<u>y</u>	

Projected for year 2012, combined Railway Noise DNL ranges between 60.0dB and 64.1dB

Signed 

Date 06/08/12



Aerial photo courtesy of Google Earth

○ - Noise Assessment Location (NAL)

Scale Unknown

Railway Noise

(All Railways within 3000 feet of site)

Creekview Commons

Americus, Georgia

GEC Project No. 110277.240

NAL	Total		Railway 1		Railway 2	
	DNL (dB)	Distance (feet)	DNL (dB)	Distance (feet)	DNL (dB)	Distance (feet)
1	64.1	1400	63.9	1550	49.2	1550
2	62.4	1815	62.2	1955	47.7	1955
3	62.2	1855	62.1	1990	47.6	1990
4	60.0	2615	59.8	2655	45.7	2655
5	60.1	2580	59.9	2720	45.6	2720



GEOTECHNICAL & ENVIRONMENTAL CONSULTANTS, INC.

514 Hillcrest Industrial Blvd., Watson, CA 91204 Tel: (774) 757-1606 Fax: (774) 757-1608
 6202 West Hamilton Park Drive, Columbus, CA 91909 Tel: (706) 569-0008 Fax: (706) 569-0940
 6810 Chapel Glen Court, Atlanta, GA 30380 Tel: (770) 804-9655

**U.S. DOT - CROSSING INVENTORY INFORMATION
AS OF 6/4/2012**

Crossing No.: **733526A** Update Reason: **Changed Crossing** Effective Begin-Date of Record: **04/14/11**
 Railroad: **NS Norfolk Southern Corp. [NS]** End-Date of Record:
 Initiating Agency **Railroad** Type and Position: **Public At Grade**

Part I Location and Classification of Crossing

Division:	GEORGIA	State:	GA
Subdivision:	C OF GA	County:	SUMTER
Branch or Line Name:	ALBANY	City:	In AMERICUS
Railroad Milepost:	H262.20	Street or Road Name:	SPRING ST
RailRoad I.D. No.:		Highway Type & No.:	CS796
Nearest RR Timetable Stn:	AMERICUS	HSR Corridor ID:	
Parent Railroad:	Norfolk Southern Corp. [NS]	County Map Ref. No.:	261
Crossing Owner:	Norfolk Southern Corp. [NS]	Latitude:	32.0708570
ENS Sign Installed:	Yes	Longitude:	-84.2430760
Passenger Service:	None	Lat/Long Source:	Actual
Avg Passenger Train Count:	0	Quiet Zone:	No
Adjacent Crossing with Separate Number:	Yes	928860M	

Private Crossing Information:

Category:	Public Access:	Yes
Specify Signs:	Specify Signals:	
ST/RR A	ST/RR B	ST/RR C
		ST/RR D

Railroad Use:

State Use:

Narrative:

Emergency Contact: **(800)453-2530** Railroad Contact: State Contact: **(404)631-1376**

Part II Railroad Information

Number of Daily Train Movements:	Less Than One Movement Per Day:	No
Total Trains: 15	Total Switching: 5	Day Thru: 4
Typical Speed Range Over Crossing: From 10 to 30 mph	Maximum Time Table Speed:	40
Type and Number of Tracks: Main: 1 Other: 1	Specify:	PASSING IN
Does Another RR Operate a Separate Track at Crossing?		No
Does Another RR Operate Over Your Track at Crossing?		Yes: GSWR

U.S. DOT - CROSSING INVENTORY INFORMATION

Crossing **733526A**

Continued

Effective Begin-Date of Record: **04/14/11**

End-Date of Record:

Part III: Traffic Control Device Information

Signs:

Crossbucks:	2	Highway Stop Signs:	0
Advanced Warning:	Yes	Hump Crossing Sign:	No
Pavement Markings:	Stop Lines and RR Xing Symbols	Other Signs:	2 Specify: W10-1
			0

Train Activated Devices:

Gates:	0	4 Quad or Full Barrier:	No
Mast Mounted FL:	2	Total Number FL Pairs:	4
Cantilevered FL (Over):	0	Cantilevered FL (Not over):	0
Other Flashing Lights:	0	Specify Other Flashing Lights:	
Highway Traffic Signals:	0	Wigwags:	0 Bells: 1
Other Train Activated Warning Devices:	NO	Special Warning Devices Not Train Activated:	N/A
Channelization:	None	Type of Train Detection:	Constant Warning Time
Track Equipped with Train Signals?	Yes	Traffic Light Interconnection/Preemption:	N/A

Part IV: Physical Characteristics

Type of Development:	Industrial	Smallest Crossing Angle:	60 to 90 Degrees
Number of Traffic Lanes Crossing Railroad:	2	Are Truck Pullout Lanes Present?	No
Is Highway Paved?	Yes	If Other:	
Crossing Surface:	Asphalt	Is it Signalized?	No
Nearby Intersecting Highway?	N/A	Is Crossing Illuminated?	Yes
Does Track Run Down a Street?	No		
Is Commercial Power Available?	Yes		

Part V: Highway Information

Highway System:	Non-Federal-aid	Functional Classification of Road at Crossing:	Urban Local
Is Crossing on State Highway System:	No	AADT Year:	2007
Annual Average Daily Traffic (AADT):	000870	Avg. No of School Buses per Day:	0
Estimated Percent Trucks:	05		
Posted Highway Speed:	30		

**U.S. DOT - CROSSING INVENTORY INFORMATION
AS OF 6/4/2012**

Crossing No.: **914507W** Update Reason: **Changed Crossing** Effective Begin-Date of Record: **05/05/10**
 Railroad: **HOG Heart of Georgia RR, Inc. [HOG]** End-Date of Record:
 Initiating Agency **State** Type and Position: **Public At Grade**

Part I Location and Classification of Crossing

Division:		State:	GA
Subdivision:		County:	SUMTER
Branch or Line Name:	SL	City:	In AMERICUS
Railroad Milepost:	0695.80	Street or Road Name:	W. CHURCH ST
RailRoad I.D. No.:		Highway Type & No.:	CS 866
Nearest RR Timetable Stn:		HSR Corridor ID:	
Parent Railroad:		County Map Ref. No.:	
Crossing Owner:	Georgia Department Of Transportation [GDOT]	Latitude:	32.0697300
ENS Sign Installed:	No	Longitude:	-84.2420620
Passenger Service:	Other	Lat/Long Source:	Actual
Avg Passenger Train Count:	1	Quiet Zone:	No
Adjacent Crossing with Separate Number:	No		

Private Crossing Information:

Category:		Public Access:	Unknown
Specify Signs:		Specify Signals:	
ST/RR A	ST/RR B	ST/RR C	ST/RR D

Railroad Use:

State Use:

Narrative:

Emergency Contact: **(229)924-7662** Railroad Contact: State Contact: **(404)631-1376**

Part II Railroad Information

Number of Daily Train Movements:		Less Than One Movement Per Day:	No
Total Trains: 3	Total Switching: 0	Day Thru:	3
Typical Speed Range Over Crossing: From 1 to 10 mph		Maximum Time Table Speed:	10
Type and Number of Tracks: Main: 0 Other 1		Specify:	INTERCHGE
Does Another RR Operate a Separate Track at Crossing?	No		
Does Another RR Operate Over Your Track at Crossing?	Yes: NS SWGX		

U.S. DOT - CROSSING INVENTORY INFORMATION

Crossing **914507W**

Continued

Effective Begin-Date of Record: **05/05/10**

End-Date of Record:

Part III: Traffic Control Device Information

Signs:

Crossbucks:	2	Highway Stop Signs:	0
Advanced Warning:	No	Hump Crossing Sign:	No
Pavement Markings:	RR Xing Symbols	Other Signs:	0
		Specify:	0

Train Activated Devices:

Gates:	0	4 Quad or Full Barrier:	No
Mast Mounted FL:	0	Total Number FL Pairs:	0
Cantilevered FL (Over):	0	Cantilevered FL (Not over):	0
Other Flashing Lights:	0	Specify Other Flashing Lights:	
Highway Traffic Signals:	0	Wigwags:	0
Other Train Activated Warning Devices:		Bells:	0
Channelization:	None	Special Warning Devices Not Train Activated:	
Track Equipped with Train Signals?	No	Type of Train Detection:	None
		Traffic Light Interconnection/Preemption:	N/A

Part IV: Physical Characteristics

Type of Development:	Industrial	Smallest Crossing Angle:	60 to 90 Degrees
Number of Traffic Lanes Crossing Railroad:	2	Are Truck Pullout Lanes Present?	No
Is Highway Paved?	Yes	If Other:	
Crossing Surface:	Asphalt	Is it Signalized?	No
Nearby Intersecting Highway?	N/A	Is Crossing Illuminated?	Yes
Does Track Run Down a Street?	No		
Is Commercial Power Available?	Yes		

Part V: Highway Information

Highway System:	Non-Federal-aid	Functional Classification of Road at Crossing:	Urban Collector
Is Crossing on State Highway System:	No	AADT Year:	2009
Annual Average Daily Traffic (AADT):	003760	Avg. No of School Buses per Day:	0
Estimated Percent Trucks:	3		
Posted Highway Speed:	30		

Noise Mitigation Plan

GEC

GEC

**GEOTECHNICAL
&
ENVIRONMENTAL
CONSULTANTS, INC**

NOISE MITIGATION PLAN

**CREEKVIEW COMMONS
MAGNOLIA STREET
AMERICUS, SUMTER COUNTY, GEORGIA
GEC JOB #100277.240**

PREPARED FOR

**CREEKVIEW COMMONS, L.P.
C/O MACO CONSTRUCTION
111 NORTH MAIN STREET
CLARKSTON, MISSOURI 63837
ATTN: MR. JASON MADDOX**

PREPARED BY

**GEOTECHNICAL & ENVIRONMENTAL CONSULTANTS, INC.
514 HILLCREST INDUSTRIAL BOULEVARD
MACON, GEORGIA 31204-3472**

ISSUE DATE

JUNE 8, 2012

NOISE MITIGATION PLAN FOR CREEKVIEW COMMONS

This Noise Mitigation Plan describes the measures to be implemented at the Creekview Commons development, on Magnolia Street in Americus, Georgia, to reduce the impact of the noise environment upon the residents. This plan is based on findings of the Creekview Commons Noise Assessment Guidelines (NAG) study completed by GEC, dated June 8, 2012. The NAG study found that the southeastern portion of the site would be exposed to a calculated noise level greater than 65 day-night-level (DNL), in excess of the HUD acceptable limit of 65 DNL, though less than 70 DNL. The principal sources for the predicted levels were identified as U.S. 19 / Martin Luther King, Jr. Blvd. and Ga 49 / West Forsyth St./West Lamar St. situated south-southeast of the site, as depicted in Figure 3 (attached), copied from the GEC NAG study, and Norfolk Southern and Heart of Georgia railways situated south-southeast of the site, as depicted in Figure 4 (attached), copied from the GEC NAG study.

The development includes 25 resident-occupied buildings and a community building, as depicted in Figure 1 (attached), copied from the GEC NAG study. The GEC NAG study predicted noise levels at five noise assessment locations (NALs). Most resident-occupied site locations are 65 DNL or below except for the buildings situated in the southeastern portion of the site which are southeast of the 65dB Contour line as shown on Figure 3. The elevations of these buildings with line-of-sight to the Norfolk Southern railway / U.S. 19/Martin Luther King, Jr. Blvd. require noise mitigation to ensure an interior noise level of 45 DNL or less. There were no calculated noise exposures greater than 70 DNL. Figure 1 shows the location of the NALs and their calculated DNLs, including all potential noise sources, as well as the combined DNLs.

Scope

The noise mitigation plan addresses the use of exterior space as well as the acoustic environment of interior residential spaces.

Exterior Amenity

There are no exterior amenities planned within the area exposed to levels above 65 DNL.

Construction Methods for Interior Noise Reduction

The development consists of 25 resident-occupied buildings and a community building. The elevations of the resident-occupied buildings southeast of the 65dB Contour, with line-of-sight to the Norfolk Southern railway, U.S. 19/Martin Luther King, Jr. Blvd., and Ga. 49/West Forsyth Street/West Lamar Street require special construction designs and practices providing a noise level reduction (NLR) of no less than 25dB (NAG assumes 20dB reduction for standard construction and requires a minimum 5dB reduction for DNLs between 65 and 70 – see attachment), to achieve a HUD

Geotechnical & Environmental Consultants, Inc.
Noise Mitigation Plan

acceptable interior noise level of 45 DNL or below. Wall, window, and door Sound Transmission Class (STC) requirements that will achieve this target NLR are detailed in Table 1, for use by the project architect to select and specify suitable wall, window, and door design detail. The Noise Guidebook states that “*STC is used as a measure of a material’s ability to reduce sound*” and “*the higher the STC value, the greater the sound attenuation and presumably the quieter the structure’s interior*”.

The STC ratings in Table 1 are conservative recommendations intended to provide ample protection for “typical” room sizes. Figure 2, attached, includes a discussion/calculation of composite STC ratings of walls, windows, and doors, including a reduction of 3dB for the reduced effectiveness in attenuating noise from transportation sources. As design proceeds, the specific floor plans, elevations, wall detail, and window detail should be evaluated against the recommendations and specifications in Table 1 to determine their impact on the predicted interior noise levels; such review may determine reduced or increased STC requirements for individual design elements. Additionally, the STC recommendations are based on the living rooms and bedrooms being carpeted. If these spaces are hard-floored, then the recommended STC ratings must be increased.

Table 1
Recommended Wall, Window, and Door STC Ratings to achieve 25 NLR

NLR (dB)	Number of Exterior Walls With Line-of-Sight *	Room Exterior Wall Area With Line-of-Sight* (sq ft)	Recommended STC (Minimum)		
			Wall	Window**	Door**
25	1	Large (> 170)	35	33	24
25	1	Typical (< 170)	35	27	24
25	2	Large (> 300)	35	33	24
25	2	Typical (< 300)	35	33	24

* Line-of Sight to Norfolk Southern Railway / U.S. 19/Martin Luther King, Jr. Blvd.

** Combined window and/or door area no more than 25% of wall area

In addition to the recommended minimum wall, window, and door STC ratings shown above, the following are conservative, minimum recommendations – at the building elevations with direct line-of-sight to Norfolk Southern railway, U.S. 19/Martin Luther King, Jr. Blvd , and Ga. 49/West Forsyth Street/West Lamar Street, the principal noise sources – to reduce the sound level at the interior spaces:

- Continuous acoustical-caulking and compressible neoprene weather stripping shall be installed at all door and window openings.
- Tight seals and acoustical caulking shall be installed around all exterior wall penetrations.
- All bathroom and/or kitchen exhaust fans shall duct through the attic or away from the noise source with a duct layout that incorporates at least one 90 degree elbow.
- All equipment shall incorporate vibration mounting as appropriate.

Geotechnical & Environmental Consultants, Inc.
Noise Mitigation Plan

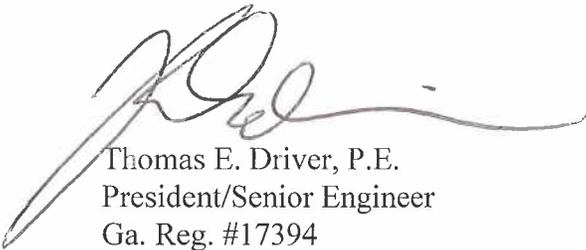
As the principal noise source is ground level transportation sources, and not airborne aviation sources, no special construction detail is required for roofs or top-level ceilings.

Based on the above criteria, GEC safely assumes a minimum 25dB noise reduction at the interior spaces with line-of-sight to Norfolk Southern railway, U.S. 19/Martin Luther King, Jr. Blvd, and Ga. 49/West Forsyth Street/West Lamar Street, the principal noise sources, as required by the HUD noise assessment guidelines when exterior noise levels are 65-70dB. GEC judges this proposed plan/specifications and course of action to be satisfactory to address HUD noise mitigation requirements, and achieve 45 DNL or less interior, under the proposed conditions.

Sincerely,
Geotechnical & Environmental Consultants, Inc.



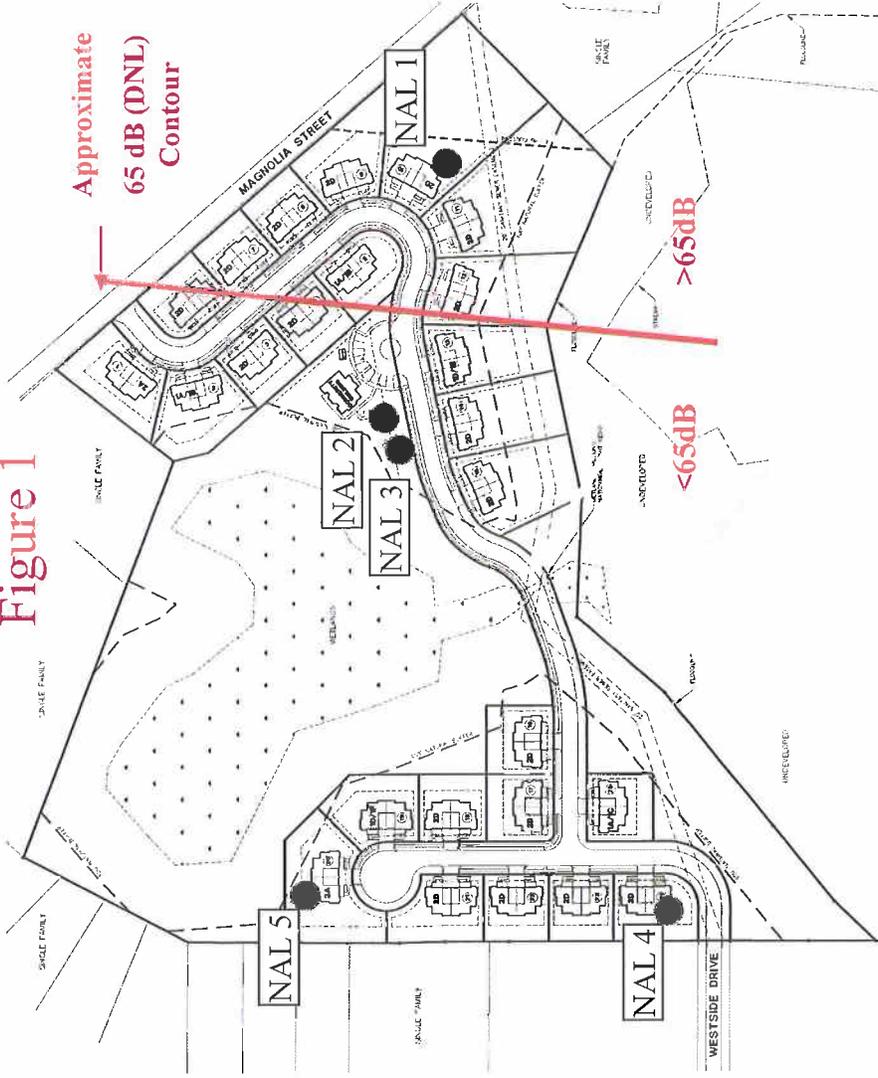
Christopher S. Herrick, CSP
Environmental Specialist/
Industrial Hygiene



Thomas E. Driver, P.E.
President/Senior Engineer
Ga. Reg. #17394

Attachments

Figure 1



● - Noise Assessment Location (NAL) Scale Unknown

NAL Total Aircraft Roadway Railway

Noise Assessment Locations (NAL)
 Creekview Commons
 Americus, Georgia
 GEC Project No. 110277.210

	DNL (dB)	DNL (dB)	DNL (dB)
1	65.7	<55	61.6
2	62.8	<55	59.9
3	62.6	<55	59.8
4	59.7	<55	57.6
5	59.8	<55	57.6

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 6810 Chapel Glen Court Atlanta, GA 30350 Tel: (770) 804-9055

FIGURE 2

Windows

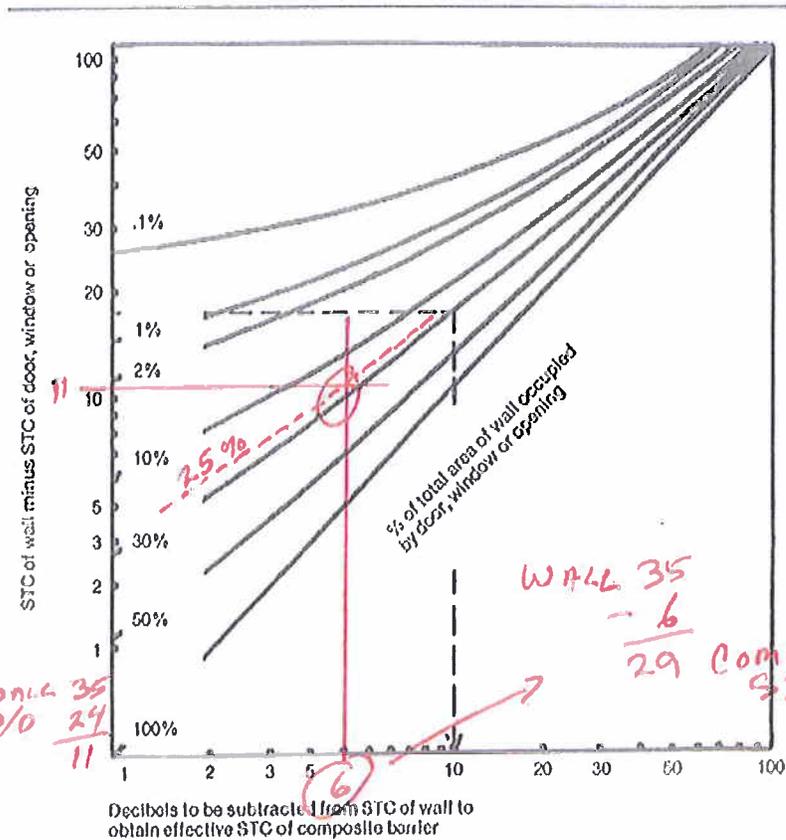
Sound enters a building through its acoustically weakest points, and windows are one of the weakest parts of a wall. An open or weak window will severely negate the effect of a very strong wall. Whenever windows are going to be a part of the building design, they should be given acoustical consideration. Figure 17 illustrates the effects of windows on the sound transmission of walls. For example, if a wall with an STC rating of 45 contains a window with an STC rating of 26 covering 30% of its area, the overall STC of the composite partition will be 35, a reduction of 10 dB.

The following is a discussion of techniques that can be used to reduce noise in a building by means of its windows. These techniques range from a blocking of the principal paths of noise entry to a blocking of the most indirect paths.

Close windows. The first step in reducing unwanted sound is to close and seal the windows. The greatest amount of sound insulation can be achieved if windows are permanently sealed. However, openable acoustical windows have been developed which are fairly effective in reducing sound.¹ Whether or not the sealing is permanent, keeping windows closed necessitates the installation of mechanical ventilation systems. If you are dealing with single family houses and some of the windows are facing away from all noise sources, a whole house fan may be better and cheaper than air conditioning. In multifamily housing or where all windows are exposed to the noise sources you will have to go with the air conditioning. If windows must be openable, special seals are available which allow windows to be opened.²

Reduce window size. The smaller the windows, the greater the transmission loss of the total partition of which the window is a part. Reducing the window size is a technique that is used because (a) it precludes the cost of expensive acoustical windows, and (b) it saves money by cutting down the use of glass. The problems with this technique are (a) it is not very effective in reducing noise; e.g., reducing the proportion of window to wall size from 50% to 20% reduces noise by only 3 decibels; and (b) many building codes require a minimum window to wall size ratio.

Figure 17
STC



Instructions on use of graph

1. Subtract the STC value of the door, window or opening from the STC value of the wall.
2. Enter the vertical axis of the graph at the point that matches the value from step 1.
3. Read across to the curve that represents the percentage of the total area of the wall that is taken up by the door, window, or opening.
4. Read down to the horizontal axis.
5. Subtract the value on the horizontal axis from the original STC value of the wall. The result is the composite STC value of the wall and the door, window or opening.

Increase glass thickness. If ordinary windows are insufficient in reducing noise impacts in spite of sealing techniques, then thicker glass can be installed. In addition, this glass can be laminated with a tough transparent plastic which is both noise and shatter resistant. Glass reduces noise by the mass principle; that is, the thicker the glass, the more noise resistant it will be. A 1/2-inch thick glass has a maximum STC rating of 35 dB compared to a 25 dB rating for ordinary 3/16 inch glass.

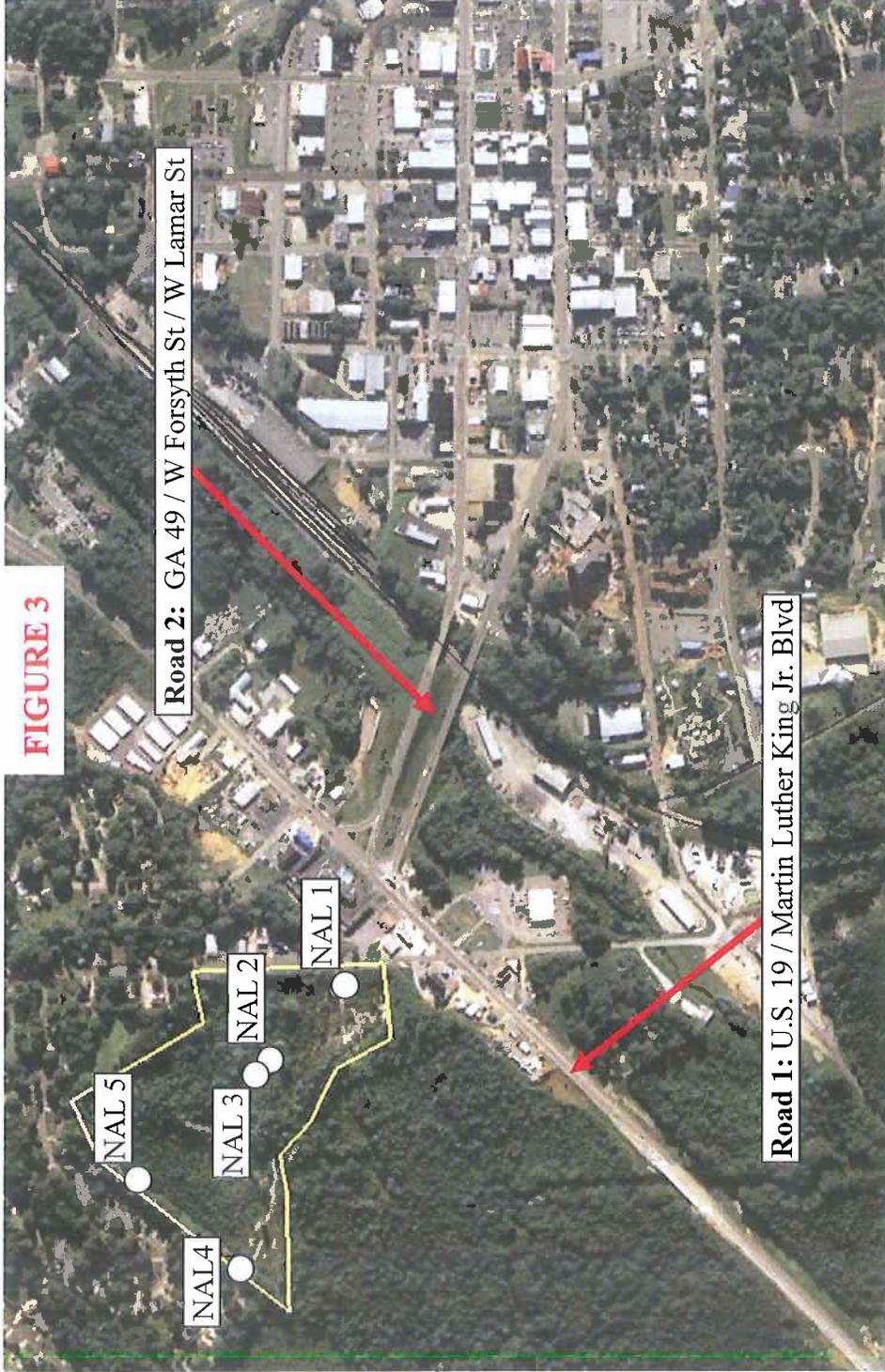
¹U.S. Department of Housing and Urban Development, A Study of Techniques to Increase the Sound Insulation of Building Elements, Report No. WH 73-5, Washington, D.C., June 1973.

²Los Angeles Department of Airports, Guide to the Soundproofing of Existing Homes Against Exterior Noise, Report No. WRC 70-2, March 1970, pp. 9-11, 22-30. In this report, the function and performance of a number of operable seals are described.

29
- 3
26
TRANSPORTATION
NOISE REDUCTION
EFFECTIVE STC

Christina Sklar 6/8/2012

FIGURE 3



Aerial photo courtesy of Google Earth

○ - Noise Assessment Location (NAL)

Scale Unknown

Roadway Noise

(all major roads within 1000 feet of site)

Creekview Commons
Americus, Georgia
GEC Project No. 110277.240

NAL	Total DNL (dB)	Road 1		Road 2	
		Distance (feet)	DNL (dB)	Distance (feet)	DNL (dB)
1	63.5	460	61.2	560	59.8
2	59.6	880	57.0	960	56.3
3	59.3	925	56.6	1000	56.0
4	55.6	1610	53.0	1825	52.1
5	55.7	1650	52.9	1705	52.6



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6810 Chapel Glen Court Atlanta, GA 30350 Tel: (770) 804-9055

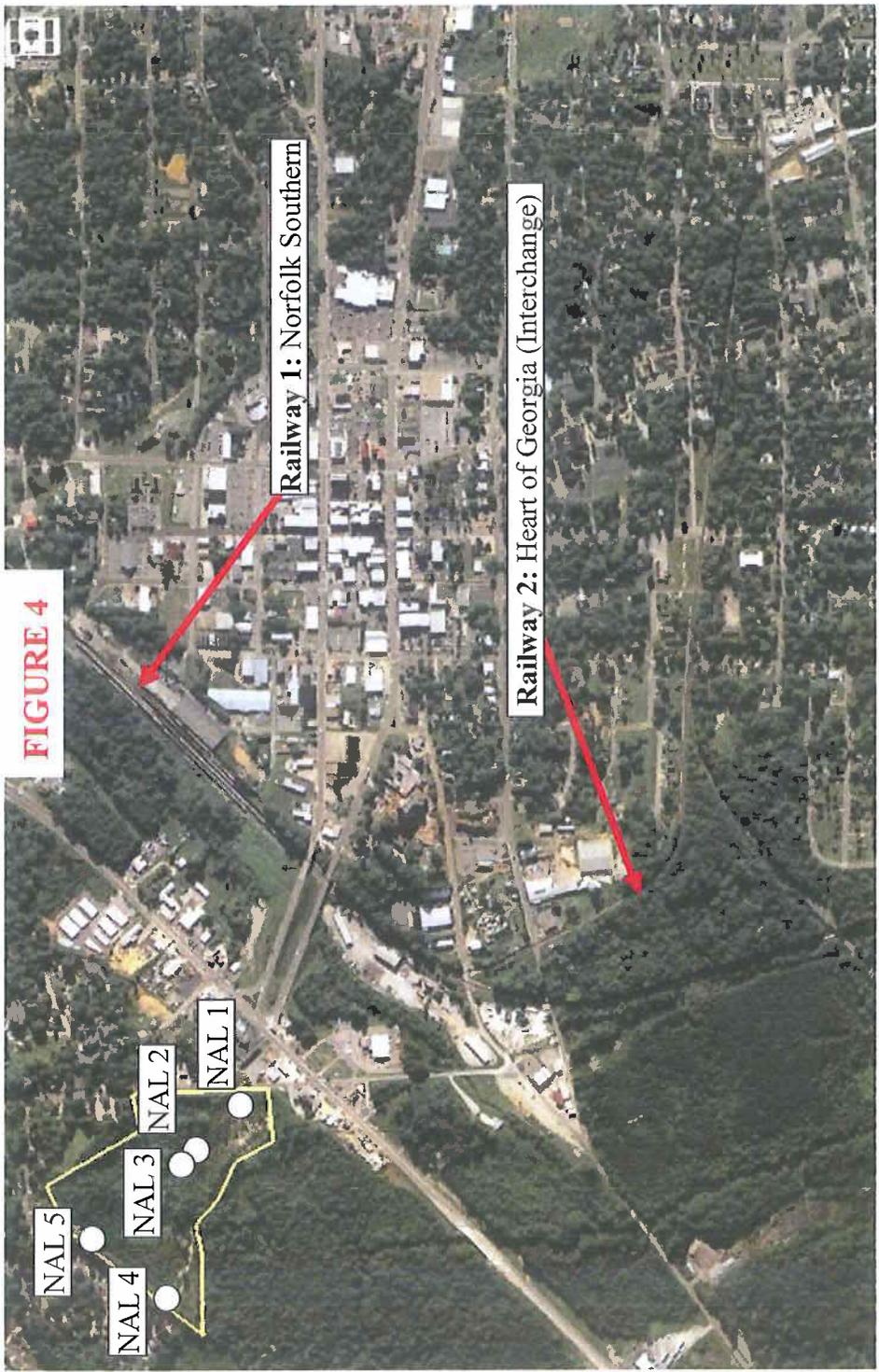


FIGURE 4

Aerial photo courtesy of Google Earth ○ - Noise Assessment Location (NAL) Scale Unknown

Railway Noise
(All Railways within 3000 feet of site)
 Creekview Commons
 Americus, Georgia
 GEC Project No. 110277.240

NAL	Railway 1		Railway 2	
	Distance (feet)	DNL (dB)	Distance (feet)	DNL (dB)
1	1400	63.9	1550	49.2
2	1815	62.2	1955	47.7
3	1855	62.1	1990	47.6
4	2615	59.8	2655	45.7
5	2580	59.9	2720	45.6

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§51.104 Special requirements.

(a) *Noise attenuation.* Noise attenuation measures are those required in addition to attenuation provided by buildings as commonly constructed in the area, and requiring open windows for ventilation. Measures that reduce external noise at a site shall be used wherever practicable in preference to the incorporation of additional noise attenuation in buildings. Building designs and construction techniques that provide more noise attenuation than typical construction may be employed also to meet the noise attenuation requirements.

(1) *Normally Unacceptable noise zone.* Approvals in this zone require a minimum of 5 decibels additional sound attenuation for buildings having noise-sensitive uses if the day-night average sound level is greater than 65 decibels but does not exceed 70 decibels, or a minimum of 10 decibels of additional sound attenuation if the day-night average sound level is greater than 70 decibels but does not exceed 75 decibels.

(2) *Unacceptable noise zone.* Noise attenuation measures require the approval of the Assistant Secretary for Community Planning and Development (See §51.104(b)(2).)

(b) *Special Approvals and Environmental Review Requirements.* Environmental clearances shall be conducted pursuant to the requirements of HUD's Departmental Policies, Responsibilities and Procedures for Protection and Enhancement of Environmental Quality (38 FR 19102 as amended) or other environmental regulations which may be issued by the Department. The Special Clearance and Environmental Impact Statement (EIS) threshold requirements are hereby modified for all projects proposed in the Normally Unacceptable and Unacceptable noise exposure zones as follows:

(1) *Normally Unacceptable noise zone.* (i) All projects located in the Normally Unacceptable Noise Zone require a Special Environmental Clearance except an EIS is required for a proposed project located in a largely undeveloped area, or where the HUD action is likely to encourage the establishment of incompatible land use in this noise zone.

Borns and barriers are our first choice because they provide protection for yards, playgrounds, etc. Since outdoor activity is often very important to residents we want to protect the outdoor areas as much as possible.

By definition a barrier must be separate from the building or area it is providing attenuation for. After all barriers are preferred because they improve exterior as well as interior levels. Non-noise sensitive buildings can, however, be used as barriers for noise sensitive buildings or exterior areas.

Assumption is that standard construction provides an average of 20 L_{dn} attenuation. At 65 L_{dn} or below this amount of attenuation would be sufficient to meet interior level of 45 L_{dn}. Additional requirements are designed to meet this goal even when exterior noise levels are higher.

Substitute Environmental Assessment (with ECO concurrence) wherever you see Special Clearance.

**APPENDIX G:
Regulatory Search Information**

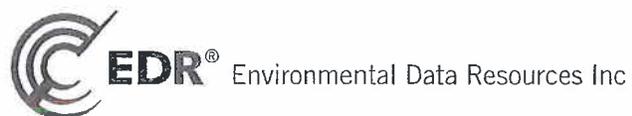
Creekview Commons

Magnolia Street
Americus, GA 31719

Inquiry Number: 3315626.1s

May 03, 2012

The EDR Radius Map™ Report with GeoCheck®



440 Wheelers Farms Road
Milford, CT 06461
Toll Free: 800.352.0050
www.edrnet.com

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Thank you for your business.
Please contact EDR at 1-800-352-0050
with any questions or comments.

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EXECUTIVE SUMMARY

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-05) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

TARGET PROPERTY INFORMATION

ADDRESS

MAGNOLIA STREET
AMERICUS, GA 31719

COORDINATES

Latitude (North): 32.0740000 - 32° 4' 26.40"
Longitude (West): 84.2457000 - 84° 14' 44.52"
Universal Transverse Mercator: Zone 16
UTM X (Meters): 759998.8
UTM Y (Meters): 3551770.2
Elevation: 373 ft. above sea level

USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY

Target Property Map: 32084-A2 AMERICUS, GA
Most Recent Revision: 1985

West Map: 32084-A3 LAKE COLLINS, GA
Most Recent Revision: 1985

AERIAL PHOTOGRAPHY IN THIS REPORT

Portions of Photo from: 2009, 2010
Source: USDA

TARGET PROPERTY SEARCH RESULTS

The target property was not listed in any of the databases searched by EDR.

DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL..... National Priority List

EXECUTIVE SUMMARY

Proposed NPL..... Proposed National Priority List Sites
NPL LIENS..... Federal Superfund Liens

Federal Delisted NPL site list

Delisted NPL..... National Priority List Deletions

Federal CERCLIS list

CERCLIS..... Comprehensive Environmental Response, Compensation, and Liability Information System
FEDERAL FACILITY..... Federal Facility Site Information listing

Federal RCRA CORRACTS facilities list

CORRACTS..... Corrective Action Report

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

Federal RCRA generators list

RCRA-LQG..... RCRA - Large Quantity Generators
RCRA-SQG..... RCRA - Small Quantity Generators
RCRA-CESQG..... RCRA - Conditionally Exempt Small Quantity Generator

Federal institutional controls / engineering controls registries

US ENG CONTROLS..... Engineering Controls Sites List
US INST CONTROL..... Sites with Institutional Controls

Federal ERNS list

ERNS..... Emergency Response Notification System

State- and tribal - equivalent CERCLIS

GA NON-HSI..... Non-Hazardous Site Inventory

State and tribal landfill and/or solid waste disposal site lists

SWF/LF..... Solid Waste Disposal Facilities

State and tribal leaking storage tank lists

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

State and tribal registered storage tank lists

INDIAN UST..... Underground Storage Tanks on Indian Land
FEMA UST..... Underground Storage Tank Listing

State and tribal institutional control / engineering control registries

INST CONTROL..... Public Record List

EXECUTIVE SUMMARY

AUL..... Uniform Environmental Covenants

State and tribal voluntary cleanup sites

INDIAN VCP..... Voluntary Cleanup Priority Listing
VIC..... Voluntary Cleanup Program site

State and tribal Brownfields sites

BROWNFIELDS..... Brownfields Public Record List

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS..... A Listing of Brownfields Sites

Local Lists of Landfill / Solid Waste Disposal Sites

ODI..... Open Dump Inventory
DEBRIS REGION 9..... Torres Martinez Reservation Illegal Dump Site Locations
HIST LF..... Historical Landfills
SWRCY..... Recycling Center Listing

Local Lists of Hazardous waste / Contaminated Sites

US CDL..... Clandestine Drug Labs
DEL SHWS..... Delisted Hazardous Site Inventory Listing
US HIST CDL..... National Clandestine Laboratory Register

Local Land Records

LIENS 2..... CERCLA Lien Information
LUCIS..... Land Use Control Information System

Records of Emergency Release Reports

HMIRS..... Hazardous Materials Information Reporting System
SPILLS..... Spills Information

Other Ascertainable Records

DOT OPS..... Incident and Accident Data
DOD..... Department of Defense Sites
FUDS..... Formerly Used Defense Sites
CONSENT..... Superfund (CERCLA) Consent Decrees
ROD..... Records Of Decision
UMTRA..... Uranium Mill Tailings Sites
MINES..... Mines Master Index File
TRIS..... Toxic Chemical Release Inventory System
TSCA..... Toxic Substances Control Act
FTTS..... FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
HIST FTTS..... FIFRA/TSCA Tracking System Administrative Case Listing

EXECUTIVE SUMMARY

SSTS.....	Section 7 Tracking Systems
ICIS.....	Integrated Compliance Information System
PADS.....	PCB Activity Database System
MLTS.....	Material Licensing Tracking System
RADINFO.....	Radiation Information Database
FINDS.....	Facility Index System/Facility Registry System
RAATS.....	RCRA Administrative Action Tracking System
NPDES.....	NPDES Wastewater Permit List
DRYCLEANERS.....	Drycleaner Database
AIRS.....	Permitted Facility and Emissions Listing
TIER 2.....	Tier 2 Data Listing
INDIAN RESERV.....	Indian Reservations
SCRD DRYCLEANERS.....	State Coalition for Remediation of Drycleaners Listing
PCB TRANSFORMER.....	PCB Transformer Registration Database
COAL ASH EPA.....	Coal Combustion Residues Surface Impoundments List
FINANCIAL ASSURANCE.....	Financial Assurance Information Listing
COAL ASH.....	Coal Ash Disposal Site Listing
COAL ASH DOE.....	Sleam-Electric Plan Operation Data

SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

STANDARD ENVIRONMENTAL RECORDS

Federal CERCLIS NFRAP site List

CERC-NFRAP: Archived sites are sites that have been removed and archived from the inventory of CERCLIS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

A review of the CERC-NFRAP list, as provided by EDR, and dated 12/28/2011 has revealed that there is 1 CERC-NFRAP site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
AMERICUS LIGHT AND POWER COMPA	PLUM STREET	E 1/4 - 1/2 (0.437 mi.)	E16	40

EXECUTIVE SUMMARY

State- and tribal - equivalent CERCLIS

SHWS: The State Hazardous Waste Sites records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. The data come from the Department of Natural Resources' Hazardous Site Inventory.

A review of the SHWS list, as provided by EDR, and dated 07/01/2011 has revealed that there are 2 SHWS sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
304 N DUDLEY STREET SITE	304 N DUDLEY STREET	ENE 1/2 - 1 (0.552 mi.)	18	44
HOXSIE'S CLEANERS (FORMER)	106 SOUTH LEE STREET	E 1/2 - 1 (0.786 mi.)	19	44

State and tribal leaking storage tank lists

LUST: The Leaking Underground Storage Tank Incident Reports contain an inventory of reported leaking underground storage tank incidents. The data come from the Department of Natural Resources' Confirmed Release List.

A review of the LUST list, as provided by EDR, and dated 01/11/2012 has revealed that there are 5 LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>MAIN SHOP AREA</i>	<i>844 SPRING ST</i>	<i>ESE 1/4 - 1/2 (0.425 mi.)</i>	<i>F15</i>	<i>34</i>
<i>AMERICUS INLAND TEXACO #819</i>	<i>1204 S MLK (US 19)</i>	<i>SSW 1/4 - 1/2 (0.491 mi.)</i>	<i>17</i>	<i>41</i>
<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>GA FC/AMERICUS DIST OFC</i>	<i>243 US HWY 19 NORTH</i>	<i>SE 0 - 1/8 (0.092 mi.)</i>	<i>A1</i>	<i>7</i>
<i>GA DEPT PUBLIC SAFETY/GA STATE WESTSIDE BP</i>	<i>506 WEST LAMAR ST</i>	<i>E 1/4 - 1/2 (0.258 mi.)</i>	<i>11</i>	<i>31</i>
	<i>910 MLK JR BLVD</i>	<i>SW 1/4 - 1/2 (0.421 mi.)</i>	<i>13</i>	<i>33</i>

State and tribal registered storage tank lists

UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the Department of Natural Resources' Underground Storage Tank Database.

A review of the UST list, as provided by EDR, and dated 03/08/2012 has revealed that there are 5 UST sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<i>GA FC/AMERICUS DIST OFC</i>	<i>243 US HWY 19 NORTH</i>	<i>SE 0 - 1/8 (0.092 mi.)</i>	<i>A2</i>	<i>7</i>
<i>WESTSIDE BP</i>	<i>910 MLK JR BLVD</i>	<i>E 0 - 1/8 (0.111 mi.)</i>	<i>B4</i>	<i>11</i>
<i>MEADOWBROOKS</i>	<i>1104 W MARTIN LUTHER KI</i>	<i>E 0 - 1/8 (0.116 mi.)</i>	<i>5</i>	<i>16</i>
<i>QUIK STOP FOOD MART</i>	<i>HWY 19 NORTH & GA 40</i>	<i>E 1/8 - 1/4 (0.178 mi.)</i>	<i>D8</i>	<i>24</i>
<i>H B ARNOLD INC</i>	<i>HWY 19 SOUTH</i>	<i>E 1/8 - 1/4 (0.178 mi.)</i>	<i>D9</i>	<i>28</i>

EXECUTIVE SUMMARY

AST: A listing of LP gas tank site locations.

A review of the AST list, as provided by EDR, and dated 03/06/2012 has revealed that there are 2 AST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
QUICK MART SHELL	602 WEST FORSYTH STREET	E 1/8 - 1/4 (0.243 mi.)	10	31
REEVES CONSTRUCTION COMPANY (C	844 SPRING STREET	ESE 1/4 - 1/2 (0.425 mi.)	F14	34

ADDITIONAL ENVIRONMENTAL RECORDS

Other Ascertainable Records

RCRA-NonGen: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

A review of the RCRA-NonGen list, as provided by EDR, and dated 11/10/2011 has revealed that there are 3 RCRA-NonGen sites within approximately 0.25 miles of the target property.

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
USRY'S PAINT & BODY SHOP	904 MARTIN LUTHER KING	ESE 0 - 1/8 (0.105 mi.)	B3	9
SUMTER FORD LINCOLN MERCURY	1016 MEADOWBROOK DR	E 1/8 - 1/4 (0.141 mi.)	C6	20
CALHOUN OIL COMPANY	1011 MEADOWBROOK DRIVE	E 1/8 - 1/4 (0.147 mi.)	C7	22

EDR PROPRIETARY RECORDS

EDR Proprietary Records

Manufactured Gas Plants: The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

A review of the Manufactured Gas Plants list, as provided by EDR, has revealed that there is 1 Manufactured Gas Plants site within approximately 1 mile of the target property.

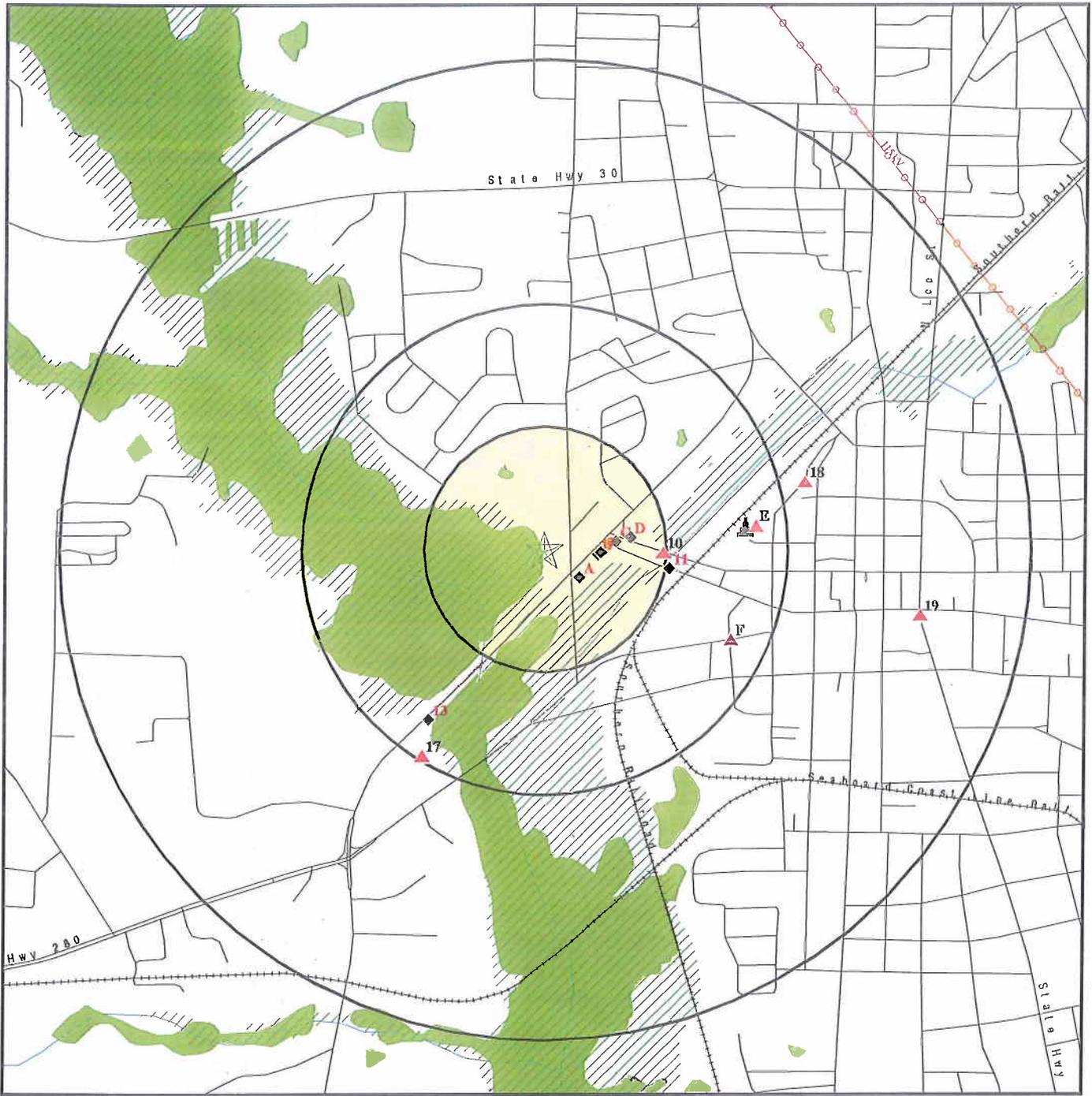
<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
AMERICUS LIGHT AND POWER CO	PLUM STREET	E 1/4 - 1/2 (0.414 mi.)	E12	33

EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 26 records.

<u>Site Name</u>	<u>Database(s)</u>
SU ELLENS FOOD STORE	UST, FINANCIAL ASSURANCE
GRANT STEPP EQUIPMENT CO	UST, FINANCIAL ASSURANCE
PEACOCK TIRE CO INC	UST, FINANCIAL ASSURANCE
DANFAIR EXPRESS 27	UST, FINANCIAL ASSURANCE
PHILLIPS 66/THRIFTY GAS	UST, FINANCIAL ASSURANCE
B L CANNON PROPERTY (FORMERLY)	UST, FINANCIAL ASSURANCE
RYDER TS #0162	LUST, UST, FINANCIAL ASSURANCE
SUMTER COUNTY LANDFILL	SHWS
OLD LARAMORE LTD. DRUM SITE	CERCLIS, FINDS
EDDIE WALLACE INERT LANDFILL	SWF/LF
BOARD OF COMMISSIONERS, SUMTER COU	SWF/LF
B L CANNON PROPERTY (FORMERLY)	LUST
J&M TRUCKING COMPANY (CLOSED)	AST
DANFAIR EXPRESS	AST
PERRY BROTHERS CONVENIENCE STORE	AST
SOUTH EAST TERMINALS	AST
FERRELLGAS, L.P. DBA BARROW PROPAN	AST
EXPRESS LANE #18	AST
WAL-MART	AST
PLANTERS HARDWARE(CLOSED)	AST
SHOP RITE FOODS	AST
BIRDHOUSE FARMS	AST
PLANTERS HARDWARE	AST
CHEVRON FOOD MART	AST
AMERIDOOOR, INC. (AREA 1) (CLOSED)	AST
ENVIRO TRANS INC	RCRA-NonGen, FINDS

OVERVIEW MAP - 3315626.1s



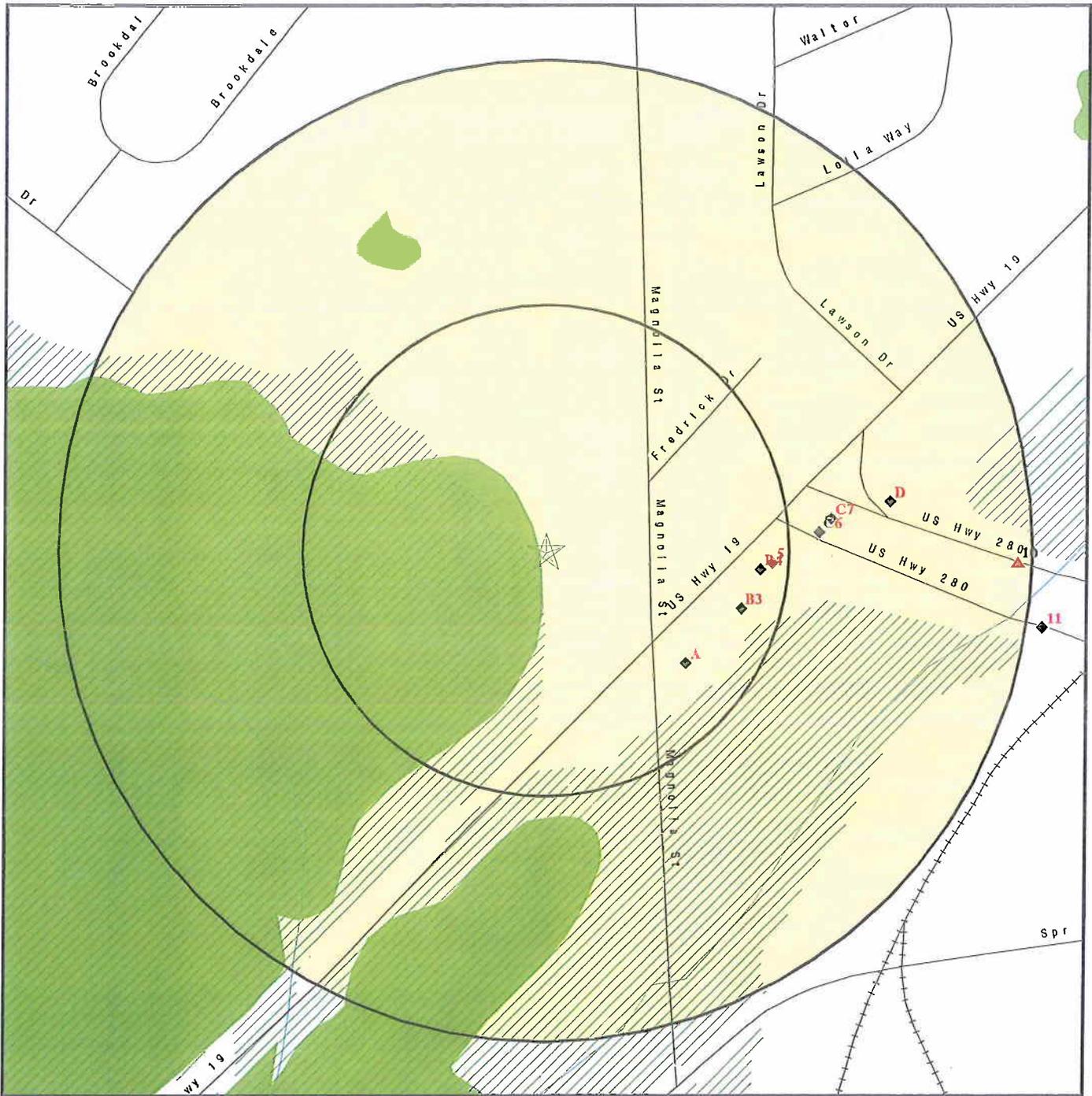
- ☆ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- ▨ National Priority List Sites
- ▨ Dept. Defense Sites
- ▨ Indian Reservations BIA
- ⚡ Power transmission lines
- ⚡ Oil & Gas pipelines from USGS
- ▨ 100-year flood zone
- ▨ 500-year flood zone
- ▨ National Wetland Inventory

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Creekview Commons
 ADDRESS: Magnolia Street
 Americus GA 31719
 LAT/LONG: 32.074 / 84.2457

CLIENT: Geotechnical & Env'tl. Cons.
 CONTACT: Tameka Gordon
 INQUIRY #: 3315626.1s
 DATE: May 03, 2012 12:09 pm

DETAIL MAP - 3315626.1s



- ★ Target Property
- ▲ Sites at elevations higher than or equal to the target property
- ◆ Sites at elevations lower than the target property
- ▲ Manufactured Gas Plants
- ☆ Sensitive Receptors
- National Priority List Sites
- Dept. Defense Sites

- Indian Reservations BIA
- ▲ Oil & Gas pipelines from USGS
- ▨ 100-year flood zone
- ▨ 500-year flood zone
- National Wetland Inventory



This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

SITE NAME: Creekview Commons ADDRESS: Magnolia Street Americus GA 31719 LAT/LONG: 32.074 / 84.2457	CLIENT: Geotechnical & Envtl. Cons. CONTACT: Tameka Gordon INQUIRY #: 3315626.1s DATE: May 03, 2012 12:10 pm
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MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
STANDARD ENVIRONMENTAL RECORDS								
<i>Federal NPL site list</i>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	TP		NR	NR	NR	NR	NR	0
<i>Federal Delisted NPL site list</i>								
Delisted NPL	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS list</i>								
CERCLIS	0.500		0	0	0	NR	NR	0
FEDERAL FACILITY	1.000		0	0	0	0	NR	0
<i>Federal CERCLIS NFRAP site List</i>								
CERC-NFRAP	0.500		0	0	1	NR	NR	1
<i>Federal RCRA CORRACTS facilities list</i>								
CORRACTS	1.000		0	0	0	0	NR	0
<i>Federal RCRA non-CORRACTS TSD facilities list</i>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<i>Federal RCRA generators list</i>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-CESQG	0.250		0	0	NR	NR	NR	0
<i>Federal institutional controls / engineering controls registries</i>								
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROL	0.500		0	0	0	NR	NR	0
<i>Federal ERNS list</i>								
ERNS	TP		NR	NR	NR	NR	NR	0
<i>State- and tribal - equivalent CERCLIS</i>								
SHWS	1.000		0	0	0	2	NR	2
GA NON-HSI	1.000		0	0	0	0	NR	0
<i>State and tribal landfill and/or solid waste disposal site lists</i>								
SWF/LF	0.500		0	0	0	NR	NR	0
<i>State and tribal leaking storage tank lists</i>								
LUST	0.500		1	0	4	NR	NR	5
INDIAN LUST	0.500		0	0	0	NR	NR	0
<i>State and tribal registered storage tank lists</i>								
UST	0.250		3	2	NR	NR	NR	5

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
AST	0.500		0	1	1	NR	NR	2
INDIAN UST	0.250		0	0	NR	NR	NR	0
FEMA UST	0.250		0	0	NR	NR	NR	0
State and tribal institutional control / engineering control registries								
INST CONTROL	0.500		0	0	0	NR	NR	0
AUL	0.500		0	0	0	NR	NR	0
State and tribal voluntary cleanup sites								
INDIAN VCP	0.500		0	0	0	NR	NR	0
VIC	0.500		0	0	0	NR	NR	0
State and tribal Brownfields sites								
BROWNFIELDS	0.500		0	0	0	NR	NR	0
ADDITIONAL ENVIRONMENTAL RECORDS								
Local Brownfield lists								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
Local Lists of Landfill / Solid Waste Disposal Sites								
ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
HIST LF	0.500		0	0	0	NR	NR	0
SWRCY	0.500		0	0	0	NR	NR	0
Local Lists of Hazardous waste / Contaminated Sites								
US CDL	TP		NR	NR	NR	NR	NR	0
DEL SHWS	1.000		0	0	0	0	NR	0
US HIST CDL	TP		NR	NR	NR	NR	NR	0
Local Land Records								
LIENS 2	TP		NR	NR	NR	NR	NR	0
LUCIS	0.500		0	0	0	NR	NR	0
Records of Emergency Release Reports								
HMIRS	TP		NR	NR	NR	NR	NR	0
SPILLS	TP		NR	NR	NR	NR	NR	0
Other Ascertainable Records								
RCRA-NonGen	0.250		1	2	NR	NR	NR	3
DOT OPS	TP		NR	NR	NR	NR	NR	0
DOD	1.000		0	0	0	0	NR	0
FUDS	1.000		0	0	0	0	NR	0
CONSENT	1.000		0	0	0	0	NR	0
ROD	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0

MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
MINES	0.250		0	0	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
NPDES	TP		NR	NR	NR	NR	NR	0
DRYCLEANERS	0.250		0	0	NR	NR	NR	0
AIRS	TP		NR	NR	NR	NR	NR	0
TIER 2	TP		NR	NR	NR	NR	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
FINANCIAL ASSURANCE	TP		NR	NR	NR	NR	NR	0
COAL ASH	0.500		0	0	0	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0

EDR PROPRIETARY RECORDS

EDR Proprietary Records

Manufactured Gas Plants	1.000		0	0	1	0	NR	1
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NOTES:

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

A1
SE
< 1/8
0.092 mi.
485 ft.

GA FC/AMERICUS DIST OFC
243 US HWY 19 NORTH
AMERICUS, GA 31719

Site 1 of 2 in cluster A

FINDS 1006793444
LUST N/A

Relative:
Lower

FINDS:

Registry ID: 110013628949

Actual:
345 ft.

Environmental Interest/Information System

GEIMS (Geographic Environmental Information Management System) provides the EPA and Public a single point of access to core data for all facilities and sites regulated or monitored by the EPA and a single system for the reporting of all environmental data.

LUST:

Facility ID: 01290037
Leak ID: 1
Description: Confirmed Release Received
Cleanup Status: NFA - No Further Action
Date Received: 02/21/2001
Project Officer: Humphris,David D

Facility ID: 01290037
Leak ID: 2
Description: Confirmed Release Received
Cleanup Status: NFA - No Further Action
Date Received: 04/02/2001
Project Officer: Humphris,David D

A2
SE
< 1/8
0.092 mi.
485 ft.

GA FC/AMERICUS DIST OFC
243 US HWY 19 NORTH
AMERICUS, GA 31709

Site 2 of 2 in cluster A

UST U001483948
FINANCIAL ASSURANCE N/A

Relative:
Lower

Facility:

Facility Id: 1290037
Facility Status: Closed
Facility Type: State
District: South West
Contact Id: 87
Owner Name: GEORGIA FORESTRY COMMISSION
Owner Address: PO BOX 819
Owner City: MACON
Owner State: GA
Owner Zip: 31298
Owner City,St,Zip: MACON, GA 31298
Owner Telephone: 478-751-3464

Actual:
345 ft.

Tanks:

Facility ID: 1290037
Tank ID: 1
Status Date: 04/29/1959
Status: Installed
Product1: Gas
Material: Bare Steel

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

EDR ID Number
EPA ID Number
Database(s)

GA FC/AMERICUS DIST OFC (Continued)

U001483948

Capacity: 560
Pipe Material: Galvanized Steel
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290037
Tank ID: 1
Status Date: 03/29/1993
Status: Removed From Ground
Product1: Gas
Material: Bare Steel
Capacity: 560
Pipe Material: Galvanized Steel
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290037
Tank ID: 1
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Gas
Material: Bare Steel
Capacity: 560
Pipe Material: Galvanized Steel
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290037
Tank ID: 211672
Status Date: 03/29/1993
Status: Cathodically Prot
Product1: Gas
Material: Steel-Galvanic
Capacity: 1000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 03/29/1993
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 03/29/1993

Facility ID: 1290037
Tank ID: 211672
Status Date: 03/29/1993

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

GA FC/AMERICUS DIST OFC (Continued)

U001483948

Status: Installed
Product1: Gas
Material: Steel-Galvanic
Capacity: 1000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 03/29/1993
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 03/29/1993

Facility ID: 1290037
Tank ID: 211672
Status Date: 02/19/2008
Status: Removed From Ground
Product1: Gas
Material: Steel-Galvanic
Capacity: 1000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 03/29/1993
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 03/29/1993

Facility ID: 1290037
Tank ID: 211672
Status Date: 01/08/2003
Status: Temporarily Out Of Use
Product1: Gas
Material: Steel-Galvanic
Capacity: 1000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 03/29/1993
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 03/29/1993

GA FINANCIAL ASSURANCE:

Region: 1
Facility ID: 1290037
Financial Responsibility: G.U.S.T. Trust Fund

B3
ESE
< 1/8
0.105 mi.
552 ft.

USRY'S PAINT & BODY SHOP
904 MARTIN LUTHER KING BLVD
AMERICUS, GA 31709

RCRA-NonGen 1004687283
FINDS GAD984320689

Site 1 of 2 in cluster B

Relative:
Lower

RCRA-NonGen:
Date form received by agency: 05/12/2008
Facility name: USRY'S PAINT & BODY SHOP
Facility address: 904 MARTIN LUTHER KING BLVD

Actual:
346 ft.

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

USRY'S PAINT & BODY SHOP (Continued)

1004687283

EPA ID: AMERICUS, GA 31709
GAD984320689
Mailing address: PO BOX 1121
AMERICUS, GA 31709
Contact: FRED USRY
Contact address: 904 MARTIN LUTHER KING BLVD
AMERICUS, GA 31709
Contact country: US
Contact telephone: (912) 924-2692
Contact email: Not reported
EPA Region: 04
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Owner/Operator Summary:

Owner/operator name: FRED USRY
Owner/operator address: 904 MARTIN LUTHER KING BLVD
AMERICUS, GA 31709
Owner/operator country: Not reported
Owner/operator telephone: (912) 924-2692
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
Used oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Historical Generators:

Date form received by agency: 04/16/1993
Facility name: USRY'S PAINT & BODY SHOP
Classification: Conditionally Exempt Small Quantity Generator

Hazardous Waste Summary:

Waste code: F003
Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: XYLENE, ACETONE, ETHYL ACETATE, ETHYL BENZENE, ETHYL ETHER, METHYL ISOBUTYL KETONE, N-BUTYL ALCOHOL, CYCLOHEXANONE, AND METHANOL; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONLY THE ABOVE SPENT NON-HALOGENATED SOLVENTS; AND ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, ONE OR MORE OF THE ABOVE NON-HALOGENATED

Map ID
 Direction
 Distance
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
 EPA ID Number

USRY'S PAINT & BODY SHOP (Continued)

1004687283

SOLVENTS, AND, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THOSE SOLVENTS LISTED IN F001, F002, F004, AND F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Waste code: F005
 Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Violation Status: No violations found

FINDS:

Registry ID: 110005705166

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

B4
East
< 1/8
0.111 mi.
585 ft.

WESTSIDE BP
910 MLK JR BLVD
AMERICUS, GA 31719
Site 2 of 2 in cluster B

UST **U003003351**
FINANCIAL ASSURANCE **N/A**

Relative:
Lower

Facility:
 Facility Id: 1290029
 Facility Status: Active
 Facility Type: Gas Station
 District: South West
 Contact Id: 3233
 Owner Name: DANFAIR OIL COMPANY INC
 Owner Address: 712 ADDERTON ST
 Owner City: AMERICUS
 Owner State: GA
 Owner Zip: 31719
 Owner City,St,Zip: AMERICUS, GA 31719
 Owner Telephone: 229-924-2433

Actual:
347 ft.

Tanks:

Facility ID: 1290029
 Tank ID: 1
 Status Date: 04/21/1998
 Status: **Cathodically Prot**
 Product1: Gas
 Material: Steel-Imprinted Current
 Capacity: 6000
 Pipe Material: Cathodically Protected

Map ID
Direction
Distance
Elevation



Site

Database(s)

EDR ID Number
EPA ID Number

WESTSIDE BP (Continued)

U003003351

Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 1
Status Date: 04/18/1986
Status: Currently In Use
Product1: Gas
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 1
Status Date: 04/18/1986
Status: Installed
Product1: Gas
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 2
Status Date: 04/21/1998
Status: Cathodically Prot
Product1: Gas
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 2
Status Date: 04/18/1986
Status: Currently In Use
Product1: Gas

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WESTSIDE BP (Continued)

U003003351

Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 2
Status Date: 04/18/1986
Status: Installed
Product1: Gas
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 3
Status Date: 04/21/1998
Status: Cathodically Prot
Product1: Gas
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 3
Status Date: 04/18/1986
Status: Currently In Use
Product1: Gas
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 3

Map ID
Direction
Distance
Elevation



Site

Database(s)

EDR ID Number
EPA ID Number

WESTSIDE BP (Continued)

U003003351

Status Date: 04/18/1986
Status: **Installed**
Product1: Gas
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 4
Status Date: 04/21/1998
Status: **Cathodically Prot**
Product1: Diesel
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 4
Status Date: 04/18/1986
Status: **Currently In Use**
Product1: Diesel
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 4
Status Date: 04/18/1986
Status: **Installed**
Product1: Diesel
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s) EDR ID Number
EPA ID Number

WESTSIDE BP (Continued)

U003003351

Facility ID: 1290029
Tank ID: 5
Status Date: 04/21/1998
Status: Cathodically Prot
Product1: Gas
Material: Steel-Impressed Current
Capacity: 3000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 5
Status Date: 04/21/1998
Status: Currently In Use
Product1: Gas
Material: Steel-Impressed Current
Capacity: 3000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

Facility ID: 1290029
Tank ID: 5
Status Date: Not reported
Status: Installed
Product1: Gas
Material: Steel-Impressed Current
Capacity: 3000
Pipe Material: Cathodically Protected
Pipe Type: Suction: No Valve At The Tank
Overfill Protection: Not reported
Overfill Installed: 08/12/1998
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 08/12/1998

GA FINANCIAL ASSURANCE:

Region: 1
Facility ID: 1290029
Financial Responsibility: G.U.S.T. Trust Fund

MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Site

Database(s)

EDR ID Number
 EPA ID Number

5
 East
 < 1/8
 0.116 mi.
 615 ft.

MEADOWBROOKS
 1104 W MARTIN LUTHER KING JR BLVD
 AMERICUS, GA 31709

UST
 FINANCIAL ASSURANCE U003003357
 N/A

Relative:
 Lower

Facility:
 Facility Id: 1290100
 Facility Status: Active
 Facility Type: Gas Station
 District: South West
 Contact Id: 1407
 Owner Name: DAVIS OIL COMPANY INC
 Owner Address: PO BOX 1970
 Owner City: PERRY
 Owner State: GA
 Owner Zip: 31069
 Owner City,St,Zip: PERRY, GA 31069
 Owner Telephone: 478-987-2443

Actual:
 347 ft.

Tanks:

Facility ID: 1290100
 Tank ID: 1
 Status Date: 02/18/1997
Status: Cathodically Prot
 Product1: Gas
 Material: Steel-Imprinted Current
 Capacity: 6000
 Pipe Material: Fiberglass Reinforced Plastic
 Pipe Type: Pressure
 Overfill Protection: Not reported
 Overfill Installed: 02/18/1997
 Tank Exempt From Spill: Not reported
 Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
 Tank ID: 1
 Status Date: 05/07/1956
Status: Currently In Use
 Product1: Gas
 Material: Steel-Imprinted Current
 Capacity: 6000
 Pipe Material: Fiberglass Reinforced Plastic
 Pipe Type: Pressure
 Overfill Protection: Not reported
 Overfill Installed: 02/18/1997
 Tank Exempt From Spill: Not reported
 Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
 Tank ID: 1
 Status Date: 05/07/1956
Status: Installed
 Product1: Gas
 Material: Steel-Imprinted Current
 Capacity: 6000
 Pipe Material: Fiberglass Reinforced Plastic

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number

EPA ID Number

MEADOWBROOKS (Continued)

U003003357

Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 02/18/1997
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
Tank ID: 1
Status Date: 02/22/2012
Status: Temporarily Out Of Use
Product1: Gas
Material: Steel-Imprinted Current
Capacity: 6000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 02/18/1997
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
Tank ID: 2
Status Date: 02/18/1997
Status: Cathodically Prot
Product1: Gas
Material: Steel-Imprinted Current
Capacity: 6000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 02/18/1997
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
Tank ID: 2
Status Date: 05/07/1956
Status: Currently In Use
Product1: Gas
Material: Steel-Imprinted Current
Capacity: 6000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 02/18/1997
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
Tank ID: 2
Status Date: 05/07/1956
Status: Installed
Product1: Gas

Map ID
Direction
Distance
Elevation



Site

Database(s)

EDR ID Number
EPA ID Number

MEADOWBROOKS (Continued)

U003003357

Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 02/18/1997
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
Tank ID: 3
Status Date: 02/18/1997
Status: Cathodically Prot
Product1: Gas
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 02/18/1997
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
Tank ID: 3
Status Date: 05/05/1966
Status: Currently In Use
Product1: Gas
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 02/18/1997
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
Tank ID: 3
Status Date: 05/05/1966
Status: Installed
Product1: Gas
Material: Steel-Impressed Current
Capacity: 6000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 02/18/1997
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
Tank ID: 4

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s) EDR ID Number
EPA ID Number

MEADOWBROOKS (Continued)

U003003357

Status Date: 02/18/1997
Status: **Cathodically Prot**
Product1: Gas
Material: Steel-Imprinted Current
Capacity: 6000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 02/18/1997
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
Tank ID: 4
Status Date: 02/22/2012
Status: **Currently In Use**
Product1: Gas
Material: Steel-Imprinted Current
Capacity: 6000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 02/18/1997
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
Tank ID: 4
Status Date: 05/02/1976
Status: **Installed**
Product1: Gas
Material: Steel-Imprinted Current
Capacity: 6000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 02/18/1997
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 02/18/1997

Facility ID: 1290100
Tank ID: 4
Status Date: Not reported
Status: **Temporarily Out Of Use**
Product1: Gas
Material: Steel-Imprinted Current
Capacity: 6000
Pipe Material: Fiberglass Reinforced Plastic
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 02/18/1997
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 02/18/1997

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

MEADOWBROOKS (Continued)

U003003357

GA FINANCIAL ASSURANCE:

Region: 1
Facility ID: 1290100
Financial Responsibility: G.U.S.T. Trust Fund

C6
East
1/8-1/4
0.141 mi.
743 ft.

SUMTER FORD LINCOLN MERCURY
1016 MEADOWBROOK DR
AMERICUS, GA 31709

RCRA-NonGen 1000400901
FINDS GAD981230527

Site 1 of 2 in cluster C

Relative:
Lower

RCRA-NonGen:
Date form received by agency: 03/15/2004
Facility name: SUMTER FORD LINCOLN MERCURY
Facility address: 1016 MEADOWBROOK DR
AMERICUS, GA 31709
EPA ID: GAD981230527
Mailing address: P O BOX 1204
AMERICUS, GA 31709
Contact: WAYNE.L. WRIGHT
Contact address: P O BOX 1204
AMERICUS, GA 31709
Contact country: US
Contact telephone: (912) 924-2702
Contact email: Not reported
EPA Region: 04
Land type: Facility is not located on Indian land. Additional information is not known.
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Actual:
350 ft.

Owner/Operator Summary:

Owner/operator name: HERBERT J WYMAN
Owner/operator address: OWNERSTREET
OWNERCITY, WY 99999
Owner/operator country: Not reported
Owner/operator telephone: (404) 555-1212
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: 01/01/0001
Owner/Op end date: Not reported

Owner/operator name: OPERNAME
Owner/operator address: OPERSTREET
OPERCITY, WY 99999
Owner/operator country: Not reported
Owner/operator telephone: (404) 555-1212
Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: 01/01/0001
Owner/Op end date: Not reported

Owner/operator name: HERBERT J WYMAN
Owner/operator address: OWNERSTREET
OWNERCITY, WY 99999
Owner/operator country: Not reported
Owner/operator telephone: (404) 555-1212
Legal status: Private

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUMTER FORD LINCOLN MERCURY (Continued)

1000400901

Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Owner/operator name: OPERNAME
Owner/operator address: OPERSTREET
OPERCITY, WY 99999

Owner/operator country: Not reported
Owner/operator telephone: (404) 555-1212

Legal status: Private
Owner/Operator Type: Operator
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
Used oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Historical Generators:

Date form received by agency: 03/02/1987
Facility name: SUMTER FORD LINCOLN MERCURY
Classification: Small Quantity Generator

Hazardous Waste Summary:

Waste code: D000
Waste name: Not Defined

Waste code: D001
Waste name: IGNITABLE HAZARDOUS WASTES ARE THOSE WASTES WHICH HAVE A FLASHPOINT OF LESS THAN 140 DEGREES FAHRENHEIT AS DETERMINED BY A PENSKY-MARTENS CLOSED CUP FLASH POINT TESTER. ANOTHER METHOD OF DETERMINING THE FLASH POINT OF A WASTE IS TO REVIEW THE MATERIAL SAFETY DATA SHEET, WHICH CAN BE OBTAINED FROM THE MANUFACTURER OR DISTRIBUTOR OF THE MATERIAL. LACQUER THINNER IS AN EXAMPLE OF A COMMONLY USED SOLVENT WHICH WOULD BE CONSIDERED AS IGNITABLE HAZARDOUS WASTE.

Waste code: F002
Waste name: THE FOLLOWING SPENT HALOGENATED SOLVENTS: TETRACHLOROETHYLENE, METHYLENE CHLORIDE, TRICHLOROETHYLENE, 1,1,1-TRICHLOROETHANE, CHLOROBENZENE, 1,1,2-TRICHLORO-1,2,2-TRIFLUOROETHANE, ORTHO-DICHLOROBENZENE, TRICHLOROFLUOROMETHANE, AND 1,1,2-TRICHLOROETHANE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

SUMTER FORD LINCOLN MERCURY (Continued)

1000400901

OF THE ABOVE HALOGENATED SOLVENTS OR THOSE LISTED IN F001, F004, OR F005, AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Waste code: F004
Waste name: THE FOLLOWING SPENT NON-HALOGENATED SOLVENTS: CRESOLS AND CRESYLIC ACID, AND NITROBENZENE; ALL SPENT SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE OF THE ABOVE NON-HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, AND F005; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

Violation Status: No violations found

Evaluation Action Summary:

Evaluation date: 02/27/2004
Evaluation: COMPLIANCE EVALUATION INSPECTION ON-SITE
Area of violation: Not reported
Date achieved compliance: Not reported
Evaluation lead agency: State

FINDS:

Registry ID: 110005679355

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

C7
East
1/8-1/4
0.147 mi.
778 ft.
Site 2 of 2 in cluster C

CALHOUN OIL COMPANY
1011 MEADOWBROOK DRIVE
AMERICUS, GA 31709

RCRA-NonGen 1000461372
FINDS GAD981278286

Relative:
Lower

RCRA-NonGen:
Date form received by agency: 09/19/1995
Facility name: CALHOUN OIL CO
Facility address: 1011 MEADOWBROOK DR
AMERICUS, GA 31709
EPA ID: GAD981278286
Mailing address: MEADOWBROOK DR
AMERICUS, GA 31709
Contact: ROBERT CALHOUN
Contact address: 1011 MEADOWBROOK DR
AMERICUS, GA 31709

Actual:
350 ft.

Contact country: US
Contact telephone: (912) 924-7196
Contact email: Not reported
EPA Region: 04
Classification: Non-Generator
Description: Handler: Non-Generators do not presently generate hazardous waste

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number

EPA ID Number

CALHOUN OIL COMPANY (Continued)

1000461372

Owner/Operator Summary:

Owner/operator name: CALHOUN OIL CO
Owner/operator address: PO BOX 805
AMERICUS, GA 31709
Owner/operator country: Not reported
Owner/operator telephone: (912) 924-7196
Legal status: Private
Owner/Operator Type: Owner
Owner/Op start date: Not reported
Owner/Op end date: Not reported

Handler Activities Summary:

U.S. importer of hazardous waste: No
Mixed waste (haz. and radioactive): No
Recycler of hazardous waste: No
Transporter of hazardous waste: No
Treater, storer or disposer of HW: No
Underground injection activity: No
On-site burner exemption: No
Furnace exemption: No
Used oil fuel burner: No
Used oil processor: No
User oil refiner: No
Used oil fuel marketer to burner: No
Used oil Specification marketer: No
Used oil transfer facility: No
Used oil transporter: No

Hazardous Waste Summary:

Waste code: D018
Waste name: BENZENE

Violation Status: No violations found

FINDS:

Registry ID: 110005282817

Environmental Interest/Information System

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

D8
East
1/8-1/4
0.178 mi.
942 ft.

QUIK STOP FOOD MART
HWY 19 NORTH & GA 40
AMERICUS, GA 31709

Site 1 of 2 in cluster D

UST U001484000
FINANCIAL ASSURANCE N/A

Relative:
Lower

Facility:

Facility Id: 1290097
Facility Status: Closed
Facility Type: Gas Station
District: South West
Contact Id: 3159
Owner Name: PERRY BROTHERS OIL COMPANY INC
Owner Address: PO BOX 469
Owner City: AMERICUS
Owner State: GA
Owner Zip: 31709
Owner City,St,Zip: AMERICUS, GA 31709
Owner Telephone: 229-924-0306

Actual:
354 ft.

Tanks:

Facility ID: 1290097
Tank ID: 1
Status Date: 04/07/1985
Status: Installed
Product1: Gas
Material: Bare Steel
Capacity: 6000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 1
Status Date: 06/01/1991
Status: Removed From Ground
Product1: Gas
Material: Bare Steel
Capacity: 6000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 1
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Gas
Material: Bare Steel
Capacity: 6000
Pipe Material: Galvanized Steel

Map ID
Direction
Distance
Elevation



Site

Database(s)

EDR ID Number
EPA ID Number

QUIK STOP FOOD MART (Continued)

U001484000

Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 2
Status Date: 04/07/1985
Status: Installed
Product1: Gas
Material: Bare Steel
Capacity: 8000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 2
Status Date: 06/01/1991
Status: Removed From Ground
Product1: Gas
Material: Bare Steel
Capacity: 8000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 2
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Gas
Material: Bare Steel
Capacity: 8000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 3
Status Date: 04/07/1985
Status: Installed
Product1: Gas

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUIK STOP FOOD MART (Continued)

U001484000

Material: Bare Steel
Capacity: 8000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 3
Status Date: 06/01/1991
Status: Removed From Ground
Product1: Gas
Material: Bare Steel
Capacity: 8000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 3
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Gas
Material: Bare Steel
Capacity: 8000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 4
Status Date: 04/07/1985
Status: Installed
Product1: Diesel
Material: Bare Steel
Capacity: 2000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 4

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUIK STOP FOOD MART (Continued)

U001484000

Status Date: 06/01/1991
Status: Removed From Ground
Product1: Diesel
Material: Bare Steel
Capacity: 2000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 4
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Diesel
Material: Bare Steel
Capacity: 2000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 5
Status Date: 04/07/1985
Status: Installed
Product1: Diesel
Material: Bare Steel
Capacity: 2000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290097
Tank ID: 5
Status Date: 06/01/1991
Status: Removed From Ground
Product1: Diesel
Material: Bare Steel
Capacity: 2000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

QUIK STOP FOOD MART (Continued)

U001484000

Facility ID: 1290097
Tank ID: 5
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Diesel
Material: Bare Steel
Capacity: 2000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

GA FINANCIAL ASSURANCE:

Region: 1
Facility ID: 1290097
Financial Responsibility: G.U.S.T. Trust Fund

D9
East
1/8-1/4
0.178 mi.
942 ft.

H B ARNOLD INC
HWY 19 SOUTH
AMERICUS, GA 31709

UST 1000505431
FINANCIAL ASSURANCE N/A

Site 2 of 2 in cluster D

Relative:
Lower

Facility:
Facility Id: 1290021
Facility Status: Closed
Facility Type: Industrial
District: South West
Contact Id: 3949
Owner Name: H B ARNOLD INC
Owner Address: PO BOX 148
Owner City: DAWSON
Owner State: GA
Owner Zip: 31742
Owner City,St,Zip: DAWSON, GA 31742
Owner Telephone: 912-995-4448

Actual:
354 ft.

Tanks:

Facility ID: 1290021
Tank ID: 1
Status Date: 03/08/1966
Status: Installed
Product1: Diesel
Material: Bare Steel
Capacity: 6000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290021

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

H B ARNOLD INC (Continued)

1000505431

Tank ID: 1
Status Date: 03/01/1994
Status: **Removed From Ground**
Product1: Diesel
Material: Bare Steel
Capacity: 6000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290021
Tank ID: 1
Status Date: Not reported
Status: **Upgrade Repair Not Marked**
Product1: Diesel
Material: Bare Steel
Capacity: 6000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290021
Tank ID: 2
Status Date: 03/05/1976
Status: **Installed**
Product1: Diesel
Material: Bare Steel
Capacity: 3000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290021
Tank ID: 2
Status Date: 03/01/1994
Status: **Removed From Ground**
Product1: Diesel
Material: Bare Steel
Capacity: 3000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

H B ARNOLD INC (Continued)

1000505431

Facility ID: 1290021
Tank ID: 2
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Diesel
Material: Bare Steel
Capacity: 3000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290021
Tank ID: 3
Status Date: 03/05/1976
Status: Installed
Product1: Gas
Material: Bare Steel
Capacity: 550
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290021
Tank ID: 3
Status Date: 03/01/1994
Status: Removed From Ground
Product1: Gas
Material: Bare Steel
Capacity: 550
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290021
Tank ID: 3
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Gas
Material: Bare Steel
Capacity: 550
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

H B ARNOLD INC (Continued)

1000505431

Date Spill Device Installed: Not reported

GA FINANCIAL ASSURANCE:

Region: 1
Facility ID: 1290021
Financial Responsibility: Not Marked

10
East
1/8-1/4
0.243 mi.
1281 ft.

QUICK MART SHELL
602 WEST FORSYTH STREET
AMERICUS, GA 31907

AST A100349157
N/A

Relative:
Higher

AST:
Owner Name: Modern Gas Co.
Owner Address: P O Box 1613
Owner City/State/Zip: Albany GA 31702
Number Of Tanks: 24
Tank Capacity: 0

Actual:
379 ft.

11
East
1/4-1/2
0.258 mi.
1362 ft.

GA DEPT PUBLIC SAFETY/GA STATE P
506 WEST LAMAR ST
AMERICUS, GA 31709

LUST U001484012
UST N/A
FINANCIAL ASSURANCE

Relative:
Lower

LUST:
Facility ID: 01290110
Leak ID: 1
Description: Confirmed Release Received
Cleanup Status: NFA - No Further Action
Date Received: 09/29/2008
Project Officer: Humphris, David D

Actual:
372 ft.

Facility:

Facility Id: 1290110
Facility Status: Closed
Facility Type: State
District: South West
Contact Id: 10
Owner Name: GEORGIA DEPARTMENT OF PUBLIC SAFETY
Owner Address: 959 EAST CONFEDERATE AVE SE
Owner City: ATLANTA
Owner State: GA
Owner Zip: 30316
Owner City, St, Zip: ATLANTA, GA 30316
Owner Telephone: 404-624-7080

Tanks:

Facility ID: 1290110
Tank ID: 1
Status Date: 03/10/1971
Status: **Installed**
Product1: Gas

Map ID
Direction
Distance
Elevation



Site

Database(s)

EDR ID Number
EPA ID Number

GA DEPT PUBLIC SAFETY/GA STATE P (Continued)

U001484012

Material: Bare Steel
Capacity: 6000
Pipe Material: Unknown
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290110
Tank ID: 1
Status Date: 02/18/2008
Status: Removed From Ground
Product1: Gas
Material: Bare Steel
Capacity: 6000
Pipe Material: Unknown
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290110
Tank ID: 1
Status Date: 03/06/2002
Status: Temporarily Out Of Use
Product1: Gas
Material: Bare Steel
Capacity: 6000
Pipe Material: Unknown
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290110
Tank ID: 1
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Gas
Material: Bare Steel
Capacity: 6000
Pipe Material: Unknown
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290110
Tank ID: 2

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s) EDR ID Number
EPA ID Number

GA DEPT PUBLIC SAFETY/GA STATE P (Continued)

U001484012

Status Date: 03/12/1961
Status: Installed
Product1: Gas
Material: Bare Steel
Capacity: 850
Pipe Material: Unknown
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290110
Tank ID: 2
Status Date: 02/18/2008
Status: Removed From Ground
Product1: Gas
Material: Bare Steel
Capacity: 850
Pipe Material: Unknown
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

GA FINANCIAL ASSURANCE:

Region: 1
Facility ID: 1290110
Financial Responsibility: G.U.S.T. Trust Fund

E12
East
1/4-1/2
0.414 mi.
2185 ft.

AMERICUS LIGHT AND POWER CO
PLUM STREET
AMERICUS, GA 31709

Manufactured Gas Plants 1008408733
N/A

Relative:
Higher

Manufactured Gas Plants:

Alternate Name: AMERICUS ELECTRIC LIGHT AND GAS WORKS; AMERICUS ILLUMINATING AND POWER CO; GA-AL POWER CO. No additional information available

Actual:
385 ft.

13
SW
1/4-1/2
0.421 mi.
2224 ft.

WESTSIDE BP
910 MLK JR BLVD
AMERICUS, GA 31709

FINDS 1006793470
LUST N/A

Relative:
Lower

FINDS:

Registry ID: 110013629207

Actual:
364 ft.

Environmental Interest/Information System

GEIMS (Geographic Environmental Information Management System) provides the EPA and Public a single point of access to core data for all facilities and sites regulated or monitored by the EPA and a

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

WESTSIDE BP (Continued)

1006793470

single system for the reporting of all environmental data.

LUST:

Facility ID: 01290029
Leak ID: 1
Description: Confirmed Release Received
Cleanup Status: NFA - No Further Action
Date Received: 02/12/1993
Project Officer: Adams,Kelly B

F14
ESE
1/4-1/2
0.425 mi.
2246 ft.

REEVES CONSTRUCTION COMPANY (CLOSED)
844 SPRING STREET
AMERICUS, GA 31709

AST A100334398
N/A

Site 1 of 2 in cluster F

Relative:
Higher

AST:

Owner Name: Modern Gas Company
Owner Address: P.O. Box 1613
Owner City/State/Zip: Albany GA 31702
Number Of Tanks: 1
Tank Capacity: 1000

Actual:
434 ft.

F15
ESE
1/4-1/2
0.425 mi.
2246 ft.

MAIN SHOP AREA
844 SPRING ST
AMERICUS, GA 31709

NPDES U001483916
LUST N/A
UST

Site 2 of 2 in cluster F

FINANCIAL ASSURANCE

Relative:
Higher

NPDES:

NPDES Id: Not reported
Notice of Intent Num: 00127
Facility Type Desc: Not reported

Actual:
434 ft.

LUST:

Facility ID: 01290001
Leak ID: 1
Description: Confirmed Release Received
Cleanup Status: NFA -Monitoring Only (MNA)
Date Received: 09/20/1999
Project Officer: Burris,Stephen B

Facility ID: 01290001
Leak ID: 2
Description: Confirmed Release Received
Cleanup Status: NFA -Monitoring Only (MNA)
Date Received: 10/20/1999
Project Officer: Burris,Stephen B

Facility:

Facility Id: 1290001
Facility Status: Closed
Facility Type: Contractor
District: South West

Map ID
Direction
Distance
Elevation



Site

EDR ID Number
EPA ID Number

Database(s)

MAIN SHOP AREA (Continued)

U001483916

Contact Id: 3902
Owner Name: REEVES CONSTRUCTION COMPANY
Owner Address: PO BOX 547
Owner City: AMERICUS
Owner State: GA
Owner Zip: 31709
Owner City,St,Zip: AMERICUS, GA 31709
Owner Telephone: 229-924-7574

Tanks:

Facility ID: 1290001
Tank ID: 1
Status Date: 03/01/1974
Status: Installed
Product1: Gas
Material: Bare Steel
Capacity: 3000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 1
Status Date: 07/01/1994
Status: Removed From Ground
Product1: Gas
Material: Bare Steel
Capacity: 3000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 1
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Gas
Material: Bare Steel
Capacity: 3000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 2

Map ID
Direction
Distance
Elevation



Site

Database(s)

EDR ID Number
EPA ID Number

MAIN SHOP AREA (Continued)

U001483916

Status Date: 03/01/1974
Status: **Installed**
Product1: Gas
Material: Bare Steel
Capacity: 3000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 2
Status Date: 07/01/1994
Status: **Removed From Ground**
Product1: Gas
Material: Bare Steel
Capacity: 3000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 2
Status Date: Not reported
Status: **Upgrade Repair Not Marked**
Product1: Gas
Material: Bare Steel
Capacity: 3000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 3
Status Date: 02/28/1978
Status: **Installed**
Product1: Used Oil
Material: Bare Steel
Capacity: 225
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Yes
Overfill Installed: Not reported
Tank Exempt From Spill: Yes
Date Spill Device Installed: Not reported

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MAIN SHOP AREA (Continued)

U001483916

Facility ID: 1290001
Tank ID: 3
Status Date: 07/01/1994
Status: Removed From Ground
Product1: Used Oil
Material: Bare Steel
Capacity: 225
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Yes
Overfill Installed: Not reported
Tank Exempt From Spill: Yes
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 3
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Used Oil
Material: Bare Steel
Capacity: 225
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Yes
Overfill Installed: Not reported
Tank Exempt From Spill: Yes
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 4
Status Date: 02/28/1978
Status: Installed
Product1: Used Oil
Material: Bare Steel
Capacity: 225
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Yes
Overfill Installed: Not reported
Tank Exempt From Spill: Yes
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 4
Status Date: 07/01/1994
Status: Removed From Ground
Product1: Used Oil
Material: Bare Steel
Capacity: 225
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Yes
Overfill Installed: Not reported
Tank Exempt From Spill: Yes

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MAIN SHOP AREA (Continued)

U001483916

Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 4
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Used Oil
Material: Bare Steel
Capacity: 225
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Yes
Overfill Installed: Not reported
Tank Exempt From Spill: Yes
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 5
Status Date: 02/28/1979
Status: Installed
Product1: Gas
Material: Bare Steel
Capacity: 10000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 5
Status Date: 08/01/1998
Status: Removed From Ground
Product1: Gas
Material: Bare Steel
Capacity: 10000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 5
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Gas
Material: Bare Steel
Capacity: 10000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MAIN SHOP AREA (Continued)

U001483916

Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 6
Status Date: 02/26/1986
Status: Installed
Product1: Diesel
Material: Bare Steel
Capacity: 1000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 6
Status Date: 06/01/1994
Status: Removed From Ground
Product1: Diesel
Material: Bare Steel
Capacity: 1000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 6
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Diesel
Material: Bare Steel
Capacity: 1000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 7
Status Date: 02/26/1986
Status: Installed
Product1: Gas
Material: Bare Steel

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

MAIN SHOP AREA (Continued)

U001483916

Capacity: 10000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 7
Status Date: 06/01/1994
Status: Removed From Ground
Product1: Gas
Material: Bare Steel
Capacity: 10000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

Facility ID: 1290001
Tank ID: 7
Status Date: Not reported
Status: Upgrade Repair Not Marked
Product1: Gas
Material: Bare Steel
Capacity: 10000
Pipe Material: Galvanized Steel
Pipe Type: Not Marked
Overfill Protection: Not reported
Overfill Installed: Not reported
Tank Exempt From Spill: Not reported
Date Spill Device Installed: Not reported

GA FINANCIAL ASSURANCE:

Region: 1
Facility ID: 1290001
Financial Responsibility: G.U.S.T. Trust Fund

E16
East
1/4-1/2
0.437 mi.
2305 ft.

AMERICUS LIGHT AND POWER COMPANY
PLUM STREET
AMERICUS, GA 31709

CERC-NFRAP 1003869707
GA0000366146

Site 2 of 2 in cluster E

Relative:
Higher

CERC-NFRAP:
Site ID: 0406219
Federal Facility: Not a Federal Facility

Actual:
382 ft.

NPL Status: Not on the NPL
Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

Map ID
Direction
Distance
Elevation



Site

Database(s)

EDR ID Number
EPA ID Number

AMERICUS LIGHT AND POWER COMPANY (Continued)

1003869707

CERCLIS-NFRAP Site Contact Details:

Contact Sequence ID: 4751895.00000
Person ID: 4000275.00000

Contact Sequence ID: 4777048.00000
Person ID: 13002428.00000

Contact Sequence ID: 4823228.00000
Person ID: 4272610.00000

CERCLIS-NFRAP Assessment History:

Action: DISCOVERY
Date Started: Not reported
Date Completed: 06/15/1994
Priority Level: Not reported

Action: PRELIMINARY ASSESSMENT
Date Started: Not reported
Date Completed: 09/11/1995
Priority Level: NFRAP-Site does not qualify for the NPL based on existing information

Action: ARCHIVE SITE
Date Started: Not reported
Date Completed: 01/23/1996
Priority Level: Not reported

17
SSW
1/4-1/2
0.491 mi.
2592 ft.

AMERICUS INLAND TEXACO #819
1204 S MLK (US 19)
AMERICUS, GA 31709

FINDS 1006772840
LUST N/A
UST

FINANCIAL ASSURANCE

Relative:
Higher

Actual:
374 ft.

FINDS:

Registry ID: 110013421234

Environmental Interest/Information System

GEIMS (Geographic Environmental Information Management System) provides the EPA and Public a single point of access to core data for all facilities and sites regulated or monitored by the EPA and a single system for the reporting of all environmental data.

LUST:

Facility ID: 09129052
Leak ID: 1
Description: Confirmed Release Received
Cleanup Status: NFA - No Further Action
Date Received: 01/09/2008
Project Officer: Logan, William E.

Facility:

Facility Id: 9129052
Facility Status: Active
Facility Type: Gas Station
District: South West

Map ID
Direction
Distance
Elevation



Site

Database(s)

EDR ID Number
EPA ID Number

AMERICUS INLAND TEXACO #819 (Continued)

1006772840

Contact Id: 12440
Owner Name: THE PANTRY INC
Owner Address: 1801 DOUGLAS DR
Owner City: SANFORD
Owner State: NC
Owner Zip: 27330
Owner City,St,Zip: SANFORD, NC 27330
Owner Telephone: 919-774-6700

Tanks:

Facility ID: 9129052
Tank ID: 1A
Status Date: 05/28/1997
Status: Currently In Use
Product1: Gas
Material: STIP-3
Capacity: 25000
Pipe Material: Double Walled Flex
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 06/09/1996
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 06/09/1996

Facility ID: 9129052
Tank ID: 1A
Status Date: 05/28/1997
Status: Installed
Product1: Gas
Material: STIP-3
Capacity: 25000
Pipe Material: Double Walled Flex
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 06/09/1996
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 06/09/1996

Facility ID: 9129052
Tank ID: 1B
Status Date: 05/28/1997
Status: Currently In Use
Product1: Gas
Material: STIP-3
Capacity: 12000
Pipe Material: Double Walled Flex
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 06/09/1996
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 06/09/1996

Facility ID: 9129052
Tank ID: 1B

Map ID
Direction
Distance
Elevation



Site

Database(s)

EDR ID Number
EPA ID Number

AMERICUS INLAND TEXACO #819 (Continued)

1006772840

Status Date: 05/28/1997
Status: **Installed**
Product1: Gas
Material: STIP-3
Capacity: 12000
Pipe Material: Double Walled Flex
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 06/09/1996
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 06/09/1996

Facility ID: 9129052
Tank ID: 2
Status Date: 05/28/1997
Status: **Currently In Use**
Product1: Diesel
Material: STIP-3
Capacity: 8000
Pipe Material: Double Walled Flex
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 06/09/1996
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 06/09/1996

Facility ID: 9129052
Tank ID: 2
Status Date: 05/28/1997
Status: **Installed**
Product1: Diesel
Material: STIP-3
Capacity: 8000
Pipe Material: Double Walled Flex
Pipe Type: Pressure
Overfill Protection: Not reported
Overfill Installed: 06/09/1996
Tank Exempt From Spill: Not reported
Date Spill Device Installed: 06/09/1996

GA FINANCIAL ASSURANCE:

Region: 1
Facility ID: 9129052
Financial Responsibility: Insurance

MAP FINDINGS

Map ID
Direction
Distance
Elevation

Site

Database(s)

EDR ID Number
EPA ID Number

18
ENE
1/2-1
0.552 mi.
2914 ft.

304 N DUDLEY STREET SITE
304 N DUDLEY STREET
AMERICUS, GA 31709

SHWS 1000999616
N/A

Relative:
Higher

SHWS:

FACID:
Regulated Substances(RS):

10139

Actual:
379 ft.

2,4-Dimethylphenol-GW, Acenaphthene-GW/Soil, Acenaphthylene-GW/Soil, Anthracene-GW/Soil, Arsenic-GW/Soil, Barium-GW/Soil, Benzene-GW/Soil, Benzo(a)anthracene-GW/Soil, Benzo(a)pyrene-GW/Soil, Benzo(b)fluoranthene-GW/Soil, Benzo(ghi)perylene-GW/Soil, Benzo(k)fluoranthene-Soil, Cadmium-GW/Soil, Chromium-GW/Soil, Chrysene-GW/Soil, Cyanides (soluble salts and complexes) n.o.s.-GW, Dibenzo(a,h)anthracene-Soil, Ethylbenzene-GW/Soil, Fluoranthene-GW/Soil, Fluorene-GW/Soil, Indeno(1,2,3-cd)pyrene-GW/Soil, Lead-GW/Soil, Mercury-GW/Soil, Naphthalene-GW/Soil, Phenanthrene-GW/Soil, Pyrene-GW/Soil, Selenium-GW/Soil, Toluene-GW/Soil, Xylenes-GW/Soil

RS Released/Threats to Health Env:

This site has a known release of Benzo(a)pyrene in groundwater at levels exceeding the reportable quantity. No human exposure via drinking water is suspected from this release. The nearest drinking water well is between 0.5 and 1 miles from the area affected by the release.

Status of Cleanup Activities:

Cleanup activities are being conducted for source materials, soil, and groundwater.

GA EPD Dir Determination Re Correction Action: The Director has determined that this site requires corrective action.

Owner Name: Lee Prevatt
Owner Address: 256 Howard Ackiss Road
Owner City,St,Zip: Buena Vista, GA 31803
Last Known Property Owner NAME B: William Herrin
Last Known Property Owner ADDRESS B: Bill Herrin Plumbing Co., PO Box 6855
Last Known Property Owner CITY B: Americus
Last Known Property Owner STATE B: GA
Last Known Property Owner ZIP B: 31709
Last Known Property Owner NAME C: John Beaver
Last Known Property Owner ADDRESS C: 129 E. Shore Ave.
Last Known Property Owner CITY C: Americus
Last Known Property Owner STATE C: GA
Last Known Property Owner ZIP C: 31719
Latitude: 32 4 ' 29 " N
Longitude: 84 14 ' 18 " W

19
East
1/2-1
0.786 mi.
4150 ft.

HOXSIE'S CLEANERS (FORMER)
106 SOUTH LEE STREET
AMERICUS, GA 31709

SHWS S102867576
N/A

Relative:
Higher

SHWS:

FACID:
Regulated Substances(RS):

10426

Actual:
465 ft.

Anthracene-Soil, Antimony-Soil, Arsenic-Soil, Barium-GW/Soil, Benzene-Soil, Benzo(a)anthracene-Soil, Benzo(a)pyrene-Soil, Benzo(b)fluoranthene-Soil, Benzo(k)fluoranthene-Soil, Beryllium-Soil, bis(2-Ethylhexyl) phthalate-GW, Chloroform-GW, Chromium-Soil, Chrysene-Soil, Cis-1,2-Dichloroethene-GW/Soil, Copper-Soil, Dieldrin-Soil, Ethylbenzene-Soil, Fluoranthene-Soil, Indeno(1,2,3-cd)pyrene-Soil, Lead-GW/Soil, Mercury-Soil, Nickel-Soil, Phenanthrene-Soil, Pyrene-Soil, Silver-Soil, Tetrachloroethene-GW/Soil, Toluene-Soil, Trichloroethene-GW/Soil,

Map ID
Direction
Distance
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number
EPA ID Number

HOXSIE'S CLEANERS (FORMER) (Continued)

S102867576

RS Released/Threats to Health Env: Zinc-GW/Soil
This site has a known release of Tetrachloroethene in groundwater at levels exceeding the reportable quantity. No human exposure via drinking water is suspected from this release. The nearest drinking water well is less than 0.5 miles from the area affected by the release. This site has a known release of Tetrachloroethene in soil at levels exceeding the reportable quantity. This site has unlimited access. The nearest resident individual is less than 300 feet from the area affected by the release.

Status of Cleanup Activities: Investigations are being conducted to determine how much cleanup is necessary for source materials, soil, and groundwater.

GA EPD Dir Determination Re Correction Action: The Director has determined that this site requires corrective action.

Owner Name: Clifford M. Fulghum, Jr.
Owner Address: PO Box 745
Owner City, St, Zip: Americus, GA 31709

Last Known Property Owner NAME B: Not reported
Last Known Property Owner ADDRESS B: Not reported
Last Known Property Owner CITY B: Not reported
Last Known Property Owner STATE B: Not reported
Last Known Property Owner ZIP B: Not reported
Last Known Property Owner NAME C: Not reported
Last Known Property Owner ADDRESS C: Not reported
Last Known Property Owner CITY C: Not reported
Last Known Property Owner STATE C: Not reported
Last Known Property Owner ZIP C: Not reported
Latitude: 32 4 ' 18 "N
Longitude: 84 13 ' 56 "W

Count: 26 records.

ORPHAN SUMMARY

City	EDR ID	Site Name	Site Address	Zip	Database(s)
AMERICUS	A100346654	J&M TRUCKING COMPANY (CLOSED)	HWY 19 N	31709	AST
AMERICUS	1004688405	ENVIRO TRANS INC	HWY 19 NORTH	31709	RCRA-NonGen, FINDS
AMERICUS	A100334471	DANFAIR EXPRESS	129 HWY 27 E	31709	AST
AMERICUS	A100351186	PERRY BROTHERS CONVENIENCE STORE	125 HWY 280	31709	AST
AMERICUS	U003550987	SU ELLENS FOOD STORE	HWY 280	31709	UST, FINANCIAL ASSURANCE
AMERICUS	A100334384	SOUTH EAST TERMINALS	HWY 280	31709	AST
AMERICUS	A100334397	FERRELLGAS, L.P. DBA BARROW PROPAN	HWY 280 E	31709	AST
AMERICUS	A100334472	EXPRESS LANE #18	110 HWY 280 W	31709	AST
AMERICUS	A100346648	WAL-MART	HWY 280 E	31709	AST
AMERICUS	U003551658	GRANT STEPP EQUIPMENT CO	HWY 280 E	31709	UST, FINANCIAL ASSURANCE
AMERICUS	U003550989	PEACOCK TIRE CO INC	HWY 280 E	31709	UST, FINANCIAL ASSURANCE
AMERICUS	A100334359	PLANTERS HARDWARE(CLOSED)	HWY 30	31709	AST
AMERICUS	A100334390	SHOP RITE FOODS	1309 HWY 49	31709	AST
AMERICUS	A100334405	BIRDHOUSE FARMS	HWY 49 N	31709	AST
AMERICUS	S105566432	SUMTER COUNTY LANDFILL	CIR 195	31709	SHWS
AMERICUS	U004117343	DANFAIR EXPRESS 27	CRN VIENNA HWY & KNOLLWOOD DR	31709	UST, FINANCIAL ASSURANCE
AMERICUS	S107666178	EDDIE WALLACE INERT LANDFILL	JENKINS RD		SWF/LF
AMERICUS	S107665829	BOARD OF COMMISSIONERS, SUMTER COU	MCMATH MILL RD		SWF/LF
AMERICUS	A100334388	PLANTERS HARDWARE	E RT 6	31709	AST
AMERICUS	U003920762	PHILLIPS 66/THRIFTY GAS	1012 STATE HIGHWAY 49	31709	UST, FINANCIAL ASSURANCE
AMERICUS	U004186347	B L CANNON PROPERTY (FORMERLY)	981 USHY 19 S	31709	UST, FINANCIAL ASSURANCE
AMERICUS	S111219224	B L CANNON PROPERTY (FORMERLY)	981 USHY 19 S	31709	LUST
AMERICUS	U003003349	RYDER TS #0162	USHY 280 E	31709	LUST, UST, FINANCIAL ASSURANCE
BUENA VISTA	A100332955	CHEVRON FOOD MART	HWY 41 S	31709	AST
LESLIE	1000481283	OLD LARAMORE LTD. DRUM SITE	SE OFF 10	31709	CERCLIS, FINDS
PLAINS	A100334373	AMERIDOOOR, INC. (AREA 1) (CLOSED)	HWY 280	31709	AST

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

Number of Days to Update: Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

STANDARD ENVIRONMENTAL RECORDS

Federal NPL site list

NPL: National Priority List

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 09/07/2011	Source: EPA
Date Data Arrived at EDR: 10/12/2011	Telephone: N/A
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 141	Next Scheduled EDR Contact: 07/23/2012
	Data Release Frequency: Quarterly

NPL Site Boundaries

Sources:

EPA's Environmental Photographic Interpretation Center (EPIC)
Telephone: 202-564-7333

EPA Region 1
Telephone 617-918-1143

EPA Region 6
Telephone: 214-655-6659

EPA Region 3
Telephone 215-814-5418

EPA Region 7
Telephone: 913-551-7247

EPA Region 4
Telephone 404-562-8033

EPA Region 8
Telephone: 303-312-6774

EPA Region 5
Telephone 312-886-6686

EPA Region 9
Telephone: 415-947-4246

EPA Region 10
Telephone 206-553-8665

Proposed NPL: Proposed National Priority List Sites

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 09/07/2011	Source: EPA
Date Data Arrived at EDR: 10/12/2011	Telephone: N/A
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 141	Next Scheduled EDR Contact: 07/23/2012
	Data Release Frequency: Quarterly

NPL LIENS: Federal Superfund Liens

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

Date of Government Version: 10/15/1991	Source: EPA
Date Data Arrived at EDR: 02/02/1994	Telephone: 202-564-4267
Date Made Active in Reports: 03/30/1994	Last EDR Contact: 08/15/2011
Number of Days to Update: 56	Next Scheduled EDR Contact: 11/28/2011
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENTLY TRACKING

Federal Delisted NPL site list

DELISTED NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 09/07/2011	Source: EPA
Date Data Arrived at EDR: 10/12/2011	Telephone: N/A
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 141	Next Scheduled EDR Contact: 07/23/2012
	Data Release Frequency: Quarterly

Federal CERCLIS list

CERCLIS: Comprehensive Environmental Response, Compensation, and Liability Information System

CERCLIS contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). CERCLIS contains sites which are either proposed to or on the National Priorities List (NPL) and sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 12/27/2011	Source: EPA
Date Data Arrived at EDR: 02/27/2012	Telephone: 703-412-9810
Date Made Active in Reports: 03/12/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 14	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 12/10/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/11/2011	Telephone: 703-603-8704
Date Made Active in Reports: 02/16/2011	Last EDR Contact: 04/12/2012
Number of Days to Update: 36	Next Scheduled EDR Contact: 07/23/2012
	Data Release Frequency: Varies

Federal CERCLIS NFRAP site List

CERCLIS-NFRAP: CERCLIS No Further Remedial Action Planned

Archived sites are sites that have been removed and archived from the inventory of CERCLIS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list this site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. This decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

Date of Government Version: 12/28/2011	Source: EPA
Date Data Arrived at EDR: 02/27/2012	Telephone: 703-412-9810
Date Made Active in Reports: 03/12/2012	Last EDR Contact: 04/05/2012
Number of Days to Update: 14	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

Federal RCRA CORRACTS facilities list

CORRACTS: Corrective Action Report

CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 08/19/2011
Date Data Arrived at EDR: 08/31/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 132

Source: EPA
Telephone: 800-424-9346
Last EDR Contact: 02/13/2012
Next Scheduled EDR Contact: 05/28/2012
Data Release Frequency: Quarterly

Federal RCRA non-CORRACTS TSD facilities list

RCRA-TSDF: RCRA - Treatment, Storage and Disposal

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Quarterly

Federal RCRA generators list

RCRA-LQG: RCRA - Large Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Quarterly

RCRA-SQG: RCRA - Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Quarterly

RCRA-CESQG: RCRA - Conditionally Exempt Small Quantity Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Conditionally exempt small quantity generators (CESQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Federal institutional controls / engineering controls registries

US ENG CONTROLS: Engineering Controls Sites List

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 12/30/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/30/2011	Telephone: 703-603-0695
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/12/2012
Number of Days to Update: 11	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

US INST CONTROL: Sites with Institutional Controls

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 12/30/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/30/2011	Telephone: 703-603-0695
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/12/2012
Number of Days to Update: 11	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

Federal ERNS list

ERNS: Emergency Response Notification System

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 10/03/2011	Source: National Response Center, United States Coast Guard
Date Data Arrived at EDR: 10/04/2011	Telephone: 202-267-2180
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 04/03/2012
Number of Days to Update: 38	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Annually

State- and tribal - equivalent CERCLIS

SHWS: Hazardous Site Inventory

State Hazardous Waste Sites. State hazardous waste site records are the states' equivalent to CERCLIS. These sites may or may not already be listed on the federal CERCLIS list. Priority sites planned for cleanup using state funds (state equivalent of Superfund) are identified along with sites where cleanup will be paid for by potentially responsible parties. Available information varies by state.

Date of Government Version: 07/01/2011	Source: Department of Environmental Protection
Date Data Arrived at EDR: 07/21/2011	Telephone: 404-657-8600
Date Made Active in Reports: 08/09/2011	Last EDR Contact: 04/02/2012
Number of Days to Update: 19	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Annually

NON HSI: Non-Hazardous Site Inventory

This list was obtained by EDR in 1998 and contains property listings that have reported contamination of soil or groundwater under the Georgia Hazardous Site Response Act (HSRA). These sites were not placed on the Georgia Priority list (Hazardous Site Inventory or HSI) because their hazard evaluation scores did not exceed the threshold levels established for sites posing an imminent threat to health or the environment. Disclaimer provided by Rindt-McDuff Associates - the database information has been obtained from publicly available sources produced by other entities. While reasonable steps have been taken to insure the accuracy of the data, RMA does not guarantee the accuracy of the data. No claim is made for the actual existence of pollution at any site. This data does not constitute a legal opinion.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 01/12/2012	Source: Rindt-McDuff Associates, Inc.
Date Data Arrived at EDR: 01/13/2012	Telephone: N/A
Date Made Active in Reports: 02/17/2012	Last EDR Contact: 03/16/2012
Number of Days to Update: 35	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Annually

State and tribal landfill and/or solid waste disposal site lists

SWF/LF: Solid Waste Disposal Facilities

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 03/04/2011	Source: Department of Natural Resources
Date Data Arrived at EDR: 05/11/2011	Telephone: 404-362-2696
Date Made Active in Reports: 06/23/2011	Source: Center for GIS, Georgia Institute of Technology
Number of Days to Update: 43	Telephone: 404-385-0900
	Last EDR Contact: 02/10/2012
	Next Scheduled EDR Contact: 05/21/2012
	Data Release Frequency: Semi-Annually

State and tribal leaking storage tank lists

LUST: List of Leaking Underground Storage Tanks

Leaking Underground Storage Tank Incident Reports. LUST records contain an inventory of reported leaking underground storage tank incidents. Not all states maintain these records, and the information stored varies by state.

Date of Government Version: 01/11/2012	Source: Environmental Protection Division
Date Data Arrived at EDR: 03/21/2012	Telephone: 404-362-2687
Date Made Active in Reports: 04/10/2012	Last EDR Contact: 03/21/2012
Number of Days to Update: 20	Next Scheduled EDR Contact: 07/02/2012
	Data Release Frequency: Quarterly

INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 12/14/2011	Source: EPA Region 4
Date Data Arrived at EDR: 12/15/2011	Telephone: 404-562-8677
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 04/30/2012
Number of Days to Update: 26	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Semi-Annually

INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 12/05/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/07/2011	Telephone: 415-972-3372
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 04/30/2012
Number of Days to Update: 34	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Quarterly

INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 11/02/2011	Source: EPA Region 10
Date Data Arrived at EDR: 11/04/2011	Telephone: 206-553-2857
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 04/30/2012
Number of Days to Update: 7	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land

A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 10/01/2011	Source: EPA Region 1
Date Data Arrived at EDR: 11/01/2011	Telephone: 617-918-1313
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 05/01/2012
Number of Days to Update: 10	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Varies

INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 09/12/2011	Source: EPA Region 6
Date Data Arrived at EDR: 09/13/2011	Telephone: 214-665-6597
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 04/23/2012
Number of Days to Update: 59	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Varies

INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 11/01/2011	Source: EPA Region 7
Date Data Arrived at EDR: 11/21/2011	Telephone: 913-551-7003
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 04/30/2012
Number of Days to Update: 50	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Varies

INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 08/18/2011	Source: EPA Region 8
Date Data Arrived at EDR: 08/19/2011	Telephone: 303-312-6271
Date Made Active in Reports: 09/13/2011	Last EDR Contact: 04/30/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Quarterly

State and tribal registered storage tank lists

UST: Underground Storage Tank Database

Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 03/08/2012	Source: Environmental Protection Division
Date Data Arrived at EDR: 03/16/2012	Telephone: 404-362-2687
Date Made Active in Reports: 04/11/2012	Last EDR Contact: 03/16/2012
Number of Days to Update: 26	Next Scheduled EDR Contact: 07/02/2012
	Data Release Frequency: Annually

AST: Above Ground Storage Tanks

A listing of LP gas tank site locations.

Date of Government Version: 03/06/2012	Source: Office of Insurance & Safety Fire Commissioner
Date Data Arrived at EDR: 03/06/2012	Telephone: 404-656-5875
Date Made Active in Reports: 04/11/2012	Last EDR Contact: 02/27/2012
Number of Days to Update: 36	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Varies

INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 07/01/2011 Source: EPA Region 5
Date Data Arrived at EDR: 08/26/2011 Telephone: 312-886-6136
Date Made Active in Reports: 09/13/2011 Last EDR Contact: 04/30/2012
Number of Days to Update: 18 Next Scheduled EDR Contact: 08/13/2012
Data Release Frequency: Varies

INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

Date of Government Version: 05/10/2011 Source: EPA Region 6
Date Data Arrived at EDR: 05/11/2011 Telephone: 214-665-7591
Date Made Active in Reports: 06/14/2011 Last EDR Contact: 04/23/2012
Number of Days to Update: 34 Next Scheduled EDR Contact: 08/13/2012
Data Release Frequency: Semi-Annually

INDIAN UST R4: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

Date of Government Version: 12/14/2011 Source: EPA Region 4
Date Data Arrived at EDR: 12/15/2011 Telephone: 404-562-9424
Date Made Active in Reports: 01/10/2012 Last EDR Contact: 04/30/2012
Number of Days to Update: 26 Next Scheduled EDR Contact: 08/13/2012
Data Release Frequency: Semi-Annually

INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 11/28/2011 Source: EPA Region 9
Date Data Arrived at EDR: 11/29/2011 Telephone: 415-972-3368
Date Made Active in Reports: 01/10/2012 Last EDR Contact: 04/30/2012
Number of Days to Update: 42 Next Scheduled EDR Contact: 08/13/2012
Data Release Frequency: Quarterly

INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 08/18/2011 Source: EPA Region 8
Date Data Arrived at EDR: 08/19/2011 Telephone: 303-312-6137
Date Made Active in Reports: 09/13/2011 Last EDR Contact: 04/30/2012
Number of Days to Update: 25 Next Scheduled EDR Contact: 08/13/2012
Data Release Frequency: Quarterly

INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 10/01/2011 Source: EPA, Region 1
Date Data Arrived at EDR: 11/01/2011 Telephone: 617-918-1313
Date Made Active in Reports: 11/11/2011 Last EDR Contact: 05/01/2012
Number of Days to Update: 10 Next Scheduled EDR Contact: 08/13/2012
Data Release Frequency: Varies

INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/02/2011	Source: EPA Region 10
Date Data Arrived at EDR: 11/04/2011	Telephone: 206-553-2857
Date Made Active in Reports: 11/11/2011	Last EDR Contact: 04/30/2012
Number of Days to Update: 7	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Quarterly

INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 11/01/2011	Source: EPA Region 7
Date Data Arrived at EDR: 11/21/2011	Telephone: 913-551-7003
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 04/30/2012
Number of Days to Update: 50	Next Scheduled EDR Contact: 08/13/2012
	Data Release Frequency: Varies

FEMA UST: Underground Storage Tank Listing

A listing of all FEMA owned underground storage tanks.

Date of Government Version: 01/01/2010	Source: FEMA
Date Data Arrived at EDR: 02/16/2010	Telephone: 202-646-5797
Date Made Active in Reports: 04/12/2010	Last EDR Contact: 04/10/2012
Number of Days to Update: 55	Next Scheduled EDR Contact: 07/30/2012
	Data Release Frequency: Varies

State and tribal institutional control / engineering control registries

AUL: Uniform Environmental Covenants

A list of environmental covenants

Date of Government Version: 12/08/2010	Source: Department of Natural Resources
Date Data Arrived at EDR: 01/06/2012	Telephone: 404-657-8600
Date Made Active in Reports: 01/30/2012	Last EDR Contact: 02/17/2012
Number of Days to Update: 24	Next Scheduled EDR Contact: 05/28/2012
	Data Release Frequency: Varies

INST CONTROL: Public Record List

Sites on the Public Record Listing that have institutional controls or limitations on use are sites with Risk Reduction Standards of 3, 4, and 5.

Date of Government Version: 10/27/2011	Source: Department of Natural Resources
Date Data Arrived at EDR: 11/17/2011	Telephone: 404-657-8600
Date Made Active in Reports: 12/14/2011	Last EDR Contact: 02/17/2012
Number of Days to Update: 27	Next Scheduled EDR Contact: 05/28/2012
	Data Release Frequency: Varies

State and tribal voluntary cleanup sites

VCP: Voluntary Cleanup Program site

Georgia's Voluntary Remediation Program Act was created to encourage voluntary investigation and remediation of contaminated properties.

Date of Government Version: 01/01/2012	Source: DNR
Date Data Arrived at EDR: 03/06/2012	Telephone: 404-657-8600
Date Made Active in Reports: 04/10/2012	Last EDR Contact: 03/06/2012
Number of Days to Update: 35	Next Scheduled EDR Contact: 06/18/2012
	Data Release Frequency: Varies

INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/20/2008
Date Data Arrived at EDR: 04/22/2008
Date Made Active in Reports: 05/19/2008
Number of Days to Update: 27

Source: EPA, Region 7
Telephone: 913-551-7365
Last EDR Contact: 04/20/2009
Next Scheduled EDR Contact: 07/20/2009
Data Release Frequency: Varies

INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 08/04/2011
Date Data Arrived at EDR: 10/04/2011
Date Made Active in Reports: 11/11/2011
Number of Days to Update: 38

Source: EPA, Region 1
Telephone: 617-918-1102
Last EDR Contact: 04/03/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Varies

State and tribal Brownfields sites

BROWNFIELDS: Brownfields Public Record List

The Brownfields Public Record lists properties where response actions under the Georgia Hazardous Site Reuse and Redevelopment Act are planned, ongoing or completed.

Date of Government Version: 10/27/2011
Date Data Arrived at EDR: 11/17/2011
Date Made Active in Reports: 12/14/2011
Number of Days to Update: 27

Source: Department of Natural Resources
Telephone: 404-657-8600
Last EDR Contact: 02/17/2012
Next Scheduled EDR Contact: 05/28/2012
Data Release Frequency: Varies

ADDITIONAL ENVIRONMENTAL RECORDS

Local Brownfield lists

US BROWNFIELDS: A Listing of Brownfields Sites

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 06/27/2011
Date Data Arrived at EDR: 06/27/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 78

Source: Environmental Protection Agency
Telephone: 202-566-2777
Last EDR Contact: 04/03/2012
Next Scheduled EDR Contact: 07/09/2012
Data Release Frequency: Semi-Annually

Local Lists of Landfill / Solid Waste Disposal Sites

ODI: Open Dump Inventory

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985
Date Data Arrived at EDR: 08/09/2004
Date Made Active in Reports: 09/17/2004
Number of Days to Update: 39

Source: Environmental Protection Agency
Telephone: 800-424-9346
Last EDR Contact: 06/09/2004
Next Scheduled EDR Contact: N/A
Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009	Source: EPA, Region 9
Date Data Arrived at EDR: 05/07/2009	Telephone: 415-947-4219
Date Made Active in Reports: 09/21/2009	Last EDR Contact: 03/26/2012
Number of Days to Update: 137	Next Scheduled EDR Contact: 07/09/2012
	Data Release Frequency: No Update Planned

SWRCY: Recycling Center Listing

A listing of recycling facility locations.

Date of Government Version: 03/14/2012	Source: Department of Community Affairs
Date Data Arrived at EDR: 03/15/2012	Telephone: 404-679-1598
Date Made Active in Reports: 04/10/2012	Last EDR Contact: 04/11/2012
Number of Days to Update: 26	Next Scheduled EDR Contact: 07/12/2012
	Data Release Frequency: Varies

HIST LF: Historical Landfills

Landfills that were closed many years ago.

Date of Government Version: 01/15/2003	Source: Department of Natural Resources
Date Data Arrived at EDR: 01/20/2004	Telephone: 404-362-2696
Date Made Active in Reports: 02/06/2004	Last EDR Contact: 01/20/2004
Number of Days to Update: 17	Next Scheduled EDR Contact: N/A
	Data Release Frequency: Varies

Local Lists of Hazardous waste / Contaminated Sites

US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 10/07/2011	Source: Drug Enforcement Administration
Date Data Arrived at EDR: 12/09/2011	Telephone: 202-307-1000
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 03/06/2012
Number of Days to Update: 32	Next Scheduled EDR Contact: 06/18/2012
	Data Release Frequency: Quarterly

DEL SHWS: Delisted Hazardous Site Inventory Listing

A listing of sites delisted from the Hazardous Site Inventory.

Date of Government Version: 07/01/2011	Source: Department of Natural Resources
Date Data Arrived at EDR: 07/21/2011	Telephone: 404-657-8636
Date Made Active in Reports: 08/09/2011	Last EDR Contact: 04/02/2012
Number of Days to Update: 19	Next Scheduled EDR Contact: 07/16/2012
	Data Release Frequency: Annually

US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 09/01/2007
Date Data Arrived at EDR: 11/19/2008
Date Made Active in Reports: 03/30/2009
Number of Days to Update: 131

Source: Drug Enforcement Administration
Telephone: 202-307-1000
Last EDR Contact: 03/23/2009
Next Scheduled EDR Contact: 06/22/2009
Data Release Frequency: No Update Planned

Local Land Records

LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 09/09/2011
Date Data Arrived at EDR: 09/16/2011
Date Made Active in Reports: 09/29/2011
Number of Days to Update: 13

Source: Environmental Protection Agency
Telephone: 202-564-6023
Last EDR Contact: 04/30/2012
Next Scheduled EDR Contact: 08/13/2012
Data Release Frequency: Varies

LUCIS: Land Use Control Information System

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 12/09/2005
Date Data Arrived at EDR: 12/11/2006
Date Made Active in Reports: 01/11/2007
Number of Days to Update: 31

Source: Department of the Navy
Telephone: 843-820-7326
Last EDR Contact: 04/03/2012
Next Scheduled EDR Contact: 06/04/2012
Data Release Frequency: Varies

Records of Emergency Release Reports

HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 10/04/2011
Date Data Arrived at EDR: 10/04/2011
Date Made Active in Reports: 11/11/2011
Number of Days to Update: 38

Source: U.S. Department of Transportation
Telephone: 202-366-4555
Last EDR Contact: 04/03/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Annually

SPILLS: Spills Information

Oil or Hazardous Material Spills or Releases.

Date of Government Version: 12/31/2011
Date Data Arrived at EDR: 01/03/2012
Date Made Active in Reports: 01/30/2012
Number of Days to Update: 27

Source: Department of Natural Resources
Telephone: 404-656-6905
Last EDR Contact: 04/02/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Quarterly

Other Ascertainable Records

RCRA-NonGen: RCRA - Non Generators

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

Date of Government Version: 11/10/2011
Date Data Arrived at EDR: 01/05/2012
Date Made Active in Reports: 03/12/2012
Number of Days to Update: 67

Source: Environmental Protection Agency
Telephone: (404) 562-8651
Last EDR Contact: 04/04/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 07/29/2011
Date Data Arrived at EDR: 08/09/2011
Date Made Active in Reports: 11/11/2011
Number of Days to Update: 94

Source: Department of Transportation, Office of Pipeline Safety
Telephone: 202-366-4595
Last EDR Contact: 02/07/2012
Next Scheduled EDR Contact: 05/21/2012
Data Release Frequency: Varies

DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 12/31/2005
Date Data Arrived at EDR: 11/10/2006
Date Made Active in Reports: 01/11/2007
Number of Days to Update: 62

Source: USGS
Telephone: 888-275-8747
Last EDR Contact: 04/16/2012
Next Scheduled EDR Contact: 07/30/2012
Data Release Frequency: Semi-Annually

FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 12/31/2009
Date Data Arrived at EDR: 08/12/2010
Date Made Active in Reports: 12/02/2010
Number of Days to Update: 112

Source: U.S. Army Corps of Engineers
Telephone: 202-528-4285
Last EDR Contact: 03/12/2012
Next Scheduled EDR Contact: 06/25/2012
Data Release Frequency: Varies

CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

Date of Government Version: 12/01/2011
Date Data Arrived at EDR: 01/25/2012
Date Made Active in Reports: 03/01/2012
Number of Days to Update: 36

Source: Department of Justice, Consent Decree Library
Telephone: Varies
Last EDR Contact: 04/02/2012
Next Scheduled EDR Contact: 07/16/2012
Data Release Frequency: Varies

ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 09/28/2011
Date Data Arrived at EDR: 12/14/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 27

Source: EPA
Telephone: 703-416-0223
Last EDR Contact: 03/14/2012
Next Scheduled EDR Contact: 06/25/2012
Data Release Frequency: Annually

UMTRA: Uranium Mill Tailings Sites

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 09/14/2010
Date Data Arrived at EDR: 10/07/2011
Date Made Active in Reports: 03/01/2012
Number of Days to Update: 146

Source: Department of Energy
Telephone: 505-845-0011
Last EDR Contact: 02/28/2012
Next Scheduled EDR Contact: 06/11/2012
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 08/18/2011	Source: Department of Labor, Mine Safety and Health Administration
Date Data Arrived at EDR: 09/08/2011	Telephone: 303-231-5959
Date Made Active in Reports: 09/29/2011	Last EDR Contact: 03/07/2012
Number of Days to Update: 21	Next Scheduled EDR Contact: 06/18/2012
	Data Release Frequency: Semi-Annually

TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2009	Source: EPA
Date Data Arrived at EDR: 09/01/2011	Telephone: 202-566-0250
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 02/28/2012
Number of Days to Update: 131	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Annually

TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2006	Source: EPA
Date Data Arrived at EDR: 09/29/2010	Telephone: 202-260-5521
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 03/28/2012
Number of Days to Update: 64	Next Scheduled EDR Contact: 07/09/2012
	Data Release Frequency: Every 4 Years

FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 02/27/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act) A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 02/27/2012
Number of Days to Update: 25	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Quarterly

HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2007
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006
Date Data Arrived at EDR: 03/01/2007
Date Made Active in Reports: 04/10/2007
Number of Days to Update: 40

Source: Environmental Protection Agency
Telephone: 202-564-2501
Last EDR Contact: 12/17/2008
Next Scheduled EDR Contact: 03/17/2008
Data Release Frequency: No Update Planned

SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 12/31/2009
Date Data Arrived at EDR: 12/10/2010
Date Made Active in Reports: 02/25/2011
Number of Days to Update: 77

Source: EPA
Telephone: 202-564-4203
Last EDR Contact: 04/30/2012
Next Scheduled EDR Contact: 08/13/2012
Data Release Frequency: Annually

ICIS: Integrated Compliance Information System

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 07/20/2011
Date Data Arrived at EDR: 11/10/2011
Date Made Active in Reports: 01/10/2012
Number of Days to Update: 61

Source: Environmental Protection Agency
Telephone: 202-564-5088
Last EDR Contact: 03/26/2012
Next Scheduled EDR Contact: 07/09/2012
Data Release Frequency: Quarterly

PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 11/01/2010
Date Data Arrived at EDR: 11/10/2010
Date Made Active in Reports: 02/16/2011
Number of Days to Update: 98

Source: EPA
Telephone: 202-566-0500
Last EDR Contact: 04/17/2012
Next Scheduled EDR Contact: 07/30/2012
Data Release Frequency: Annually

MLTS: Material Licensing Tracking System

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 06/21/2011
Date Data Arrived at EDR: 07/15/2011
Date Made Active in Reports: 09/13/2011
Number of Days to Update: 60

Source: Nuclear Regulatory Commission
Telephone: 301-415-7169
Last EDR Contact: 03/12/2012
Next Scheduled EDR Contact: 06/25/2012
Data Release Frequency: Quarterly

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 01/10/2012	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/12/2012	Telephone: 202-343-9775
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 04/10/2012
Number of Days to Update: 49	Next Scheduled EDR Contact: 07/23/2012
	Data Release Frequency: Quarterly

FINDS: Facility Index System/Facility Registry System

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 10/23/2011	Source: EPA
Date Data Arrived at EDR: 12/13/2011	Telephone: (404) 562-9900
Date Made Active in Reports: 03/01/2012	Last EDR Contact: 03/13/2012
Number of Days to Update: 79	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Quarterly

RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

BRS: Biennial Reporting System

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2009	Source: EPA/NTIS
Date Data Arrived at EDR: 03/01/2011	Telephone: 800-424-9346
Date Made Active in Reports: 05/02/2011	Last EDR Contact: 02/27/2012
Number of Days to Update: 62	Next Scheduled EDR Contact: 06/11/2012
	Data Release Frequency: Biennially

NPDES: NPDES Wastewater Permit List

A listing of NPDES wastewater permits issued by the Watershed Protection Branch.

Date of Government Version: 01/27/2011	Source: Department of Natural Resources
Date Data Arrived at EDR: 02/15/2011	Telephone: 404-362-2680
Date Made Active in Reports: 02/23/2011	Last EDR Contact: 02/15/2012
Number of Days to Update: 8	Next Scheduled EDR Contact: 05/28/2012
	Data Release Frequency: Varies

DRYCLEANERS: Drycleaner Database

A list of drycleaners in the state. The listing includes drycleaner facilities, that use perchloroethylene, that responded to the Notification of Compliance Status forms. It also includes those businesses that are pick-up stores only and do not conduct dry cleaning on site.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 09/18/2009 Source: Department of Natural Resources
Date Data Arrived at EDR: 09/18/2009 Telephone: 404-363-7000
Date Made Active in Reports: 10/09/2009 Last EDR Contact: 02/27/2012
Number of Days to Update: 21 Next Scheduled EDR Contact: 05/28/2012
Data Release Frequency: Varies

AIRS: Permitted Facility & Emissions Listing

A listing of permitted Air facilities and emissions data.

Date of Government Version: 12/31/2011 Source: Department of Natural Resources
Date Data Arrived at EDR: 02/29/2012 Telephone: 404-363-7000
Date Made Active in Reports: 04/18/2012 Last EDR Contact: 02/27/2012
Number of Days to Update: 49 Next Scheduled EDR Contact: 06/11/2012
Data Release Frequency: Varies

TIER 2: Tier 2 Data Listing

A listing of facilities which store or manufacture hazardous materials and submit a chemical inventory report.

Date of Government Version: 12/31/2010 Source: Department of Natural Resources
Date Data Arrived at EDR: 10/25/2011 Telephone: 404-656-4852
Date Made Active in Reports: 11/18/2011 Last EDR Contact: 03/05/2012
Number of Days to Update: 24 Next Scheduled EDR Contact: 06/18/2012
Data Release Frequency: Varies

INDIAN RESERV: Indian Reservations

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2005 Source: USGS
Date Data Arrived at EDR: 12/08/2006 Telephone: 202-208-3710
Date Made Active in Reports: 01/11/2007 Last EDR Contact: 04/16/2012
Number of Days to Update: 34 Next Scheduled EDR Contact: 07/30/2012
Data Release Frequency: Semi-Annually

SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 03/07/2011 Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/09/2011 Telephone: 615-532-8599
Date Made Active in Reports: 05/02/2011 Last EDR Contact: 04/23/2012
Number of Days to Update: 54 Next Scheduled EDR Contact: 08/06/2012
Data Release Frequency: Varies

FINANCIAL ASSURANCE: Financial Assurance Information Listing

A listing of financial assurance information for underground storage tank facilities.

Date of Government Version: 03/08/2012 Source: Department of Natural Resources
Date Data Arrived at EDR: 03/16/2012 Telephone: 404-362-4892
Date Made Active in Reports: 04/11/2012 Last EDR Contact: 03/16/2012
Number of Days to Update: 26 Next Scheduled EDR Contact: 07/02/2012
Data Release Frequency: Annually

COAL ASH DOE: Sleam-Electric Plan Operation Data

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2005 Source: Department of Energy
Date Data Arrived at EDR: 08/07/2009 Telephone: 202-586-8719
Date Made Active in Reports: 10/22/2009 Last EDR Contact: 04/16/2012
Number of Days to Update: 76 Next Scheduled EDR Contact: 07/30/2012
Data Release Frequency: Varies

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 02/01/2011	Source: Environmental Protection Agency
Date Data Arrived at EDR: 10/19/2011	Telephone: 202-566-0517
Date Made Active in Reports: 01/10/2012	Last EDR Contact: 02/03/2012
Number of Days to Update: 83	Next Scheduled EDR Contact: 05/14/2012
	Data Release Frequency: Varies

COAL ASH EPA: Coal Combustion Residues Surface Impoundments List

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 08/17/2010	Source: Environmental Protection Agency
Date Data Arrived at EDR: 01/03/2011	Telephone: N/A
Date Made Active in Reports: 03/21/2011	Last EDR Contact: 03/16/2012
Number of Days to Update: 77	Next Scheduled EDR Contact: 06/25/2012
	Data Release Frequency: Varies

COAL ASH: Coal Ash Disposal Site Listing

A listing of coal ash landfills.

Date of Government Version: 05/27/2011	Source: Department of Natural Resources
Date Data Arrived at EDR: 05/31/2011	Telephone: 404-362-2537
Date Made Active in Reports: 07/11/2011	Last EDR Contact: 03/05/2012
Number of Days to Update: 41	Next Scheduled EDR Contact: 05/21/2012
	Data Release Frequency: Varies

FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 12/31/2005	Source: U.S. Geological Survey
Date Data Arrived at EDR: 02/06/2006	Telephone: 888-275-8747
Date Made Active in Reports: 01/11/2007	Last EDR Contact: 04/16/2012
Number of Days to Update: 339	Next Scheduled EDR Contact: 07/30/2012
	Data Release Frequency: N/A

EDR PROPRIETARY RECORDS

EDR Proprietary Records

Manufactured Gas Plants: EDR Proprietary Manufactured Gas Plants

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A	Source: EDR, Inc.
Date Data Arrived at EDR: N/A	Telephone: N/A
Date Made Active in Reports: N/A	Last EDR Contact: N/A
Number of Days to Update: N/A	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

Date of Government Version: 02/20/2012
Date Data Arrived at EDR: 02/20/2012
Date Made Active in Reports: 03/15/2012
Number of Days to Update: 24

Source: Department of Energy & Environmental Protection
Telephone: 860-424-3375
Last EDR Contact: 02/20/2012
Next Scheduled EDR Contact: 06/04/2012
Data Release Frequency: Annually

NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2010
Date Data Arrived at EDR: 07/20/2011
Date Made Active in Reports: 08/11/2011
Number of Days to Update: 22

Source: Department of Environmental Protection
Telephone: N/A
Last EDR Contact: 04/17/2012
Next Scheduled EDR Contact: 07/30/2012
Data Release Frequency: Annually

NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/10/2012
Date Data Arrived at EDR: 02/09/2012
Date Made Active in Reports: 03/09/2012
Number of Days to Update: 29

Source: Department of Environmental Conservation
Telephone: 518-402-8651
Last EDR Contact: 02/09/2012
Next Scheduled EDR Contact: 05/21/2012
Data Release Frequency: Annually

PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2009
Date Data Arrived at EDR: 01/26/2012
Date Made Active in Reports: 03/06/2012
Number of Days to Update: 40

Source: Department of Environmental Protection
Telephone: 717-783-8990
Last EDR Contact: 04/23/2012
Next Scheduled EDR Contact: 08/06/2012
Data Release Frequency: Annually

RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2010
Date Data Arrived at EDR: 06/24/2011
Date Made Active in Reports: 06/30/2011
Number of Days to Update: 6

Source: Department of Environmental Management
Telephone: 401-222-2797
Last EDR Contact: 02/27/2012
Next Scheduled EDR Contact: 06/11/2012
Data Release Frequency: Annually

WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2010
Date Data Arrived at EDR: 08/19/2011
Date Made Active in Reports: 09/15/2011
Number of Days to Update: 27

Source: Department of Natural Resources
Telephone: N/A
Last EDR Contact: 03/19/2012
Next Scheduled EDR Contact: 07/02/2012
Data Release Frequency: Annually

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Oil/Gas Pipelines: This data was obtained by EDR from the USGS in 1994. It is referred to by USGS as GeoData Digital Line Graphs from 1:100,000-Scale Maps. It was extracted from the transportation category including some oil, but primarily gas pipelines.

Electric Power Transmission Line Data

Source: Rextag Strategies Corp.

Telephone: (281) 769-2247

U.S. Electric Transmission and Power Plants Systems Digital GIS Data

Sensitive Receptors: There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

AHA Hospitals:

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

Daycare Centers: Child Care Centers

Source: Department of Human Resources

Telephone: 404-651-5562

Flood Zone Data: This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002 and 2005 from the U.S. Fish and Wildlife Service.

Scanned Digital USGS 7.5' Topographic Map (DRG)

Source: United States Geologic Survey

A digital raster graphic (DRG) is a scanned image of a U.S. Geological Survey topographic map. The map images are made by scanning published paper maps on high-resolution scanners. The raster image is georeferenced and fit to the Universal Transverse Mercator (UTM) projection.

GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

STREET AND ADDRESS INFORMATION

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GEOCHECK[®]- PHYSICAL SETTING SOURCE ADDENDUM

TARGET PROPERTY ADDRESS

CREEKVIEW COMMONS
MAGNOLIA STREET
AMERICUS, GA 31719

TARGET PROPERTY COORDINATES

Latitude (North): 32.074 - 32° 4' 26.40"
Longitude (West): 84.2457 - 84° 14' 44.52"
Universal Transverse Mercator: Zone 16
UTM X (Meters): 759998.8
UTM Y (Meters): 3551770.2
Elevation: 373 ft. above sea level

USGS TOPOGRAPHIC MAP

Target Property Map: 32084-A2 AMERICUS, GA
Most Recent Revision: 1985

West Map: 32084-A3 LAKE COLLINS, GA
Most Recent Revision: 1985

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principal investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW DIRECTION INFORMATION

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

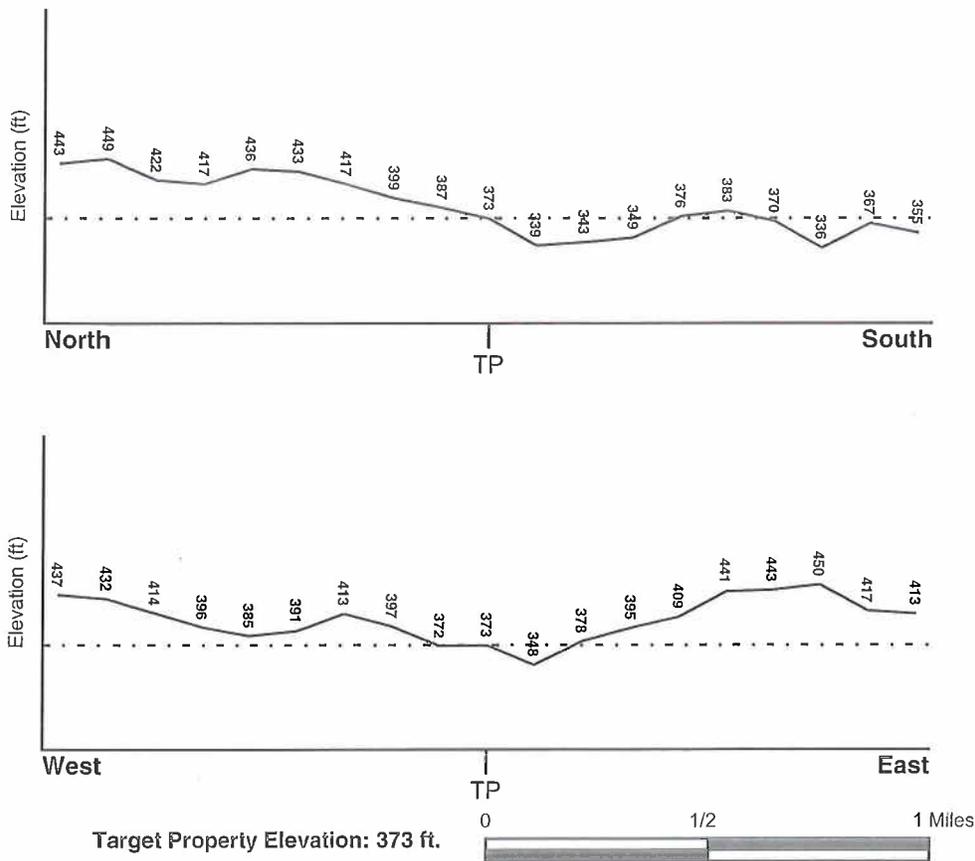
TOPOGRAPHIC INFORMATION

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

TARGET PROPERTY TOPOGRAPHY

General Topographic Gradient: General SSE

SURROUNDING TOPOGRAPHY: ELEVATION PROFILES



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

HYDROLOGIC INFORMATION

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

FEMA FLOOD ZONE

Target Property County
SUMTER, GA

FEMA Flood
Electronic Data
YES - refer to the Overview Map and Detail Map

Flood Plain Panel at Target Property: 13261C - FEMA DFIRM Flood data

Additional Panels in search area: Not Reported

NATIONAL WETLAND INVENTORY

NWI Quad at Target Property
AMERICUS

NWI Electronic
Data Coverage
YES - refer to the Overview Map and Detail Map

HYDROGEOLOGIC INFORMATION

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

AQUIFLOW®

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

GROUNDWATER FLOW VELOCITY INFORMATION

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

ROCK STRATIGRAPHIC UNIT

Era: Cenozoic
System: Tertiary
Series: Eocene Claiborne Group
Code: Te2 (*decoded above as Era, System & Series*)

GEOLOGIC AGE IDENTIFICATION

Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps. The following information is based on Soil Conservation Service STATSGO data.

Soil Component Name: TROUP

Soil Surface Texture: sand

Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.

Soil Drainage Class: Somewhat excessive. Soils have high hydraulic conductivity and low water holding capacity. Depth to water table is more than 6 feet.

Hydric Status: Soil does not meet the requirements for a hydric soil.

Corrosion Potential - Uncoated Steel: LOW

Depth to Bedrock Min: > 60 inches

Depth to Bedrock Max: > 60 inches

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Permeability Rate (in/hr)	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	53 inches	sand	Granular materials (35 pct. or less passing No. 200), Silty, or Clayey Gravel and Sand.	COARSE-GRAINED SOILS, Sands, Sands with fines, Silty Sand.	Max: 20.00 Min: 6.00	Max: 6.00 Min: 4.50
2	53 inches	80 inches	sandy clay loam	Silt-Clay Materials (more than 35 pct. passing No. 200), Silty Soils.	COARSE-GRAINED SOILS, Sands, Sands with fines, Clayey sand.	Max: 2.00 Min: 0.60	Max: 5.50 Min: 4.50

OTHER SOIL TYPES IN AREA

Based on Soil Conservation Service STATSGO data, the following additional subordinant soil types may appear within the general area of target property.

Soil Surface Textures: loamy sand
sandy loam

Surficial Soil Types: loamy sand
sandy loam

Shallow Soil Types: loam
sandy clay loam
fine sandy loam
silt loam

Deeper Soil Types: sand
sandy loam
coarse sandy loam

LOCAL / REGIONAL WATER AGENCY RECORDS

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

WELL SEARCH DISTANCE INFORMATION

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

FEDERAL USGS WELL INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
A1	USGS2311928	1/4 - 1/2 Mile SSE
B11	USGS2311946	1/2 - 1 Mile ENE
B12	USGS2311935	1/2 - 1 Mile ENE
C28	USGS2311934	1/2 - 1 Mile ENE
C29	USGS2311948	1/2 - 1 Mile ENE

FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
10	GA2610000	1/2 - 1 Mile SSE

Note: PWS System location is not always the same as well location.

STATE DATABASE WELL INFORMATION

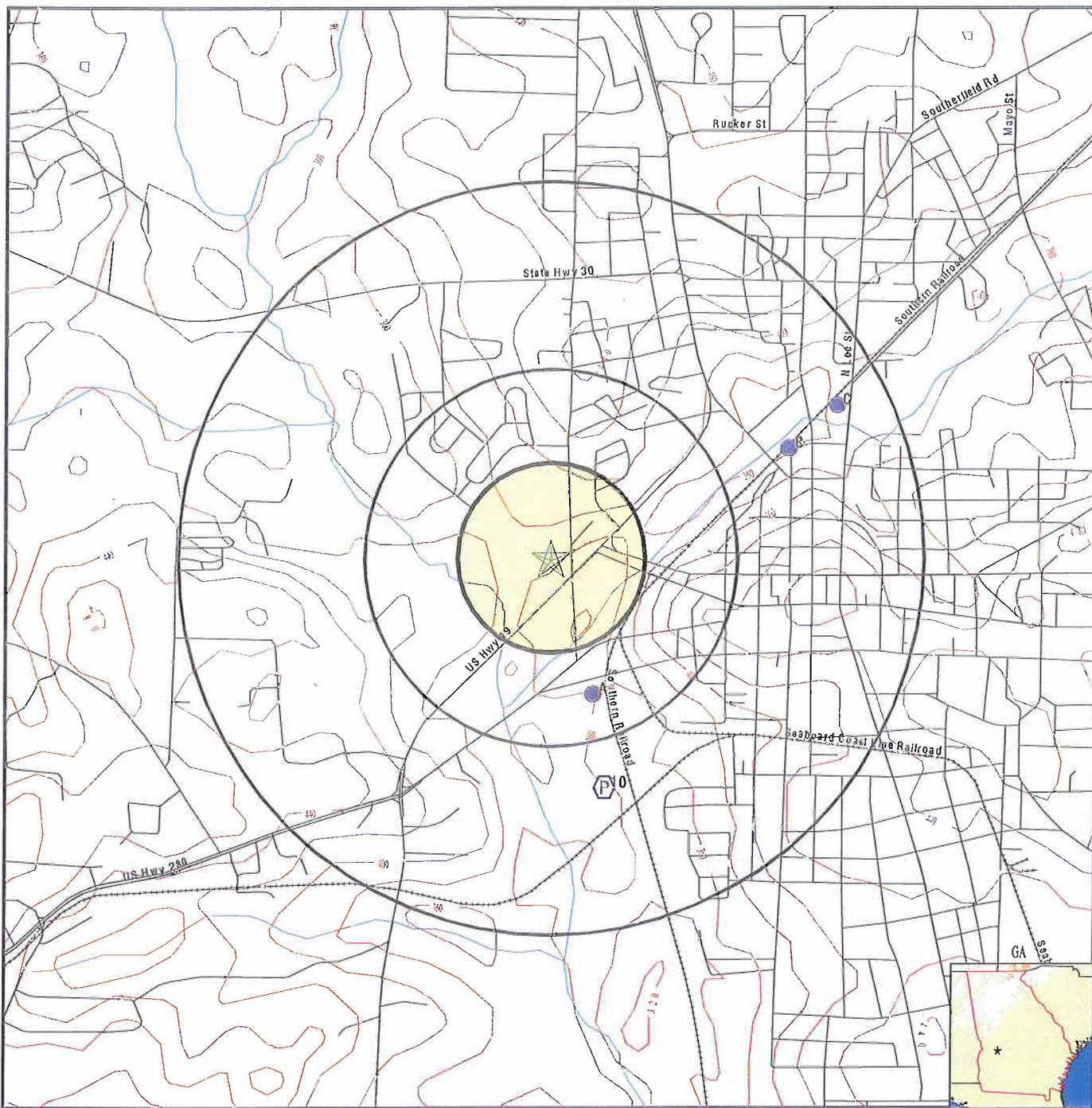
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
A2	0000010631	1/4 - 1/2 Mile SSE
A3	0000010630	1/4 - 1/2 Mile SSE
A4	0000010633	1/4 - 1/2 Mile SSE
A5	0000010632	1/4 - 1/2 Mile SSE
A6	0000010627	1/4 - 1/2 Mile SSE
A7	0000010626	1/4 - 1/2 Mile SSE
A8	0000010629	1/4 - 1/2 Mile SSE
A9	0000010628	1/4 - 1/2 Mile SSE
B13	0000010651	1/2 - 1 Mile ENE
B14	0000010652	1/2 - 1 Mile ENE
B15	0000010650	1/2 - 1 Mile ENE
B16	0000010638	1/2 - 1 Mile ENE
B17	0000010649	1/2 - 1 Mile ENE
B18	0000010653	1/2 - 1 Mile ENE
B19	0000010657	1/2 - 1 Mile ENE
B20	0000010658	1/2 - 1 Mile ENE
B21	0000010659	1/2 - 1 Mile ENE
B22	0000010654	1/2 - 1 Mile ENE
B23	0000010655	1/2 - 1 Mile ENE
B24	0000010656	1/2 - 1 Mile ENE
C25	797	1/2 - 1 Mile ENE

GEOCHECK[®] - PHYSICAL SETTING SOURCE SUMMARY

STATE DATABASE WELL INFORMATION

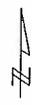
<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
C26	0000010637	1/2 - 1 Mile ENE
C27	0000010661	1/2 - 1 Mile ENE

PHYSICAL SETTING SOURCE MAP - 3315626.1s



- County Boundary
- Major Roads
- Contour Lines
- Earthquake epicenter, Richter 5 or greater
- Water Wells
- Public Water Supply Wells
- Cluster of Multiple Icons

- Groundwater Flow Direction
- Wildlife Areas
- Indeterminate Groundwater Flow at Location
- Groundwater Flow Varies at Location



<p>SITE NAME: Creekview Commons ADDRESS: Magnolia Street Americus GA 31719 LAT/LONG: 32.074 / 84.2457</p>	<p>CLIENT: Geotechnical & Env'tl. Cons. CONTACT: Tameka Gordon INQUIRY #: 3315626.1s DATE: May 03, 2012 12:11 pm</p>
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GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

A1
SSE
1/4 - 1/2 Mile
Lower
FED USGS USGS2311928

Agency cd:	USGS	Site no:	320407084143801
Site name:	12Q032	EDR Site id:	USGS2311928
Latitude:	320407	Dec lat:	32.06877498
Longitude:	0841438	Coor meth:	M
Dec lon:	-84.24379903	Latlong datum:	NAD27
Coor accr:	F	District:	13
Dec latlong datum:	NAD83	County:	261
State:	13	Land net:	Not Reported
Country:	US	Map scale:	24000
Location map:	AMERICUS		
Altitude:	329.		
Altitude method:	Interpolated from topographic map		
Altitude accuracy:	5		
Altitude datum:	National Geodetic Vertical Datum of 1929		
Hydrologic:	KinchafooneeMuckalee. Georgia. Area = 1090 sq.mi.		
Topographic:	Flat surface		
Site type:	Ground-water other than Spring	Date construction:	19850618
Date inventoried:	19860516	Mean greenwich time offset:	EST
Local standard time flag:	N		
Type of ground water site:	Single well, other than collector or Ranney type		
Aquifer Type:	Confined multiple aquifers		
Aquifer:	UPPER CRETACEOUS		
Well depth:	770.	Hole depth:	1020
Source of depth data:	driller		
Project number:	Not Reported		
Real time data flag:	0		
Daily flow data end date:	0000-00-00	Daily flow data begin date:	0000-00-00
Daily flow data count:	0		
Peak flow data begin date:	0000-00-00	Peak flow data end date:	0000-00-00
Peak flow data count:	0		
Water quality data begin date:	0000-00-00	Water quality data end date:	0000-00-00
Water quality data count:	0		
Ground water data begin date:	1990-10-30	Ground water data end date:	1990-10-30
Ground water data count:	1		

Ground-water levels, Number of Measurements: 1

Date	Feet below Surface	Feet to Sealevel
1990-10-30	95.00	

A2
SSE
1/4 - 1/2 Mile
Lower
GA WELLS 0000010631

Well #:	12Q032	County FIPS:	261
Remarks:	AMERICUS, GA WELL NO. 8, JUNE 18, 1985		
Latitude:	320407	Longitude:	0841438
Altitude:	329.	Depth:	770.
Depth to bottom of Casing:	745	Diameter of Casing:	*
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Not Reported	Date Built:	Not Reported
Depth to top of this open interval:	Not Reported		
Depth to bottom of this open interval:	Not Reported		
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - UPPER CRETACEOUS SERIES		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
A3 SSE 1/4 - 1/2 Mile Lower		GA WELLS	0000010630
Well #:	12Q032	County FIPS:	261
Remarks:	AMERICUS, GA WELL NO. 8, JUNE 18,1985		
Latitude:	320407	Longitude:	0841438
Altitude:	329.	Depth:	770.
Depth to bottom of Casing:	705	Diameter of Casing:	*
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:		745.	
Depth to bottom of this open interval:		760.	
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - UPPER CRETACEOUS SERIES		
A4 SSE 1/4 - 1/2 Mile Lower		GA WELLS	0000010633
Well #:	12Q032	County FIPS:	261
Remarks:	AMERICUS, GA WELL NO. 8, JUNE 18,1985		
Latitude:	320407	Longitude:	0841438
Altitude:	329.	Depth:	770.
Depth to bottom of Casing:	140.	Diameter of Casing:	26.
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	19850618
Depth to top of this open interval:		305.	
Depth to bottom of this open interval:		345.	
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - UPPER CRETACEOUS SERIES		
A5 SSE 1/4 - 1/2 Mile Lower		GA WELLS	0000010632
Well #:	12Q032	County FIPS:	261
Remarks:	AMERICUS, GA WELL NO. 8, JUNE 18,1985		
Latitude:	320407	Longitude:	0841438
Altitude:	329.	Depth:	770.
Depth to bottom of Casing:	770	Diameter of Casing:	*
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Not Reported	Date Built:	Not Reported
Depth to top of this open interval:		Not Reported	
Depth to bottom of this open interval:		Not Reported	
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - UPPER CRETACEOUS SERIES		
A6 SSE 1/4 - 1/2 Mile Lower		GA WELLS	0000010627

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Well #:	12Q032	County FIPS:	261
Remarks:	AMERICUS, GA WELL NO. 8, JUNE 18, 1985		
Latitude:	320407	Longitude:	0841438
Altitude:	329.	Depth:	770.
Depth to bottom of Casing:	385	Diameter of Casing:	*
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:			595.
Depth to bottom of this open interval:			610.
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - UPPER CRETACEOUS SERIES		

A7
SSE
 1/4 - 1/2 Mile
 Lower **GA WELLS** **0000010626**

Well #:	12Q032	County FIPS:	261
Remarks:	AMERICUS, GA WELL NO. 8, JUNE 18, 1985		
Latitude:	320407	Longitude:	0841438
Altitude:	329.	Depth:	770.
Depth to bottom of Casing:	305	Diameter of Casing:	*
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:			385.
Depth to bottom of this open interval:			395.
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - UPPER CRETACEOUS SERIES		

A8
SSE
 1/4 - 1/2 Mile
 Lower **GA WELLS** **0000010629**

Well #:	12Q032	County FIPS:	261
Remarks:	AMERICUS, GA WELL NO. 8, JUNE 18, 1985		
Latitude:	320407	Longitude:	0841438
Altitude:	329.	Depth:	770.
Depth to bottom of Casing:	653	Diameter of Casing:	*
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:			705.
Depth to bottom of this open interval:			715.
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - UPPER CRETACEOUS SERIES		

A9
SSE
 1/4 - 1/2 Mile
 Lower **GA WELLS** **0000010628**

Well #:	12Q032	County FIPS:	261
Remarks:	AMERICUS, GA WELL NO. 8, JUNE 18, 1985		
Latitude:	320407	Longitude:	0841438
Altitude:	329.	Depth:	770.
Depth to bottom of Casing:	595	Diameter of Casing:	*
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:			653.
Depth to bottom of this open interval:			683.
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - UPPER CRETACEOUS SERIES		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
 Direction
 Distance
 Elevation

Database EDR ID Number

10

SSE

1/2 - 1 Mile

Lower

FRDS PWS

GA2610000

Pwsid:	GA2610000	Epa region:	04
State:	GA	County:	Sumter
Pws name:	AMERICUS		
Population Served:	17700	Pwssvconn:	6800
PWS Source:	Groundwater		
Pws type:	CWS		
Status:	Active	Owner type:	Local_Govt
Facility id:	14172		
Facility name:	DISTRIBUTION SYSTEM		
Facility type:	Distribution_system_zone	Treatment process:	gaseous chlorination, post
Treatment objective:	disinfection		
Contact name:	BLOUNT, BARRY		
Original name:	BLOUNT, BARRY		
Contact phone:	229-924-4419	Contact address1:	101 WEST LAMAR ST.
Contact address2:	Not Reported		
Contact city:	AMERICUS		
Contact zip:	31709		

Pwsid:	GA2610000	Epa region:	04
State:	GA	County:	Sumter
Pws name:	AMERICUS		
Population Served:	17700	Pwssvconn:	6800
PWS Source:	Groundwater		
Pws type:	CWS		
Status:	Active	Owner type:	Local_Govt
Facility id:	2137		
Facility name:	OAK AVE WATER TREATMENT PLANT		
Facility type:	Treatment_plant	Treatment process:	gaseous chlorination, post
Treatment objective:	disinfection		
Contact name:	BLOUNT, BARRY		
Original name:	BLOUNT, BARRY		
Contact phone:	229-924-4419	Contact address1:	101 WEST LAMAR ST.
Contact address2:	Not Reported		
Contact city:	AMERICUS		
Contact zip:	31709		

Pwsid:	GA2610000	Epa region:	04
State:	GA	County:	Sumter
Pws name:	AMERICUS		
Population Served:	17700	Pwssvconn:	6800
PWS Source:	Groundwater		
Pws type:	CWS		
Status:	Active	Owner type:	Local_Govt
Facility id:	3927		
Facility name:	E. RAILROAD WELL PLANT		
Facility type:	Treatment_plant	Treatment process:	gaseous chlorination, post
Treatment objective:	disinfection		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709	Contact address1: 101 WEST LAMAR ST.	
Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9183 Facility name: WELL #1 Facility type: Well Treatment objective: disinfection	Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post	
Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709	Contact address1: 101 WEST LAMAR ST.	
Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9184 Facility name: BAY ST WELL Facility type: Well Treatment objective: disinfection	Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post	
Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709	Contact address1: 101 WEST LAMAR ST.	
Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9186 Facility name: HARROLD AVE WELL Facility type: Well Treatment objective: disinfection	Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post	

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

<p> Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709 </p>	<p> Contact address1: 101 WEST LAMAR ST. </p>
<p> Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9187 Facility name: OLD INDUSTRIAL WELL Facility type: Well Treatment objective: disinfection </p>	<p> Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post </p>
<p> Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709 </p>	<p> Contact address1: 101 WEST LAMAR ST. </p>
<p> Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9188 Facility name: OAK AVE WELL Facility type: Well Treatment objective: disinfection </p>	<p> Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post </p>
<p> Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709 </p>	<p> Contact address1: 101 WEST LAMAR ST. </p>
<p> Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9189 Facility name: POND SITE WELL Facility type: Well Treatment objective: disinfection </p>	<p> Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post </p>

GEOCHECK - PHYSICAL SETTING SOURCE MAP FINDINGS

Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709	Contact address1: 101 WEST LAMAR ST.	
Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9190 Facility name: CHURCH ST WELL Facility type: Well Treatment objective: disinfection	Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post	
Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709	Contact address1: 101 WEST LAMAR ST.	
Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9191 Facility name: E. RAILROAD ST WELL Facility type: Well Treatment objective: disinfection	Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post	
Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709	Contact address1: 101 WEST LAMAR ST.	
Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9192 Facility name: ELM AVE WELL Facility type: Well Treatment objective: disinfection	Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post	

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

<p>Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709</p>	<p>Contact address1: 101 WEST LAMAR ST.</p>
<p>Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 14172 Facility name: DISTRIBUTION SYSTEM Facility type: Distribution_system_zone Treatment objective: disinfection</p>	<p>Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post</p>
<p>Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709</p>	<p>Contact address1: 101 WEST LAMAR ST.</p>
<p>Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 2137 Facility name: OAK AVE WATER TREATMENT PLANT Facility type: Treatment_plant Treatment objective: disinfection</p>	<p>Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post</p>
<p>Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709</p>	<p>Contact address1: 101 WEST LAMAR ST.</p>
<p>Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 3927 Facility name: E. RAILROAD WELL PLANT Facility type: Treatment_plant Treatment objective: disinfection</p>	<p>Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post</p>

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

<p>Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709</p>	<p>Contact address1: 101 WEST LAMAR ST.</p>
<p>Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9183 Facility name: WELL #1 Facility type: Well Treatment objective: disinfection</p>	<p>Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post</p>
<p>Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709</p>	<p>Contact address1: 101 WEST LAMAR ST.</p>
<p>Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9184 Facility name: BAY ST WELL Facility type: Well Treatment objective: disinfection</p>	<p>Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post</p>
<p>Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709</p>	<p>Contact address1: 101 WEST LAMAR ST.</p>
<p>Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9186 Facility name: HARROLD AVE WELL Facility type: Well Treatment objective: disinfection</p>	<p>Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post</p>

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Contact name:	BLOUNT, BARRY	Contact address1:	101 WEST LAMAR ST.
Original name:	BLOUNT, BARRY		
Contact phone:	229-924-4419		
Contact address2:	Not Reported		
Contact city:	AMERICUS		
Contact zip:	31709		
Pwsid:	GA2610000	Epa region:	04
State:	GA	County:	Sumter
Pws name:	AMERICUS		
Population Served:	17700	Pwssvconn:	6800
PWS Source:	Groundwater		
Pws type:	CWS		
Status:	Active	Owner type:	Local_Govt
Facility id:	9187		
Facility name:	OLD INDUSTRIAL WELL	Treatment process:	gaseous chlorination, post
Facility type:	Well		
Treatment objective:	disinfection		
Contact name:	BLOUNT, BARRY	Contact address1:	101 WEST LAMAR ST.
Original name:	BLOUNT, BARRY		
Contact phone:	229-924-4419		
Contact address2:	Not Reported		
Contact city:	AMERICUS		
Contact zip:	31709		
Pwsid:	GA2610000	Epa region:	04
State:	GA	County:	Sumter
Pws name:	AMERICUS		
Population Served:	17700	Pwssvconn:	6800
PWS Source:	Groundwater		
Pws type:	CWS		
Status:	Active	Owner type:	Local_Govt
Facility id:	9188		
Facility name:	OAK AVE WELL	Treatment process:	gaseous chlorination, post
Facility type:	Well		
Treatment objective:	disinfection		
Contact name:	BLOUNT, BARRY	Contact address1:	101 WEST LAMAR ST.
Original name:	BLOUNT, BARRY		
Contact phone:	229-924-4419		
Contact address2:	Not Reported		
Contact city:	AMERICUS		
Contact zip:	31709		
Pwsid:	GA2610000	Epa region:	04
State:	GA	County:	Sumter
Pws name:	AMERICUS		
Population Served:	17700	Pwssvconn:	6800
PWS Source:	Groundwater		
Pws type:	CWS		
Status:	Active	Owner type:	Local_Govt
Facility id:	9189		
Facility name:	POND SITE WELL	Treatment process:	gaseous chlorination, post
Facility type:	Well		
Treatment objective:	disinfection		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

<p>Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709</p>	<p>Contact address1: 101 WEST LAMAR ST.</p>
<p>Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9190 Facility name: CHURCH ST WELL Facility type: Well Treatment objective: disinfection</p>	<p>Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post</p>
<p>Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709</p>	<p>Contact address1: 101 WEST LAMAR ST.</p>
<p>Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9191 Facility name: E. RAILROAD ST WELL Facility type: Well Treatment objective: disinfection</p>	<p>Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post</p>
<p>Contact name: BLOUNT, BARRY Original name: BLOUNT, BARRY Contact phone: 229-924-4419 Contact address2: Not Reported Contact city: AMERICUS Contact zip: 31709</p>	<p>Contact address1: 101 WEST LAMAR ST.</p>
<p>Pwsid: GA2610000 State: GA Pws name: AMERICUS Population Served: 17700 PWS Source: Groundwater Pws type: CWS Status: Active Facility id: 9192 Facility name: ELM AVE WELL Facility type: Well Treatment objective: disinfection</p>	<p>Epa region: 04 County: Sumter Pwssvconn: 6800 Owner type: Local_Govt Treatment process: gaseous chlorination, post</p>

GEOCHECK® PHYSICAL SETTING SOURCE MAP FINDINGS

Contact name: BLOUNT, BARRY
 Original name: BLOUNT, BARRY
 Contact phone: 229-924-4419
 Contact address2: Not Reported
 Contact city: AMERICUS
 Contact zip: 31709
 Contact address1: 101 WEST LAMAR ST.

PWS ID: GA2610000
 Date Initiated: Not Reported
 PWS Name: AMERICUS
 OMI
 1003 OAK AVENUE
 AMERICUS, GA 31709
 Date Deactivated: Not Reported

Addressee / Facility: Not Reported

Facility Latitude:	32 1 14.0000	Facility Longitude:	84 13 36.0000
Facility Latitude:	32 3 18.0000	Facility Longitude:	84 14 3.0000
Facility Latitude:	32 2 36.0000	Facility Longitude:	84 12 9.0000
Facility Latitude:	32 2 42.0000	Facility Longitude:	84 11 48.0000
Facility Latitude:	32 3 54.0000	Facility Longitude:	84 14 36.0000
Facility Latitude:	32 2 35.0000	Facility Longitude:	84 13 12.0000
Facility Latitude:	32 3 30.0000	Facility Longitude:	84 11 31.0000
City Served:	Not Reported		
Treatment Class:	Treated	Population:	16528

Violations information not reported.

ENFORCEMENT INFORMATION:

Truedate:	03/31/2009	Pwsid:	GA2610000
Pwsname:	AMERICUS	Pwstypecod:	C
Retpopsrvd:	17498	Contaminant:	LEAD & COPPER RULE
Void:	10101		
Viol. Type:	Follow-up and Routine Tap Sampling		
Complperbe:	10/1/1996 0:00:00	Enfdate:	9/13/2001 0:00:00
Complperen:	12/31/2025 0:00:00		
Enf action:	State Intentional no-action		
Violmeasur:	Not Reported		

Truedate:	03/31/2009	Pwsid:	GA2610000
Pwsname:	AMERICUS	Pwstypecod:	C
Retpopsrvd:	17498	Contaminant:	LEAD & COPPER RULE
Void:	10201		
Viol. Type:	Follow-up and Routine Tap Sampling		
Complperbe:	10/1/2000 0:00:00	Enfdate:	7/22/2003 0:00:00
Complperen:	7/28/2001 0:00:00		
Enf action:	State Intentional no-action		
Violmeasur:	Not Reported		

Truedate:	03/31/2009	Pwsid:	GA2610000
Pwsname:	AMERICUS	Pwstypecod:	C
Retpopsrvd:	17498	Contaminant:	LEAD & COPPER RULE
Void:	10201		
Viol. Type:	Follow-up and Routine Tap Sampling		
Complperbe:	10/1/2000 0:00:00	Enfdate:	7/28/2001 0:00:00
Complperen:	7/28/2001 0:00:00		
Enf action:	State Compliance Achieved		
Violmeasur:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Truedate:	03/31/2009	Pwsid:	GA2610000
Pwsname:	AMERICUS		
Retpopsrvd:	17498	Pwstypecod:	C
Void:	10301	Contaminant:	7000
Viol. Type:	CCR Complete Failure to Report		
Complperbe:	7/1/2001 0:00:00		
Complperen:	9/7/2001 0:00:00	Enfdate:	7/2/2001 0:00:00
Enf action:	State Intentional no-action		
Violmeasur:	0		
Truedate:	03/31/2009	Pwsid:	GA2610000
Pwsname:	AMERICUS		
Retpopsrvd:	17498	Pwstypecod:	C
Void:	10301	Contaminant:	7000
Viol. Type:	CCR Complete Failure to Report		
Complperbe:	7/1/2001 0:00:00		
Complperen:	9/7/2001 0:00:00	Enfdate:	9/7/2001 0:00:00
Enf action:	State Compliance Achieved		
Violmeasur:	0		
Truedate:	03/31/2009	Pwsid:	GA2610000
Pwsname:	AMERICUS		
Retpopsrvd:	17498	Pwstypecod:	C
Void:	10402	Contaminant:	7000
Viol. Type:	CCR Complete Failure to Report		
Complperbe:	7/1/2002 0:00:00		
Complperen:	7/16/2002 0:00:00	Enfdate:	7/16/2002 0:00:00
Enf action:	State Compliance Achieved		
Violmeasur:	0		
Truedate:	03/31/2009	Pwsid:	GA2610000
Pwsname:	AMERICUS		
Retpopsrvd:	17498	Pwstypecod:	C
Void:	10402	Contaminant:	7000
Viol. Type:	CCR Complete Failure to Report		
Complperbe:	7/1/2002 0:00:00		
Complperen:	7/16/2002 0:00:00	Enfdate:	7/23/2002 0:00:00
Enf action:	State Violation/Reminder Notice		
Violmeasur:	0		
Truedate:	03/31/2009	Pwsid:	GA2610000
Pwsname:	AMERICUS		
Retpopsrvd:	17498	Pwstypecod:	C
Void:	10708	Contaminant:	7000
Viol. Type:	CCR Complete Failure to Report		
Complperbe:	7/1/2008 0:00:00		
Complperen:	8/27/2008 0:00:00	Enfdate:	8/13/2008 0:00:00
Enf action:	State CCR Follow-up Notice		
Violmeasur:	Not Reported		
Truedate:	03/31/2009	Pwsid:	GA2610000
Pwsname:	AMERICUS		
Retpopsrvd:	17498	Pwstypecod:	C
Void:	10708	Contaminant:	7000
Viol. Type:	CCR Complete Failure to Report		
Complperbe:	7/1/2008 0:00:00		
Complperen:	8/27/2008 0:00:00	Enfdate:	8/27/2008 0:00:00
Enf action:	State Compliance Achieved		
Violmeasur:	Not Reported		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

ENFORCEMENT INFORMATION:

System Name:	AMERICUS		
Violation Type:	Follow-up and Routine Tap Sampling		
Contaminant:	LEAD & COPPER RULE		
Compliance Period:	1997-10-01 - 2015-12-31		
Violation ID:	0100101		
Enforcement Date:	2001-09-13	Enf. Action:	State Intentional no-action
System Name:	AMERICUS		
Violation Type:	Follow-up and Routine Tap Sampling		
Contaminant:	LEAD & COPPER RULE		
Compliance Period:	10/1/1996 0:00:00 - 12/31/2025 0:00:00		
Violation ID:	10101		
Enforcement Date:	9/13/2001 0:00:00	Enf. Action:	State Intentional no-action
System Name:	AMERICUS		
Violation Type:	Follow-up and Routine Tap Sampling		
Contaminant:	LEAD & COPPER RULE		
Compliance Period:	10/1/1996 0:00:00 - 12/31/2025 0:00:00		
Violation ID:	10101		
Enforcement Date:	9/13/2001 0:00:00	Enf. Action:	State Intentional no-action
System Name:	AMERICUS		
Violation Type:	Follow-up and Routine Tap Sampling		
Contaminant:	LEAD & COPPER RULE		
Compliance Period:	10/1/2000 0:00:00 - 7/28/2001 0:00:00		
Violation ID:	10201		
Enforcement Date:	7/22/2003 0:00:00	Enf. Action:	State Intentional no-action
System Name:	AMERICUS		
Violation Type:	Follow-up and Routine Tap Sampling		
Contaminant:	LEAD & COPPER RULE		
Compliance Period:	10/1/2000 0:00:00 - 7/28/2001 0:00:00		
Violation ID:	10201		
Enforcement Date:	7/28/2001 0:00:00	Enf. Action:	State Compliance Achieved
System Name:	AMERICUS		
Violation Type:	Follow-up and Routine Tap Sampling		
Contaminant:	LEAD & COPPER RULE		
Compliance Period:	10/1/2000 0:00:00 - 7/28/2001 0:00:00		
Violation ID:	10201		
Enforcement Date:	7/22/2003 0:00:00	Enf. Action:	State Intentional no-action
System Name:	AMERICUS		
Violation Type:	Follow-up and Routine Tap Sampling		
Contaminant:	LEAD & COPPER RULE		
Compliance Period:	10/1/2000 0:00:00 - 7/28/2001 0:00:00		
Violation ID:	10201		
Enforcement Date:	7/28/2001 0:00:00	Enf. Action:	State Compliance Achieved
System Name:	AMERICUS		
Violation Type:	CCR Complete Failure to Report		
Contaminant:	7000		
Compliance Period:	7/1/2001 0:00:00 - 9/7/2001 0:00:00		
Violation ID:	10301		
Enforcement Date:	9/7/2001 0:00:00	Enf. Action:	State Compliance Achieved
System Name:	AMERICUS		
Violation Type:	CCR Complete Failure to Report		
Contaminant:	7000		
Compliance Period:	7/1/2001 0:00:00 - 9/7/2001 0:00:00		
Violation ID:	10301		
Enforcement Date:	9/7/2001 0:00:00	Enf. Action:	State Compliance Achieved

GEOCHECK® PHYSICAL SETTING SOURCE MAP FINDINGS

ENFORCEMENT INFORMATION:

System Name:	AMERICUS		
Violation Type:	CCR Complete Failure to Report		
Contaminant:	7000		
Compliance Period:	7/1/2001 0:00:00 - 9/7/2001 0:00:00		
Violation ID:	10301		
Enforcement Date:	7/2/2001 0:00:00	Enf. Action:	State Intentional no-action
System Name:	AMERICUS		
Violation Type:	CCR Complete Failure to Report		
Contaminant:	7000		
Compliance Period:	7/1/2001 0:00:00 - 9/7/2001 0:00:00		
Violation ID:	10301		
Enforcement Date:	7/2/2001 0:00:00	Enf. Action:	State Intentional no-action
System Name:	AMERICUS		
Violation Type:	CCR Complete Failure to Report		
Contaminant:	7000		
Compliance Period:	7/1/2002 0:00:00 - 7/16/2002 0:00:00		
Violation ID:	10402		
Enforcement Date:	7/23/2002 0:00:00	Enf. Action:	State Violation/Reminder Notice
System Name:	AMERICUS		
Violation Type:	CCR Complete Failure to Report		
Contaminant:	7000		
Compliance Period:	7/1/2002 0:00:00 - 7/16/2002 0:00:00		
Violation ID:	10402		
Enforcement Date:	7/23/2002 0:00:00	Enf. Action:	State Violation/Reminder Notice
System Name:	AMERICUS		
Violation Type:	CCR Complete Failure to Report		
Contaminant:	7000		
Compliance Period:	7/1/2002 0:00:00 - 7/16/2002 0:00:00		
Violation ID:	10402		
Enforcement Date:	7/16/2002 0:00:00	Enf. Action:	State Compliance Achieved
System Name:	AMERICUS		
Violation Type:	CCR Complete Failure to Report		
Contaminant:	7000		
Compliance Period:	7/1/2002 0:00:00 - 7/16/2002 0:00:00		
Violation ID:	10402		
Enforcement Date:	7/16/2002 0:00:00	Enf. Action:	State Compliance Achieved
System Name:	AMERICUS		
Violation Type:	Monitoring, Routine Major (TCR)		
Contaminant:	COLIFORM (TCR)		
Compliance Period:	1994-06-01 - 1994-06-30		
Violation ID:	9400100		
Enforcement Date:	1994-08-03	Enf. Action:	State Public Notif Requested

CONTACT INFORMATION:

Name:	AMERICUS	Population:	17498
Contact:	GRACE, JESSE	Phone:	Not Reported
Address:	101 WEST LAMAR ST.		
Address 2:	AMERICUS		
	GA, 31 229-9		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

B11
ENE
1/2 - 1 Mile
Lower

FED USGS USGS2311946

Agency cd:	USGS	Site no:	320445084140201
Site name:	12Q005	EDR Site id:	USGS2311946
Latitude:	320441	Dec lat:	32.07821933
Longitude:	0841406	Coord meth:	M
Dec lon:	-84.23490992	Latlong datum:	NAD27
Coord accur:	F	District:	13
Dec latlong datum:	NAD83	County:	261
State:	13	Land net:	Not Reported
Country:	US	Map scale:	24000
Location map:	AMERICUS		
Altitude:	350.00		
Altitude method:	Interpolated from topographic map		
Altitude accuracy:	5		
Altitude datum:	National Geodetic Vertical Datum of 1929		
Hydrologic:	KinchafoneeMuckalee, Georgia. Area = 1090 sq.mi.		
Topographic:	Alluvial or marine terrace		
Site type:	Ground-water other than Spring	Date construction:	19460411
Date inventoried:	Not Reported	Mean greenwich time offset:	EST
Local standard time flag:	N		
Type of ground water site:	Single well, other than collector or Ranney type		
Aquifer Type:	Confined multiple aquifers		
Aquifer:	CUSSETA SAND		
Well depth:	693	Hole depth:	954
Source of depth data:	Not Reported		
Project number:	0451306800		
Real time data flag:	0	Daily flow data begin date:	0000-00-00
Daily flow data end date:	0000-00-00	Daily flow data count:	0
Peak flow data begin date:	0000-00-00	Peak flow data end date:	0000-00-00
Peak flow data count:	0	Water quality data begin date:	1946-10-23
Water quality data end date:	1946-10-23	Water quality data count:	2
Ground water data begin date:	1946-05-17	Ground water data end date:	1978-11-16
Ground water data count:	4		

Ground-water levels, Number of Measurements: 4

Date	Feet below Surface	Feet to Sealevel	Date	Feet below Surface	Feet to Sealevel
1978-11-16	46.70		1976-11-04	37.65	
1975-01-31	37.40		1946-05-17	12.00	

B12
ENE
1/2 - 1 Mile
Lower

FED USGS USGS2311935

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Agency cd:	USGS	Site no:	320423084142201
Site name:	12Q010	EDR Site id:	USGS2311935
Latitude:	320441	Dec lat:	32.07821933
Longitude:	0841406	Coor meth:	M
Dec lon:	-84.23490992	Latlong datum:	NAD27
Coor accr:	U	District:	13
Dec latlong datum:	NAD83	County:	261
State:	13	Land net:	Not Reported
Country:	US	Map scale:	24000
Location map:	AMERICUS		
Altitude:	350.00		
Altitude method:	Unknown		
Altitude accuracy:	Not Reported		
Altitude datum:	National Geodetic Vertical Datum of 1929		
Hydrologic:	KinchafooneeMuckalee, Georgia. Area = 1090 sq.mi.		
Topographic:	Not Reported		
Site type:	Ground-water other than Spring	Date construction:	Not Reported
Date inventoried:	Not Reported	Mean greenwich time offset:	EST
Local standard time flag:	N		
Type of ground water site:	Single well, other than collector or Ranney type		
Aquifer Type:	Confined multiple aquifers		
Aquifer:	UPPER CRETACEOUS		
Well depth:	703	Hole depth:	Not Reported
Source of depth data:	Not Reported		
Project number:	Not Reported		
Real time data flag:	0	Daily flow data begin date:	0000-00-00
Daily flow data end date:	0000-00-00	Daily flow data count:	0
Peak flow data begin date:	0000-00-00	Peak flow data end date:	0000-00-00
Peak flow data count:	0	Water quality data begin date:	0000-00-00
Water quality data end date:	0000-00-00	Water quality data count:	0
Ground water data begin date:	1984-10-23	Ground water data end date:	1990-10-30
Ground water data count:	4		

Ground-water levels, Number of Measurements: 4

Date	Feet below Surface	Feet to Sealevel	Date	Feet below Surface	Feet to Sealevel
1990-10-30	96.16		1989-11-06	88.55	
1988-10-19	95.60		1984-10-23	62.00	

B13
ENE
 1/2 - 1 Mile
 Lower

GA WELLS 0000010651

Well #:	12Q005	County FIPS:	261
Remarks:	AMERICUS 2	Longitude:	0841406
Latitude:	320441	Depth:	693
Altitude:	350.00	Diameter of Casing:	10.00
Depth to bottom of Casing:	200.00	Discharge:	Not Reported
Casing Material:	Not Reported	Date Built:	Not Reported
Type of Openings:	Screen, type not known		
Depth to top of this open interval:	330.00		
Depth to bottom of this open interval:	335.00		
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - CUSSETA SAND		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

B14
ENE
1/2 - 1 Mile
Lower

GA WELLS 0000010652

Well #:	12Q005	County FIPS:	261
Remarks:	AMERICUS 2		
Latitude:	320441	Longitude:	0841406
Altitude:	350.00	Depth:	693
Depth to bottom of Casing:	330.00	Diameter of Casing:	10.00
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:			345.00
Depth to bottom of this open interval:			350.00
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - CUSSETA SAND		

B15
ENE
1/2 - 1 Mile
Lower

GA WELLS 0000010650

Well #:	12Q005	County FIPS:	261
Remarks:	AMERICUS 2		
Latitude:	320441	Longitude:	0841406
Altitude:	350.00	Depth:	693
Depth to bottom of Casing:	180.00	Diameter of Casing:	10.00
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:			200.00
Depth to bottom of this open interval:			210.00
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - CUSSETA SAND		

B16
ENE
1/2 - 1 Mile
Lower

GA WELLS 0000010638

Well #:	12Q010	County FIPS:	261
Remarks:	AMERICUS, GA 2A		
Latitude:	320441	Longitude:	0841406
Altitude:	350.00	Depth:	703
Depth to bottom of Casing:	Not Reported	Diameter of Casing:	Not Reported
Casing Material:	Not Reported	Discharge:	900.0
Type of Openings:	Not Reported	Date Built:	Not Reported
Depth to top of this open interval:			Not Reported
Depth to bottom of this open interval:			Not Reported
Primary Use:	Not Reported		
Aquifer:	UPPER CRETACEOUS - UPPER CRETACEOUS SERIES		

B17
ENE
1/2 - 1 Mile
Lower

GA WELLS 0000010649

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Well #:	12Q005	County FIPS:	261
Remarks:	AMERICUS 2		
Latitude:	320441	Longitude:	0841406
Altitude:	350.00	Depth:	693
Depth to bottom of Casing:	160.00	Diameter of Casing:	20.00
Casing Material:	Not Reported	Discharge:	800.00
Type of Openings:	Screen, type not known	Date Built:	19460527
Depth to top of this open interval:			180.00
Depth to bottom of this open interval:			185.00
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - CUSSETA SAND		

B18
ENE
 1/2 - 1 Mile
 Lower GA WELLS 0000010653

Well #:	12Q005	County FIPS:	261
Remarks:	AMERICUS 2		
Latitude:	320441	Longitude:	0841406
Altitude:	350.00	Depth:	693
Depth to bottom of Casing:	345.00	Diameter of Casing:	10.00
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:			450.00
Depth to bottom of this open interval:			455.00
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - CUSSETA SAND		

B19
ENE
 1/2 - 1 Mile
 Lower GA WELLS 0000010657

Well #:	12Q005	County FIPS:	261
Remarks:	AMERICUS 2		
Latitude:	320441	Longitude:	0841406
Altitude:	350.00	Depth:	693
Depth to bottom of Casing:	617.00	Diameter of Casing:	10.00
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:			650.00
Depth to bottom of this open interval:			655.00
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - CUSSETA SAND		

B20
ENE
 1/2 - 1 Mile
 Lower GA WELLS 0000010658

Well #:	12Q005	County FIPS:	261
Remarks:	AMERICUS 2		
Latitude:	320441	Longitude:	0841406
Altitude:	350.00	Depth:	693
Depth to bottom of Casing:	650.00	Diameter of Casing:	10.00
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:			688.00
Depth to bottom of this open interval:			693.00
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - CUSSETA SAND		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

B21
ENE
1/2 - 1 Mile
Lower

GA WELLS 0000010659

Well #:	12Q005	County FIPS:	261
Remarks:	AMERICUS 2		
Latitude:	320441	Longitude:	0841406
Altitude:	350.00	Depth:	693
Depth to bottom of Casing:	688.00	Diameter of Casing:	10.00
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Not Reported	Date Built:	Not Reported
Depth to top of this open interval:		Not Reported	
Depth to bottom of this open interval:		Not Reported	
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - CUSSETA SAND		

B22
ENE
1/2 - 1 Mile
Lower

GA WELLS 0000010654

Well #:	12Q005	County FIPS:	261
Remarks:	AMERICUS 2		
Latitude:	320441	Longitude:	0841406
Altitude:	350.00	Depth:	693
Depth to bottom of Casing:	450.00	Diameter of Casing:	10.00
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:		460.00	
Depth to bottom of this open interval:		465.00	
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - CUSSETA SAND		

B23
ENE
1/2 - 1 Mile
Lower

GA WELLS 0000010655

Well #:	12Q005	County FIPS:	261
Remarks:	AMERICUS 2		
Latitude:	320441	Longitude:	0841406
Altitude:	350.00	Depth:	693
Depth to bottom of Casing:	460.00	Diameter of Casing:	10.00
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:		565.00	
Depth to bottom of this open interval:		575.00	
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - CUSSETA SAND		

B24
ENE
1/2 - 1 Mile
Lower

GA WELLS 0000010656

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Well #:	12Q005	County FIPS:	261
Remarks:	AMERICUS 2		
Latitude:	320441	Longitude:	0841406
Altitude:	350.00	Depth:	693
Depth to bottom of Casing:	565.00	Diameter of Casing:	10.00
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Screen, type not known	Date Built:	Not Reported
Depth to top of this open interval:			617.00
Depth to bottom of this open interval:			622.00
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - CUSSETA SAND		

C25
ENE
 1/2 - 1 Mile
 Lower GA WELLS 797

Source ID:	129M0102	Name:	CITY OF AMERICUS
Population Served:	16,200		
Latitude:	32.0797	Longitude:	84.2328
Source:	Ground	Status:	Confined
GWSI ID:	12Q011	GA Geological Survey:	Confined
County:	SUMTER	County FIPS:	261
Grnd Water (Mil Gal/Day):	2.78	Surface Water (Mil Gal/Day):	0.00

C26
ENE
 1/2 - 1 Mile
 Lower GA WELLS 0000010637

Well #:	12Q009	County FIPS:	261
Remarks:	AMERICUS GA 1A		
Latitude:	320447	Longitude:	0841358
Altitude:	348.00	Depth:	715
Depth to bottom of Casing:	Not Reported	Diameter of Casing:	Not Reported
Casing Material:	Not Reported	Discharge:	Not Reported
Type of Openings:	Not Reported	Date Built:	Not Reported
Depth to top of this open interval:			Not Reported
Depth to bottom of this open interval:			Not Reported
Primary Use:	Public supply		
Aquifer:	UPPER CRETACEOUS - UPPER CRETACEOUS SERIES		

C27
ENE
 1/2 - 1 Mile
 Lower GA WELLS 0000010661

Well #:	12Q011	County FIPS:	261
Remarks:	AMERICUS GA 1 1928		
Latitude:	320447	Longitude:	0841358
Altitude:	350.00	Depth:	259
Depth to bottom of Casing:	128.00	Diameter of Casing:	Not Reported
Casing Material:	Not Reported	Discharge:	600.00
Type of Openings:	Open hole	Date Built:	19280517
Depth to top of this open interval:			128.00
Depth to bottom of this open interval:			259.00
Primary Use:	Public supply		
Aquifer:	PALEOCENE - CLAYTON FORMATION		

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID
Direction
Distance
Elevation

Database EDR ID Number

C28
ENE
1/2 - 1 Mile
Lower

FED USGS USGS2311934

Agency cd:	USGS	Site no:	320422084142301
Site name:	12Q009		
Latitude:	320447	EDR Site id:	USGS2311934
Longitude:	0841358	Dec lat:	32.07988599
Dec lon:	-84.23268764	Coor meth:	M
Coor accr:	F	Latlong datum:	NAD27
Dec latlong datum:	NAD83	District:	13
State:	13	County:	261
Country:	US	Land net:	Not Reported
Location map:	AMERICUS	Map scale:	24000
Altitude:	348.00		
Altitude method:	Interpolated from topographic map		
Altitude accuracy:	3		
Altitude datum:	National Geodetic Vertical Datum of 1929		
Hydrologic:	KinchafoneeMuckalee, Georgia. Area = 1090 sq.mi.		
Topographic:	Not Reported		
Site type:	Ground-water other than Spring	Date construction:	19680101
Date inventoried:	Not Reported	Mean greenwich time offset:	EST
Local standard time flag:	N		
Type of ground water site:	Single well, other than collector or Ranney type		
Aquifer Type:	Confined single aquifer		
Aquifer:	UPPER CRETACEOUS		
Well depth:	715	Hole depth:	715
Source of depth data:	Not Reported		
Project number:	0451300200		
Real time data flag:	0		
Daily flow data end date:	0000-00-00	Daily flow data begin date:	0000-00-00
Peak flow data begin date:	0000-00-00	Daily flow data count:	0
Peak flow data count:	0	Peak flow data end date:	0000-00-00
Water quality data end date:	0000-00-00	Water quality data begin date:	0000-00-00
Ground water data begin date:	1975-01-31	Water quality data count:	0
Ground water data count:	7	Ground water data end date:	1990-10-24

Ground-water levels, Number of Measurements: 7

Date	Feet below Surface	Feet to Sealevel	Date	Feet below Surface	Feet to Sealevel
1990-10-24	74.73		1989-11-06	85.10	
1988-10-19	75.50		1987-10-27	79.45	
1986-10-30	89.00		1984-10-23	63.70	
1975-01-31	43.10				

C29
ENE
1/2 - 1 Mile
Lower

FED USGS USGS2311948

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Agency cd:	USGS	Site no:	320447084135801
Site name:	12Q011	EDR Site id:	USGS2311948
Latitude:	320447	Dec lat:	32.07988599
Longitude:	0841358	Coord meth:	M
Dec lon:	-84.23268764	Latlong datum:	NAD27
Coord accr:	F	District:	13
Dec latlong datum:	NAD83	County:	261
State:	13	Land net:	Not Reported
Country:	US	Map scale:	24000
Location map:	AMERICUS		
Altitude:	350.00		
Altitude method:	Unknown		
Altitude accuracy:	Not Reported		
Altitude datum:	National Geodetic Vertical Datum of 1929		
Hydrologic:	KinchafooneeMuckalee. Georgia. Area = 1090 sq.mi.		
Topographic:	Not Reported		
Site type:	Ground-water other than Spring	Date construction:	19280517
Date inventoried:	Not Reported	Mean greenwich time offset:	EST
Local standard time flag:	N		
Type of ground water site:	Single well, other than collector or Ranney type		
Aquifer Type:	Confined single aquifer		
Aquifer:	CLAYTON FORMATION		
Well depth:	259	Hole depth:	303
Source of depth data:	Not Reported		
Project number:	0451300200		
Real time data flag:	0		
Daily flow data end date:	0000-00-00	Daily flow data begin date:	0000-00-00
Daily flow data count:	0		
Peak flow data begin date:	0000-00-00	Peak flow data end date:	0000-00-00
Peak flow data count:	0		
Water quality data begin date:	1958-04-01	Water quality data begin date:	1946-05-09
Water quality data end date:	1928-01-01	Water quality data count:	3
Ground water data begin date:	1928-01-01	Ground water data end date:	1928-01-01
Ground water data count:	1		

Ground-water levels, Number of Measurements: 1

Date	Feet below Surface	Feet to Sealevel

1928-01-01	40.00	

GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS RADON

AREA RADON INFORMATION

Federal EPA Radon Zone for SUMTER County: 3

Note: Zone 1 indoor average level > 4 pCi/L.
 : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.
 : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for SUMTER COUNTY, GA

Number of sites tested: 9

Area	Average Activity	% <4 pCi/L	% 4-20 pCi/L	% >20 pCi/L
Living Area - 1st Floor	1.634 pCi/L	100%	0%	0%
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	2.350 pCi/L	100%	0%	0%

PHYSICAL SETTING SOURCE RECORDS SEARCHED

TOPOGRAPHIC INFORMATION

USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

Scanned Digital USGS 7.5' Topographic Map (DRG)

Source: United States Geologic Survey

A digital raster graphic (DRG) is a scanned image of a U.S. Geological Survey topographic map. The map images are made by scanning published paper maps on high-resolution scanners. The raster image is georeferenced and fit to the Universal Transverse Mercator (UTM) projection.

HYDROLOGIC INFORMATION

Flood Zone Data: This data, available in select counties across the country, was obtained by EDR in 2003 & 2011 from the Federal Emergency Management Agency (FEMA). Data depicts 100-year and 500-year flood zones as defined by FEMA.

NWI: National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002 and 2005 from the U.S. Fish and Wildlife Service.

HYDROGEOLOGIC INFORMATION

AQUIFLOW^R Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

GEOLOGIC INFORMATION

Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Services (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Services, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.

PHYSICAL SETTING SOURCE RECORDS SEARCHED

LOCAL / REGIONAL WATER AGENCY RECORDS

FEDERAL WATER WELLS

PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

STATE RECORDS

Georgia Public Supply Wells

Source: Georgia Department of Community Affairs

Telephone: 404-894-0127

USGS Georgia Water Wells

Source: USGS, Georgia District Office

Telephone: 770-903-9100

DNR Managed Lands

Source: Department of Natural Resources

Telephone: 706-557-3032

This dataset provides 1:24,000-scale data depicting boundaries of land parcels making up the public lands managed by the Georgia Department of Natural Resources (GDNR). It includes polygon representations of State Parks, State Historic Parks, State Conservation Parks, State Historic Sites, Wildlife Management Areas, Public Fishing Areas, Fish Hatcheries, Natural Areas and other specially-designated areas. The data were collected and located by the Georgia Department of Natural Resources. Boundaries were digitized from survey plats or other information.

OTHER STATE DATABASE INFORMATION

RADON

Area Radon Information

Source: USGS

Telephone: 703-356-4020

The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

EPA Radon Zones

Source: EPA

Telephone: 703-356-4020

Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

OTHER

Airport Landing Facilities: Private and public use landing facilities

Source: Federal Aviation Administration, 800-457-6656

Epicenters: World earthquake epicenters, Richter 5 or greater

Source: Department of Commerce, National Oceanic and Atmospheric Administration

PHYSICAL SETTING SOURCE RECORDS SEARCHED

STREET AND ADDRESS INFORMATION

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APPENDIX H:
Record of Communications and
Interviews

GEC

Suggested Format for User Interview Questionnaire

Date: June 5, 2012

Property Name: Creekview Commons

Name, Address, and Telephone Number of User:

Jason Maddox

111 North Main

Clarkton, MO 63837

Name of Interviewer: Alice Jones

1. Does the user have in his/her possession or control any title records for the Property?

No

Yes

If Yes, please provide information below and attach copies of title records to the User Interview Questionnaire.

2. Is the user aware of any environmental liens?

No

Yes

If Yes, please provide information below and attach any copies of evidence of environmental liens to the User Interview Questionnaire.

3. Is the user aware of any deed restrictions, engineering or institutional controls, or other activity and use limitations for the Property?

No

Yes

If Yes, please provide information below and attach any copies of evidence of activity and use limitations to the User Interview Questionnaire.

4. Does the user possess any actual or specialized knowledge or experience that is material to any potential recognized environmental conditions in connection with the Property?

No

Yes

If Yes, please provide information below.

5. Is the user aware of any commonly known or reasonably ascertainable information within the local community that is material to any potential recognized environmental conditions in connection with the Property?

No

Yes

If Yes, please provide information below.

6. What is the user's reason for having the Phase I site assessment performed (Select all that apply)?

a. Purchase

b. Lease

c. Loan

d. Pre-sale assessment

e. Tax credits

f. Other (please explain) _____

7. Only answer Question 7, if the Property is being purchased. The purchase price of the Property is:

a. Less than the fair market value

b. More than the fair market value

c. The same as the fair market value

d. Relationship to the fair market value is unknown

8. Only answer Question 8, if the purchase price is *less than* the fair market value. Is the user aware of any reason, environmental or otherwise, which would explain the differential in the purchase price and the fair market value?

No

Yes

If Yes, please provide information below.

GEC

GEOTECHNICAL & ENVIRONMENTAL
CONSULTANTS, INC.

May 23, 2012

SUBJECT: Information Questionnaire – Fire & HAZMAT Responses
Creekview Commons (Update)
Magnolia Street and Martin Luther King Blvd
Americus, Sumter County, Georgia
GEC Job #110277.240

Attention: **Mr. Allen Erkhart, Fire Chief**
City of Americus Fire Department

Geotechnical & Environmental Consultants, Inc. (GEC) is currently conducting a Department of Community Affairs (DCA) Phase I Environmental Site Assessment (ESA) on the above referenced site located west of Magnolia Street, northeast of Martin Luther King Blvd, and south of Brookdale Dr in Americus, Georgia. For the purposes of our assessment, please mark and/or briefly answer the following questions and return to GEC via fax at 478-757-1608 or email at tgordon@geoconsultants.com.

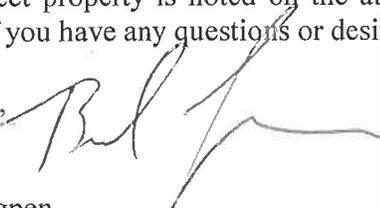
Is there any record of environmentally related fires, hazardous materials responses, or additional known environmental concerns at the subject property or in the immediate site vicinity?
() Yes; () No; *If Yes, please elaborate.*

Are you aware of any storage tanks (above or underground) currently or formerly located on the subject property or adjacent to it? () Yes; () No *If Yes, please elaborate.*

Are you aware of any site history, including its past usage and/or any past tenants (i.e. businesses) and their current/former usage of the property?

The subject property is noted on the attached location map. Thanks for your assistance in this matter. If you have any questions or desire any further information, please contact our office.

Sincerely,



Brad Thigpen
Environmental Specialist

Form Completed by: _____

Print: _____

Date: _____

Send Result Report



MFP

TASKalfa 420i

Firmware Version 2KS_2F00.005.004 2010.04.13

05/24/2012 15:55
[2KS_1000.005.001] [2KS_1100.001.002] [2KS_7000.005.001]

Job No.: 070937

Total Time: 0°00'34"

Page: 003

Complete

Document: doc07093720120524155112

GEOTECHNICAL & ENVIRONMENTAL CONSULTANTS

FAX NO. (478) 757-1608

FACSIMILE TRANSMITTAL SHEET

TO: Mr. Allen Erkhart, Fire Chief	FROM: Brad Thigpen
COMPANY: City of Americus Fire Department	DATE: May 23, 2012
FAX NUMBER: 229-924-1705	TOTAL NO. OF PAGES INCLUDING COVER 3
PHONE NUMBER: 229-924-3213	SENDER'S REFERENCE NUMBER: 110277.240
RE: Information Request for	YOUR REFERENCE NUMBER:

No.	Date and Time	Destination	Times	Type	Result	Resolution/ECM
001	05/24/12 15:54	12299241705	0°00'34"	FAX	OK	200x100 Normal/On

GEC

GEOTECHNICAL & ENVIRONMENTAL CONSULTANTS, INC.

May 23, 2012

SUBJECT: Information Questionnaire - Environmental Health Responses
Creekview Commons
Magnolia Street and Martin Luther King Blvd
Americus, Sumter County, Georgia
GEC Job #110277.210

Attention: Ms. Kathy Mitcham, Lead Environmentalist
Sumter County Environmental Health Department

Geotechnical & Environmental Consultants, Inc. (GEC) is currently updating a Phase I Environmental Site Assessment (ESA) on the above referenced site located west of Magnolia Street, northeast of Martin Luther King Blvd, and south of Brookdale Dr in Americus, Georgia. For the purposes of our assessment, please mark and/or briefly answer the following questions and return to GEC via fax at 478-757-1608 or email at teardon@geoconsultants.com.

1. Is there any record of environmental/health responses or other known environmental concerns at the subject property or in the immediate site vicinity?
 Yes; No If Yes, please elaborate.

2. Utilities serving the subject property. Mark all that apply.

city water well water unknown/do not know
 city sewer septic system
 previous water well on site? previous septic system on site?

Think it would be city water + sewer?

3. Please elaborate if you aware of any site history such as past tenants and/or past property usage?

The subject property is noted on the attached location map. Thanks for your assistance in this matter. If you have any questions or desire any further information, please contact our office.

Sincerely,



Brad Thigpen
Environmental Specialist

Form Completed by:

Jane Arnold

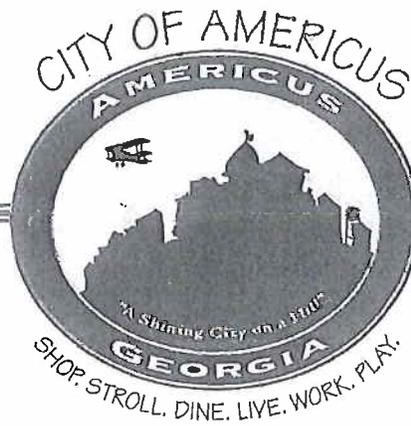
Print:

Jane Arnold

Date:

5/29/12

514 Hillcrest Industrial Boulevard Macon, GA 31204 Tel: (478) 757-1606 Fax: (478) 757-1608
5031 Milgen Court Columbus, GA 31907 Tel: (706) 569-0008 Fax: (706) 569-0940
P.O. Box 767637 Roswell, GA Tel: (770) 804-9055 Fax: (478) 757-1608



101 West Lamar Street
Americus, GA 31709
229.924.4411
www.cityofamericus.net

Community & Economic Development Department

Community & Economic Development Director
Mandy R. Young

March 8, 2012

Office of Affordable Housing
Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Re: Confirmation of Creekview Commons Zoning City of Americus, GA

To Georgia Department of Community Affairs:

The property located at 1111 S. MLK Jr. Blvd on which the Creekview Commons Housing for Older Person duplex style development is proposed, is zoned R-2 residential. The proposed 50 unit duplex development is an allowable use under this zoning classification and the development, as it is proposed, is in compliance with all R-2 zoning requirements.

Sincerely,

	CITY OF AMERICUS COMMUNITY & ECONOMIC DEVELOPMENT DEPARTMENT
101 West Lamar Street Americus, GA 31709 229.924.4411x232 (Office) 229.928.0430 (Fax) mandy.young@cityofamericus.net	
	Mandy R. Young COMMUNITY & ECONOMIC DEVELOPMENT DIRECTOR

City of Americus

"A Shining City on a Hill"



May 14, 2012

Office of Affordable Housing
GA Department of Community Affairs
60 Executive Park South, NE
Atlanta, GA 303029-2231

RE: Creekview Commons- (Location: NW of Intersection of Hwy 19 and Magnolia St.) Sewer Availability and Capacity Letter

To Whom It May Concern:

This letter is to confirm that sewer service is available to the proposed Creekview Commons development at the proposed site. There is sufficient capacity in the system to service the proposed development that is to include up to 50 units and a community building.

The development will not need an easement to connect the sewer service to the proposed property. Currently the City has a sewer line that crosses the property without a recorded maintenance easement in place. If the property is sold to the developer, the City will require a maintenance easement be granted to the City, so that the City can access the existing sewer line.

If I can be of further assistance, please contact me at 229-924-7111.

Sincerely,

Bernard Kendrick
Public Works Director
City of Americus, GA

Mayor
Eary Blount

Councilmembers

Walton Grant
District 6

Lou Chase
District 3

Lorenzo Johnson
District 5

Carla Cook
District 4

Juanita Wilson
District 1

Nelson Brown
District 2

101 West Lamar Street
Americus GA 31709

www.cityofamericus.net

City of Americus

"A Shining City on a Hill"



May 14, 2012

Office of Affordable Housing
GA Department of Community Affairs
60 Executive Park South, NE
Atlanta, GA 303029-2231

RE: Creekview Commons- (Location: NW of Intersection of Hwy 19 and Magnolia St.) Water Availability and Capacity Letter

To Whom It May Concern:

This letter is to confirm that water service is available to the proposed Creekview Commons development at the proposed site. There is adequate capacity in the system to service the proposed development that is to include up to 50 units and a community building. There will be no easements needed to connect the water service to the proposed property.

If I can be of further assistance, please contact me at 229-924-7111.

Sincerely,

Bernard Kendrick
Public Works Director
City of Americus, GA

Mayor
Barry Blount

Councilmembers

Walton Grant
District 6

Lou Chase
District 3

Lorenzo Johnson
District 5

Juanita F. Wilson
District 1

Carla G. Cook
District 4

Nelson Brown
District 2

101 West Lamar Street
Americus, GA 31709

www.cityofamericus.net



A SOUTHERN COMPANY

May 14, 2012

Office of Affordable Housing
Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

RE: Creekview Commons
1111 South MLK Jr. Blvd
Americus, Georgia

Electric service availability for 50 units and a clubhouse located northwest of the intersection of Highway 19 and Magnolia Street

To Georgia Department of Community Affairs:

This letter is to inform you that Georgia Power Company has adequate electrical service availability for the proposed construction at 1111 South MLK Jr. Blvd in Americus, Georgia.

We will work closely with the project management to ensure that temporary and permanent electrical service is there when you need it. Details of the type of service, voltage characteristics, and location of facilities will be in accordance with Georgia Power Company's standard policies and procedures. Please forward any specific load and service requests to me when that information becomes available.

Sincerely,


Judy L. Dunham
West Region Key Account Representative

**APPENDIX I:
Author Credentials,
Documentation of Qualification as
an Environmental Professional**

GEC

F. Charles "Chip" Brooks, P.E.

Project Engineer

Education

- Bachelor of Science, Environmental Engineering, Mercer University, 2005

Experience

Mr. Brooks has six years experience in the environmental and geotechnical engineering consulting field. His experience includes managing projects in the environmental engineering field for preparation of remediation and implementation plans for leaking underground storage tank (LUST) sites, preparing Part A and Part B Corrective Action Plans (CAP), UST closure reports, and phase I and II environmental site assessments (ESAs). Field experience includes conducting Type II and Type III monitoring well installation, soil and groundwater sampling, slug testing, and other field activities. Performing groundwater modeling in order to determine contaminant plume migration patterns and alternate remedial goals for groundwater. Also, planning and coordinate underground injection of bioremediation and high-vacuum multi-phase extraction (MPE) events for removal of petroleum contamination from the soil and groundwater.

Mr. Brooks' geotechnical engineering experience includes the performance of subsurface evaluations (boring layout, drilling, soil classification, laboratory testing, report preparation and submittal). Construction services experience includes the evaluation of foundation excavations for soil bearing pressure, proofrolling of subgrade conditions, steel and rebar placement monitoring and inspection, and monitoring of concrete and masonry placement activities.

Professional Registrations

- Georgia 035020

Professional Memberships

- Georgia Society of Professional Engineers
- Society of American Military Engineers

GEC

Mary A. Brooks

Wetlands Services Director/Senior Environmental Specialist

Education

- A.A. Degree, Santa Fe Community College, Gainesville, Florida, 1988
- Bachelor of Science, Resource Conservation, University of Florida, 1990

Continuing Education

- U.S. Department of Housing and Urban Development – Environmental Review Procedures for Responsible Entities, February 2-4, 2010
- Georgia Environmental Conference, August 26-28, 2009
- NPDES Permit Requirements: Plain & Simple How to Comply with Permits & Minimize Financial Liabilities, October 11, 2007
- Middle Georgia Safety & Environmental Conference, July 28, 2006
- Atlas Systems, March 30, 2005
- Southeast and Georgia Wetlands & Water Law (Several Years)
- Georgia's NPDES General Permit for Construction – Home Builders Association of Georgia, August 24, 2000
- Wetlands and 404 Permitting, Several Years since 1998
- Stormwater Permitting – Middle Georgia Chapter of the Georgia Society of Professional Engineers, October 27, 1998
- Permeability/Hydraulic Conductivity & Triaxial Testing, January, 1997
- Permeability/Hydraulic Conductivity and Triaxial Testing – Boat Longyear, December 12-13, 1996
- The Real Mold Issue: What's Your Facility Risk? Audio Conference, October 2004

Professional Memberships

- Society of Wetland Scientists
- American Water Resources Association, Inc.
- Bleckley Leadership Training
- Leadership Macon
- Macon Chamber of Commerce Safety and Environmental Committee – Past Chairperson
- Bleckley County Chamber of Commerce Board
- Environmental Information Association Georgia Chapter

Certifications

- EPA Lead Renovation, Repair & Painting, October 23, 2009
- NHI-142005 NEPA & Transportation Decision Making, May, 2009
- Lead Inspector #1394, GEPD 60 INSO 0709 5930
- Asbestos Inspector #11589
- NITON XRF Analyzer, February 8, 2007
- Miners Safety Training (MNSHA) 30 CFR Part 46, November 2001
- DOT Worksite Erosion Control Supervisor
- 8-Hour Hazardous Materials/ Waste Site Operations, Updates (Yearly)
- 40-Hour Hazardous Materials/ Waste Site, March, 1992
- First Aid Training
- CPR Training

GEC

Experience

Mary A. Brooks, is a Senior Environmental Specialist and Professional Wetland Scientist for the Macon office. Mary graduated from the University of Florida with a bachelor's degree in Resource Conservation in 1990. Mary has twenty-one years of experience in the consulting field. She has played the primary management and development role in providing all consulting services that pertain to natural and water resources, including surface water identification, all Clean Water Act/404 assessments, including wetlands services. Serving as the Wetland Services Director, she is responsible for all operations associated with delivery of wetland services including their identification, delineation, and management, as well as overseeing the quality assurance, wetlands personnel development, and playing a major role in market development for GEC. Mary has worked with local issuing authorities in an attempt to establish wetland banks to promulgate existing industries in those areas. As a part of the Department of Community Affairs Tax Credit Application process she has worked with several clients to determine if they have wetlands on their property, and if so, to what extent. As a result, she has written approximately 65 Housing and Urban Development Applications, which include the results of those wetland delineations if warranted, and the completion of the Housing and Urban Development Authority's 8-step wetland process. Mary's responsibilities also include keeping current on the state and federal regulations pertaining to wetlands and consulting as needed with clients and potential clients on these regulations. Mary has also work on Watershed Assessment and Watershed Protection Plans as well as conduct the annual biological sampling including macroinvertebrate and fisheries sampling as required. In addition to being the Wetlands Services Director, she is a Senior Environmental Professional, ASTM E.P., a Lead-Based Paint Inspector, and an Asbestos Inspector.

Tameka Gordon

Environmental Specialist

Education

- Associate of Science in Business Administration, Macon State College 2007
- Pursing a Bachelor's of Science in Business & Information Technology, major track in Management, Macon State College, Macon, Georgia

Continuing Education

- Environmental Data Resources, Inc. Due Diligence at Dawn Workshop, Atlanta, 2005, 2010
- 40-Hour Hazardous Waste Site Training, Certification 2008
- 8-Hour Hazardous Waste Site Training, Updates (Yearly)
- Phase I Environmental Site Assessments, Certification 2009
- HUD – Environmental Review Procedures for Responsible Entities Training, 2010
- Environmental Due Diligence-Principals and Practice, Certificate 2010
- Vapor Encroachment Screening on Property Involved in Real Estate Transactions, 2010

Experience

Tameka has thirteen years experience and related education in general business, research, and writing techniques. For the past seven years she has worked directly in the environmental field, providing project management and environmental consulting services. Her environmental field experience has included Phase I environmental site assessments, Georgia Department of Community Affairs (DCA) and Housing and Urban Development guided environmental assessments, and field sampling. She has performed a number of Georgia Board of Education school site assessments and hazard assessments utilizing the ALOHA (Areal Locations of Hazardous Atmospheres) computer program designed especially for the use by people responding to chemical releases, as well as for emergency planning and training. Tameka has performed numerous Board of Regent's GEPA (Georgia Environmental Policy Act) / NEPA (National Environmental Policy Act) site assessments for University and College projects in surrounding counties. Tameka is a member of the Women in Affordable Housing Network, Macon's Young Professional Network, and ASTM International. She serves on the board for Leadership Macon with the Macon-Bibb County Chamber of Commerce.

Professional Memberships

- Leadership Macon
- Macon Chamber of Commerce Young Professional Network
- Women in Affordable Housing Network
- ASTM International

GEC

**APPENDIX J:
Owner Environmental
Questionnaire**

GEC

OWNER ENVIRONMENTAL QUESTIONNAIRE & DISCLOSURE STATEMENT

The questionnaire **MUST** be completed and signed by the current property owner, notarized in the spaces indicated and submitted with the application. The Owner must supply and attach evidence of ownership of the property, i.e. a deed. In preparing this document, the property owner must make a good faith effort to correctly answer all questions in this checklist. *Care should be taken to check the answers against whatever records are in the owner's possession.* If any of the following questions are answered in the affirmative, or if answers are unknown and/or qualified, the Environmental Professional must determine whether further inquiry is warranted. A gap in the Owner's knowledge about any item on the questionnaire below does not relieve the Environmental Professional from the requirement that the item be fully addressed in the Phase I Report. The property owner must fully document the reason for any affirmative answer, and provide the Environmental Professional with all appropriate supporting information.

Purchaser: Creekview Commons of Americus, L.P.
(Phone) 573-448-3564
Owner/seller: Paul Johnson
(Phone) 229-924-5647
Subject property: 17.65 ac +- of Parcel 27-1-3 Sumter County

QUESTIONNAIRE - PART A:

1. Is the property, or any adjacent property, currently used for commercial, industrial or manufacturing purposes including, but not limited to dry cleaners and gas stations? Adjacent properties include those that border the site and properties across the street from the site.

Yes No Unknown

Provide the name and describe the type of business operating at the property:

Provide the name and type of business operating adjacently **north** of the subject property:

Provide the name and type of business operating adjacently **south** of the subject property:

Provide the name and type of business operating adjacently **east** of the subject property:

Provide the name and type of business operating adjacently **west** of the subject property:

2. Has the property or any adjacent property been used in the past for commercial, industrial or manufacturing purposes including, but not limited to, dry cleaners and gasoline stations?

Yes No Unknown (If yes, please describe including its specific use)

Owner:

Date(s):

Current Use of property:

Previous use of property to the **north**:

Previous use of the property to the **south**:

Previous use of the property to the **east**:

Previous use of the property to the **west**:

3. Are there any pesticides, automotive or industrial batteries, paints or other chemicals stored on the property or at the facility?

Yes No Unknown (If yes, please describe)

4. Are there currently any plastic or metal industrial drums (ranging from 5 to 55-gallons) located on the property or at the facility or were there in the past?

Yes No Unknown (If yes, please describe)

5. How and where were items identified in Questions #3 & #4 disposed (if any of the specifics are unknown, provide names and present employers of people who may be able to provide additional information)?

6. Has fill dirt ever been brought onto the site?

Yes No Unknown (If yes, please describe)

7. Have any substances identified as hazardous, unidentified waste materials, tires, automotive or industrial batteries or any other waste materials, including construction debris, been dumped above grade, buried and/or burned on the site?

Yes No Unknown (If yes, please describe including where and what disposal took place)

8. Is there any obvious stained soil, or other evidence of past waste disposal on the property?

Yes No Unknown (If yes, please describe including location on the property)

9. (a) Are there any above or underground storage tanks currently located on the property?

Yes No Unknown (If yes, please describe including location on the property. If no, skip to question #10)

(b) Are the existing storage tanks empty, out of service, or closed?

Yes No Unknown (If yes, please describe including the date and name of the contractor used, and provide a copy of any report generated)

(c) Have any tanks been removed? (If 'yes' provide information on when, give the name of the contractor used, and provide a copy of any report generated).

Yes No Unknown (If yes, please describe including date removed and name of contractor used, and provide a copy of any report generated)

10. Are there any prospective buyer(s) in the past that may have conducted an environmental assessment of the subject property.

Yes No Unknown (If yes, please provide names, addresses, and telephone numbers. Also, provide the name, address and telephone number of **your** Lender on this property. *Attach any past environmental reports you have, or provide information on how to obtain a copy of the report(s) if you do not have them.*

11. Does the property discharge waste water (other than storm water) directly to a ditch or stream on or adjacent to the property?

Yes No Unknown (If yes, please describe)

12. Is the property located near or in an area where conventional fuels (e.g. petroleum products), hazardous gases, (e.g. propane), and/or chemicals (e.g. benzene or hexane) of a flammable nature are stored?

Yes No Unknown (If yes, please describe)

13. Has there been any health complaints related to the indoor or outdoor air at? on the grounds of the property or any building located on the property?

Yes No Unknown (If yes, please describe)

14. Does the owner of the property or operator of the facility? have any knowledge of environmental liens or governmental notification (including information requests) relating to violations or potential violations of environmental laws with respect to the property or any facility located on the property?

Yes No Unknown (If yes, please describe)

15. Has the owner of the property or operator of the facility been informed of the presence of hazardous substances or environmental violations with respect to the property or any facility located on the property?

Yes No Unknown (If yes, please describe)

16. Are you aware of any environmental assessment of the property that indicated the presence of hazardous substances or petroleum products on, in, at, or under the property site?

Yes No Unknown (If yes, please describe)

17. Are you aware of any environmental assessment of the subject property that has recommended further assessment or testing of the property?

Yes No Unknown (If yes, please describe)

18. Are there any past, current, or pending lawsuits or administrative proceedings for alleged damages related to environmental issues or problems involving the property or any owner or tenant of the property?

Yes No Unknown (If yes, please describe)

19. Have pesticides, herbicides, or other agricultural chemicals ever been stored on, mixed on, or applied to the property?

Yes No Unknown (If yes, please describe)

QUESTIONNAIRE - PART B:

1. Are there any structures on the property site more than fifty (50) years old, or (is the property) located in a designated historic district?

Yes No Unknown (If yes, please describe & submit photographs of all interior rooms and exterior facades, and include a copy of the proposed rehabilitation work scope and a location map.)

2. Is the property site located in a 100-year floodplain?

Copy the portion of floodplain map indicating the site location. Attach a copy of the Flood Plain Map and include panel number on the copy.

Yes No Unknown (If yes, please describe below.)

- | 3. | Does the site have the potential to affect or be affected by? | Yes | No |
|----|---|--------------------------|-------------------------------------|
| a. | Coastal Areas Protection and Management | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. | Runway Clear Zones & Accident Potential Zones | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. | Endangered Species | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. | Farmland Protection | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. | Compatibility with Local Codes, Plans and Zoning | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. | Wetlands-Designated Land | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. | Thermal & Explosive Hazards | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. | Toxic Chemicals & Radioactive Materials | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. | Solid Waste Management | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| j. | Local Zoning Plans Compatibility | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

(If yes to any, please describe.)

4. Is the site within 1,000 feet of a major road/highway/freeway (i.e. a roadway which experiences an average daily traffic count of 10,000 or greater)?

Yes No Unknown

If yes, the following must be completed:

- What is the name of the major road/highway/freeway? _____
- List the distance of any stop sign (not a traffic signal) that is less than 600 feet from the site _____
- What is the average speed of travel on this major road/highway/freeway?

- List the average number of automobiles for both directions during a 24-hour day _____
- List the average number of trucks for both directions during a 24-hour day

Generally, much of this information can be obtained through the City/County Highway or Transportation Department

5. Is the site within 3,000 feet of a railroad?

Yes No Unknown

If yes, the following must be completed:

- What is the name of the railway operating on this line? _____
- List the average number of trains for both directions during a 24-hour day

- List the average number of diesel locomotives per train _____
- List the average number of railway cars per train _____
- List the average train speed _____
- Is the track welded or bolted? _____
- Is the site near a grade crossing that requires prolonged use of the train's horn? Yes No (If no, skip to question # 6)
- How far from the grade crossing are the whistle posts located? _____

Generally, much of this information can be obtained by contacting the Supervisor of Customer Relations and/or the Engineering Department for the railway

6. Is the site within 15 miles of a military airport?

Yes No Unknown (If yes, please attach a copy of the airport's current noise contour information.) *This information is available for most military airports and can be generally obtained by contacting the Military Agency in Charge of Airport Operations. If noise contours are not available, please obtain the following:*

- List the average number of nighttime jet operations (10 p.m.-7 a.m.)

- List the average number of daytime jet operations (7 a.m. – 10 p.m.)

- List the flight paths of the major runways

7. Is the site within 5 miles of a private/commercial airport or airfield?

Yes No Unknown (If yes, please attach a copy of the airport's current noise contour information. This information is available for most private/commercial airports and can be obtained by contacting the FAA Control Tower or Airport Operations. If noise contours are not available, please obtain the following information)

- List the average number of nighttime jet operations (10 p.m. - 7 a.m.)

- List the average number of daytime jet operations (7 a.m. – 10 p.m.)

- List the flight paths of the major runways

QUESTIONNAIRE - PART C:

Valuation Reduction: Relationship of the purchase price to the fair market value of the property, if it were not contaminated:

1. Have you identified the type of property transaction (for example-- sale, purchase, ground lease, etc.) to the Environmental Professional?

Yes No (If yes, please describe) Yes, the environmental professional is aware that this property is under contract to be sold to a LIHTC development group.

2. Does the purchase price being paid for this property reasonably reflect the fair market value of the property? Yes

Yes No (If no, have you considered whether the lower purchase prices is because contamination is known or believed to be present at the property?)

CERTIFICATION

This questionnaire above was completed by:

Owner/Developer Name: Paul H Johnson
Relationship to Site: Owner
Address: 285 Howard Johnson Rd
Americus Ga 31719
E-mail Address: phj@sowega.net
Phone Number: 229 924 5647
Date of Completion: June 6 2012

I certify to the best of my knowledge and belief that the above statements and facts submitted are true, accurate and complete.

Signed, sealed and delivered this 6th day
Of June, 2012,
in the Presence of:

By:

Janie W. Smith
Witness

Paul H. Johnson Jr.
Property Owner

Debbie Ansley
Notary Public

Paul H. Johnson Jr.
Name

My commission Expires on
4/20/15

Owner
Title



**APPENDIX K:
Property Log and Information
Checklist**

GEC

PROPERTY LOG AND INFORMATION CHECKLIST

This form **MUST** be completed by the Qualified Environmental Professional who performed the Phase I and/or Phase II Reports. All entries must be fully documented and explained in the environmental reports. This form, together with all supporting documentation relating to the Phase I, must be submitted to DCA before any application can be accepted for processing.

PROPERTY LOG

Property Address: **Proposed Creekview Commons
Magnolia Street and Martin Luther King Jr. Boulevard
Americus, Sumter County, Georgia 31719**

Developer's Name and Address: **Creekview Commons, L.P.
c/o MACO Construction
111 North Main Street
Clarkton, Missouri 63837
Attn: Mr. Jason Maddox**

Developer's e-mail Address: jason@macocompanies.com

Developer's Telephone Number: **(573) 448-3551**

Qualified Environmental Professional's Name: **Mary A. Brooks**

Qualified Environmental Professional's Telephone Number and e-mail address:
(478) 757-1606 & mbrooks@geconsultants.com

Environmental Consulting Firm's Name and Address:
**Geotechnical & Environmental Consultants, Inc.
514 Hillcrest Industrial Boulevard
Macon, Georgia 31204-3472**

Date Phase I Environmental Site Assessment Completed: **May 23, 2012**

Summary of Phase I Results:

Based on the findings presented in this report, GEC found no obvious environmental concerns or risks associated with the subject property; therefore, we recommend no further study of the site at this time. **See full report for details.**

INFORMATION CHECKLIST

Check [] any information sources used to perform the Phase I Review.

1. Overall Property Description

- Building Specifications
- Zoning or Land Use Maps
- Aerial Photos (e.g., Sanborn)
- List of Commercial Tenants On-Site
- Title History
- Site Survey
- Verification of Public Water and Sewer
- Interviews with Local Fire, Health, Land Use or Environmental Officials
- Interviews with Builder, and/or Property Manager
- Review of records of local, state and federal regulatory agencies
- Review of adjacent properties
- Other (Specify): Schematic Site Plan

2. Asbestos

- Dated Building Construction or Rehabilitation Specifications
- Engineer's/Consultant's Asbestos Report
- Other (Specify): N/A – only a wooden barn exists on the property

3. Polychlorinated Biphenyls

- Utility Transformer Records
- Site Survey of Transformers: (site reconnaissance)
- Site Soil and Groundwater PCB Test Results
- Other (Specify)

4. Radon
- Water Utility Records
 - Gas Utility Records
 - On-Site Radon Test Results
 - Other (Specify) Other (**EPA Publication 402-R-93-030: EPA's Radon Zones Map for Georgia, September, 1993 & EDR environmental database report**)
5. Underground Storage Tanks
- Oil, Motor Fuel and Waste Oil Systems Reports, EPD, LUST & ERNS Records
 - CERCLIS/RCRIS Results of Neighborhood search (within radius of one mile)
 - Site Soil and Groundwater Tests
 - Site Tank Survey
 - Other (Specify)
6. Waste Sites
- CERCLIS/RCRIS Results of Neighborhood search (within radius of one mile)
 - State EPD site lists for neighborhoods (within radius of one mile)
 - Federal Facilities Docket
 - Site Soil and Groundwater Test Results
 - Other (Specify)
7. Lead Based Paint
- Lead Paint Survey
 - Certification/Compliance Records
 - Site Soil Test Results
 - Other (Specify): N/A – only a wooden barn exists on the property

8. Additional Hazards

- Urea Formaldehyde Foam Insulation Survey
- Interior Air Test Results
- Lead in Drinking Water Test Results (reviewed annual water quality report)
- Mold Inspection Results
- Other (Specify)

Checklist completed by: _____



Name (Type or Print): Mary A. Brooks

Date: May 23, 2012

**APPENDIX L:
Proof of Insurance**

GEC



CERTIFICATE OF LIABILITY INSURANCE

OP ID: MD

DATE (MM/DD/YYYY)

03/28/12

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

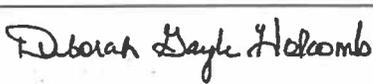
PRODUCER Paragon Insurance Service Inc. 2945 Horizon Park Drive Ste C Suwanee, GA 30024	770-831-5669	CONTACT NAME: Gayle Holcomb
	770-831-3363	PHONE (A/C, No, Ext): 770-831-5669 FAX (A/C, No): 770-831-3363
E-MAIL ADDRESS: GHolcomb@Paragon-Ins.com		
PRODUCER CUSTOMER ID #: GEOTE-1		
INSURED Geotechnical & Environmental Consultants, Inc. 514 Hillcrest Industrial Blvd Macon, GA 31204		INSURER(S) AFFORDING COVERAGE INSURER A : Endurance American Spec A XV NAIC # 41718
		INSURER B :
		INSURER C :
		INSURER D :
		INSURER E :
		INSURER F :

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER: 1

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	GENERAL LIABILITY						EACH OCCURRENCE \$
	<input type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence) \$
	<input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR						MED EXP (Any one person) \$
							PERSONAL & ADV INJURY \$
							GENERAL AGGREGATE \$
							PRODUCTS - COMP/OP AGG \$
							\$
	GEN'L AGGREGATE LIMIT APPLIES PER:						
	<input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						
	AUTOMOBILE LIABILITY						COMBINED SINGLE LIMIT (Ea accident) \$
	<input type="checkbox"/> ANY AUTO						BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS						BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS						PROPERTY DAMAGE (Per accident) \$
	<input type="checkbox"/> HIRED AUTOS						\$
	<input type="checkbox"/> NON-OWNED AUTOS						\$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR						EACH OCCURRENCE \$
	EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE						AGGREGATE \$
	DEDUCTIBLE						\$
	RETENTION \$						\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						WC STATU-TORY LIMITS OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)						E.L. EACH ACCIDENT \$
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE \$
							E.L. DISEASE - POLICY LIMIT \$
A	Cont Pollution			ECC101004342-03	12/01/11	12/01/12	Claim/Agg 2,000,000
A	Professional Liab			ECC101004342-03	12/01/11	12/01/12	Claim/Agg 2,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)
Pollution & Professional Claims Made Retro Date 12/1/99, \$50,000 Deds apply.
 Pollution & Professional are subject to the \$2,000,000 policy aggregate, these are not separate limits.
 *This certificate is revised and replaces any other certificates previously issued. **SEE ATTACHED HOLDER NOTES PAGE**
 GEC Project No. 110277.240 -- Creekview Commons

CERTIFICATE HOLDER	CANCELLATION
GEORG90 The Georgia Housing and Finance Authority 60 Executive Park South, NE Atlanta, GA 30329-2231	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 

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NOTEPAD:

HOLDER CODE **GEORG90**
INSURED'S NAME **Geotechnical & Environmental**

GEOTE-1
OP ID: MD

PAGE 2
DATE 03/28/12

Notwithstanding the appropriate provision of this policy, in the event cancellation of this policy is instigated by the Company for any reason except non payment of premium, the Company will provide 30 days advance notice of such cancellation to any person organization(s) whom the Named Insured agrees, in a written contract, to advance notice of cancellation endorsement #17 form # FEI-511-ECC-0708 attached to the policy, and per all terms and conditions of the policy.

APPENDIX M:
Letters of Reference

ARTHUR P. BARRY, III
Associate Broker / Partner



COLDWELL BANKER COMMERCIAL
EBERHARDT & BARRY
990 RIVERSIDE DRIVE
MACON, GA 31201
BUS. (478) 746-8171
TOLL FREE (800) 926-0990
FAX (478) 746-1362
abarry@coldwellbankercommercialeb.com

March 29, 2012

To Whom It May Concern
c/o Thomas E. Driver, P.E., President,
Geotechnical & Environmental Consultants, Inc.
514 Hillcrest Industrial Blvd.
Macon, Georgia 31204

Gentlemen:

I write this letter of recommendation for Tom Driver and his company, Geotechnical & Environmental Consultants, Inc. because I have worked with Tom and others at GEC for a number of years in connection with environmental issues for various clients. The work by GEC that I have observed has included environmental assessments of land, soil and groundwater sampling and analysis for various purposes, geotechnical work, contaminated properties assessment and remediation, and other environmental work. Both my clients and I have found Tom Driver and the other employees at GEC to be professionals in their field. Their reports and advice through the years have been insightful and accurate. The level of quality service is high in every regard to GEC. For this reason, Tom Driver and GEC are the only environmental consultant I recommend to my clients.

If you have any further questions concerning my experience with Tom and GEC, please contact me.

Sincerely,

A handwritten signature in cursive script that reads 'Arthur P. Barry III'.

Arthur P. Barry III, SIOR
Associate Broker/Partner

APB/mc

STATE BANK & Trust Company

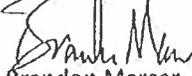
April 2, 2012

To Whom It May Concern:

Please allow this letter to serve as a reference for Geotechnical and Environmental Consultants, Inc. (GEC), with whom we enjoy an excellent relationship. We have the highest level of confidence in the work prepared by GEC. They are the only provider of geotechnical and environmental services that we recommend here in the Middle Georgia area.

The company always handles its affairs in a professional and timely manner. We are happy to have partnered with GEC on prior and current jobs and look forward to doing so again in the future. If I can be of any assistance answering any questions, please contact me at 478-796-6479.

Sincerely,



Brandon Mercer
Senior Vice President



March 27, 2012

To Whom It May Concern
c/o Thomas E. Driver, P.E., President
Geotechnical & Environmental Consultants, Inc.
514 Hillcrest Industrial Blvd.
Macon, GA 31204

Gentleman:

This letter is written as a letter of recommendation for Tom Driver and Geotechnical & Environmental Consultants, Inc. NewTown Macon has worked for more than 10 years and on numerous property transactions. The work by GEC that I have observed included environmental assessment, soil, ground and water sampling, contaminated property assessments and remediation plans.

I have found that the work of GEC is very professional, complete and timely. I recommend GEC for any environmental engagement. Please let me know if you have further questions.

Sincerely,

C. Michael Ford
President and CEO

**APPENDIX N:
Environmental Certification**

GEC

ENVIRONMENTAL CERTIFICATION

The undersigned being first duly sworn on oath do certify to the Georgia Department of Community Affairs (DCA)/Georgia Housing and Finance Authority (GHFA) that the statements contained in this certification are true and correct. The undersigned also acknowledge that deviations from the requirements contained in the certification and checklist could result in scoring deductions (Page, Section and/or Appendix numbers must be included for each item).

Project Name: Proposed Creekview Commons

Project Location: Magnolia Street, Americus, Sumter County, Georgia

Page/Sec./App.

1. The Phase I Report for the above referenced project has been prepared according to the applicable DCA required format. 1-35/A-U
2. The Phase I Report and/or update was performed under the supervision of an "Environmental Professional" as defined in 40 C.F.R. § 312.10(b) (hereinafter referred to as an Environmental Professional). *Résumés describing the qualifications of all personnel involved with the Phase I environmental site assessment must be included.* 5-6/2.4/I
3. The Environmental Professional is not affiliated with the Owner/developer or a buyer or seller of the project. 1-3/1.0
4. The Phase I Report and/or update was prepared less than 180 days prior to Application submission and within 30 days of the site reconnaissance. In addition, the date of the Report appears on the cover page of the Report. 19/5.0/B
5. The Georgia Housing and Finance Authority and DCA have the right to rely upon the Phase I and/or Phase II Report prepared for the property in the same way as the Owner, client and any other authorized users of the Report(s). 6/2.6
6. The Phase I Report was prepared in accordance with the applicable ASTM and DCA standards. 1-3&4-5/1.0&2.2
7. The Environmental Professional employed by the consulting firm has supervised the performance of the Phase I, reviewed, signed and stamped both the Phase I and Phase II Reports (if applicable) and any amendments, addenda and updates thereto. N
8. The Environmental Professional has included a comprehensive historical review of the subject property back to 1940 or the property's first developed use, whichever is earlier. 22/5.5/D
9. The Phase I includes the professional opinion of the Environmental Professional as to any potential environmental risks and as to any recognized environmental conditions identified during the comprehensive historical review. 30-31/6.0&7.0
10. The Environmental Professional has:
 - * Commercial General Liability insurance, total combined single limits of \$1,000,000.00 per occurrence and \$2,000,000.00 in the aggregate; *and* L
 - * Professional Errors and Omissions Insurance with limits of \$2,000,000.00 each claim and \$2,000,000.00 in the aggregate with coverage extended to include third party liability for death, bodily injury, diminution of value of property and property damage. L
 - * Pollution Liability Insurance with limits of \$2,000,000.00 each claim and \$2,000,000.00 in the aggregate. L

Project Name: Proposed Creekview Commons

Project Location: Magnolia Street, Americus, Sumter County, Georgia

Page/Sec./App.

11. The Georgia Housing and Finance Authority and DCA have been named as 1) additional insureds and 2) certificate holders on the Accord 25 form (the required insurance certificate) for the commercial liability insurance policy. L

12. A 30 day cancellation period is included on the insurance certificate. L

13. The Owner Environmental Questionnaire & Disclosure Statement has been completed by the current Owner of the property and included in the Phase I Report. J

14. The completed Phase I Documentation: DCA Property Log and Information Checklist has been completed by the Environmental Professional and included in the Phase I Report. K

15. If required, the HOME and HUD Environmental Questionnaire is completed and included in the Phase I Report (includes projects applying for HOME funds and projects with other HUD funding sources listed, including PBRA). R

16. If, in accordance with Section II.B.5.b. of the DCA standards, a noise assessment is required, then the Report includes a noise assessment which was completed in accordance with the HUD Noise Assessment Guidelines ("NAG") and 24 C.F.R § 51.100 *et seq.* (applies to all projects, whether or not HUD funds are included in the financial structure). 23/5.4.22/F

17. In cases of elevated noise levels, the Report includes a noise attenuation plan completed in accordance with the HUD Noise Assessment Guidelines ("NAG") and 24 C.F.R § 51.100 *et seq.* (applies to all projects, whether or not HUD funds are included in the financial structure). F

18. The Environmental Consultant Signature Page has been signed by the Environmental Professional, the Principal of the Consultant, and the Professional Engineer or Professional Geologist and has been stamped by the Professional Engineer or Professional Geologist. The Environmental Consultant Signature Page is included in the Phase I Report and/or Phase II Report. Second page of report

Applicant Signature _____ Date _____

[Handwritten Signature]

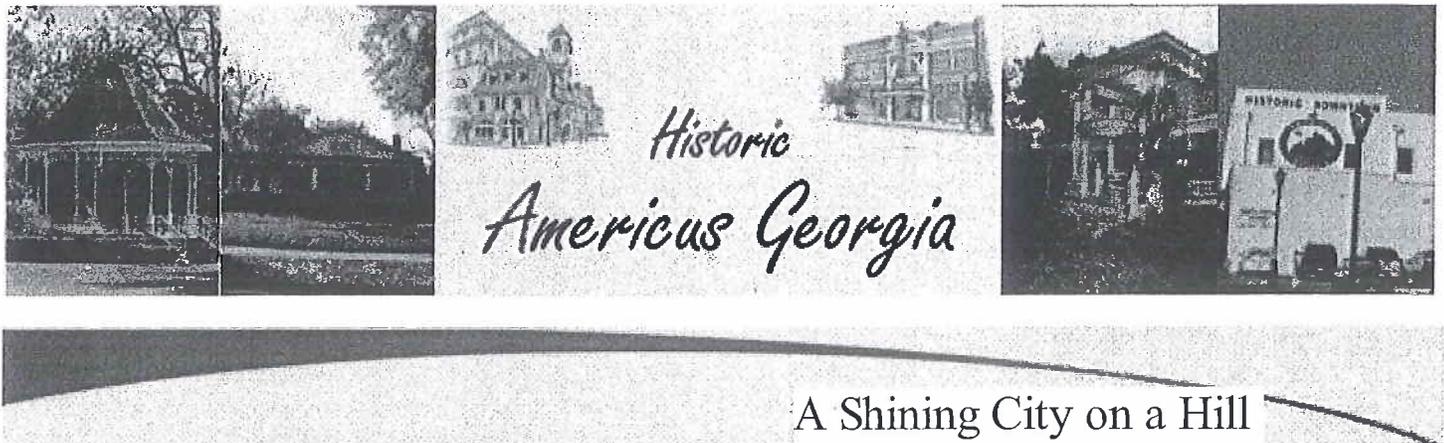
6/08/12

Environmental Professional Signature & Stamp _____ Date _____



**APPENDIX O:
Consumer Confidence Report on
Water Quality**

GEC



Dear City of Americus Water Customers:

We are pleased to present to you by this letter our 2010 Water Quality Report. We are required by law to send this assurance report annually so our customers are informed about the quality of the water you are consuming.

Your water meets all state and federal requirements for safety

We are pleased to report that we conducted more than 9,678 tests for over 90 drinking water contaminants and detected only 5 contaminants. These contaminants did not affect the water quality. Your drinking water meets or exceeds all federal and state requirements. This brochure is a snapshot of the quality of the water we provided last year. Included are details about where your water comes from, what it contains, and how it compares to Environmental Protection Agency (EPA) standards. We are committed to providing you with the information because we want you to be informed. For more information about your water call 229- 924 - 4419 and ask for Rick Leisner.

Special population advisory



Some people may be more vulnerable to contaminants in drinking water than the general population. Immuno-compromised persons such as persons with cancer undergoing chemotherapy, persons who have undergone organ transplants, people with HIV/AIDS or other immune system disorders, some elderly, and infants can be particularly at risk from infections. These people should seek advice about drinking water from their health care providers. EPA/Center For Disease Control guidelines on how to lessen the risk of infection by *Cryptosporidium* and other microbial contaminants are available from the Safe Drinking Water Hotline 800-426-4791.

Public participation opportunities

Your City Council meets monthly at the Public Safety Building. Contact Paula Martin, City Clerk at 229-924-4411, to obtain the dates for these meetings. Please feel free to participate in these meetings and find out about your drinking water.

Drinking water sources

Your water comes from ground water wells located throughout the City of Americus. Wellhead protection program information for the Americus wells can be obtained from CH2M HILL, PO Box 526 Americus, Ga. 31719. An assessment was done to determine Potential Pollution Sources (PPS) within the City's system. Sources include: electrical transformers, utility poles, vehicle parking areas, sewer lines, roads, railroad tracks, abandoned wells, diesel generators, dumpsters, abandoned vehicles, industrial facilities, and water treatment facilities.

Contaminants in water

Drinking water, including bottled water, is reasonably expected to contain at least small amounts of some contaminants. The presence of contaminants does not necessarily indicate that water poses a health risk.

The sources of drinking water (both tap water and bottled water) include rivers, lakes, streams, ponds, reservoirs, springs, and wells. As water travels over the surface of the land or through the ground, it dissolves naturally occurring minerals, and can pick up substances resulting from the presence of animals or from human activity. Contaminants that may be present in source water before we treat it include:

- *Microbial contaminants*, such as viruses and bacteria, which may come from sewage treatment plants, septic systems, agricultural livestock operations, and wildlife.
- *Inorganic contaminants*, such as salts and metals, which can be naturally-occurring or result from urban stormwater runoff, industrial or domestic wastewater discharges, oil and gas production, mining or farming.
- *Pesticides & herbicides*, which may come from a variety of sources such as agriculture and residential use.
- *Radioactive contaminants*, which are naturally occurring.
- *Organic chemical contaminants*, including synthetic and volatile organic chemicals, which are by-products of industrial processes and petroleum production, and also can come from gas stations, urban stormwater runoff, and septic systems.

If present, elevated levels of lead can cause serious health problems, especially for pregnant women and young children. Lead in drinking water is primarily from materials and components associated with service lines and home plumbing. Your water system is responsible for providing high quality drinking water, but cannot control the variety of materials used in plumbing components. When your water has been sitting for several hours, you can minimize the potential for lead exposure by flushing your tap for 30 seconds to 2 minutes before using water for drinking or cooking. If you are concerned about lead in your water, you may wish to have your water tested. Information on lead in drinking water, testing methods, and steps you can take to minimize exposure is available from the Safe Drinking Water Hotline or at <http://www.epa.gov/safewater/lead>,

Water quality monitoring

To ensure that tap water is safe to drink, EPA prescribes regulations that limit the amount of certain contaminants in water provided by public water systems. We treat our water according to EPA's regulations. Food and Drug Administration regulations establish limits for contaminants in bottled water, which must provide the same protection for public health.

Water quality data

The table in this report lists all the drinking water contaminants we detected during the 2010 calendar year. The presence of these contaminants in the water does not necessarily indicate that the water poses a health risk. Unless otherwise noted, the data presented in this table are from testing conducted January 1 through December 31, 2010. The state requires us to monitor for certain contaminants less than once per year because the concentrations of these contaminants are not expected to vary significantly from year to year. Some of the data, though representative of the water quality, may be more than one year old.

More information about contaminants and potential health effects can be obtained by calling the EPA's Safe Drinking Water Hotline 800-426-4791.

Water Report

Substance	MCL	MCLG	Our Water	Detection	Date	(Y or N)	Contamination
Inorganic Contaminants							
Copper (ppm)	1.3 (AL)	1.3	0.72 (90 th Percentile)	No sites above AL	08-10-10 thru 09-01-10	N	Corrosion of household plumbing systems; Erosion of natural deposits; Leaching from wood preservatives
Fluoride (ppm)	4	4	0.74	0.06-1.57	Daily	N	Erosion of natural deposits; water additive which promotes strong teeth; Discharge from fertilizer and aluminum factories
Lead (ppb)	15 (AL)	0	5.4 (90 th Percentile)	No sites above AL	08-10-10 thru 09-01-10	N	Corrosion of household plumbing systems; Erosion of natural deposits
Volatile Organic Contaminants							
Haloacetic Acids (HAA) (ppb)	60	N/A	5.1	4.11-5.70	1/10-12/10	N	By-product of drinking water chlorination
TTHMs [Total trihalomethanes] (ppb)	80	N/A	8.5	1.10-10.7	1/10-12/10	N	By-product of drinking water chlorination
Chlorine (ppm)	4 (MRDL)	4 (MRDLG)	1.01	0.45-1.77	Daily	N	Water additive used to control microbes

Terms & Abbreviations

- **AL:** Action Level - the concentration of a contaminant which, when exceeded, triggers treatment or other requirements that a water system must follow.
- **MCLG:** Maximum Contaminant Level Goal - the level of a contaminant in drinking water below which there is no known or expected risk to health. MCLGs allow for a margin of safety.
- **MCL:** Maximum Contaminant Level - the highest level of a contaminant that is allowed in drinking water. MCLs are set as close to the MCLGs as feasible using the best available treatment technology.
- **N/A:** Not applicable
- **nd:** Not detectable at testing limit
- *****: Range not available. Monitored for only once per year.
- **ppm:** Parts per million or milligrams per liter -- (corresponds to one minute in two years)
- **ppb:** Parts per billion or micrograms per liter -- (corresponds to one minute in 2,000 years)
- **MRDL:** Maximum Residual Disinfectant Level - "The highest level of disinfectant allowed in drinking water. There is convincing evidence that addition of a disinfectant is necessary for control of microbiological contaminants."
- **MRDLG:** Maximum Residual Disinfectant Level Goal - "The level of a drinking water disinfectant below which there is no known or expected risk to health. MRDLG's do not reflect the benefits of the use of disinfectants to control microbial contaminants."

City Hall • 101 West Lamar Street • Americus, Georgia 31709 • 229-924-4411 •

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Americus, GA Find Another City: <input type="text" value="Enter city or U.S.zip"/> <input type="button" value="GO"/>	Currently Hour-by-hour 10-day	Tonight's Outlook 88°F Mostly Cloudy	Tomorrow's Outlook 94/67°F Mostly Sunny
	@weather.com: Pollen Levels Pet Care Guide Get the Weather Channel Toolbar		

APPENDIX P:
Endangered Species Documentation

GEC



WILDLIFE RESOURCES DIVISION

Known occurrences of special concern plants, animals and natural communities Sumter County — Fips Code: 13261

Find details for these species at [Georgia Rare Species and Natural Community Data](#) and [NatureServe Explorer](#).

[US] indicates species with federal status (Protected or Candidate).

Species that are federally protected in Georgia are also state protected.

[GA] indicates Georgia protected species.

link to species profile on our site (not available for all species).

link to report for element on NatureServe Explorer (only available for animals and plants).

Animal Occurrences

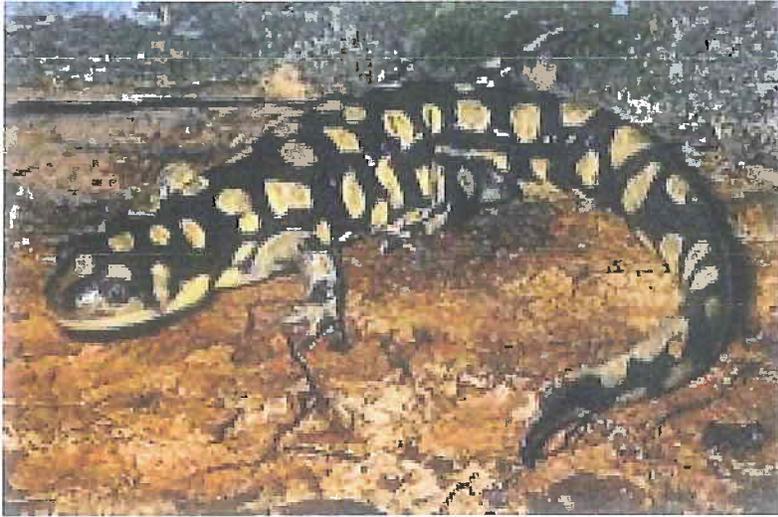
- *Acipenser oxyrinchus desotoi* (Gulf Sturgeon) - fish
- *Alasmidonta triangulata* (Southern Elktoe) [GA] - mollusk
- *Ambystoma tigrinum tigrinum* (Eastern Tiger Salamander) - amphibian
- *Ameiurus serracanthus* (Spotted Bullhead) [GA] - fish
- *Anodontooides radiatus* (Rayed Creekshell) [GA] - mollusk
- *Clemmys guttata* (Spotted Turtle) [GA] - reptile
- *Elliptio arctata* (Delicate Spike) [GA] - mollusk
- *Elliptio purplella* (Inflated Spike) [GA] - mollusk
- *Elliptoideus sloatianus* (Purple Bankclimber) [US] - mollusk
- *Eumeces anthracinus pluvialis* (Southern Coal Skink) - reptile
- *Gopherus polyphemus* (Gopher Tortoise) [US] - reptile
- *Graptemys barbouri* (Barbour's Map Turtle) [GA] - reptile
- *Haliaeetus leucocephalus* (Bald Eagle) [GA] - bird
- *Hamiota subangulata* (Shinyrayed Pocketbook) [US] - mollusk
- *Macrochelys temminckii* (Alligator Snapping Turtle) [GA] - reptile
- *Medionidus penicillatus* (Gulf Moccasinshell) [US] - mollusk
- *Necturus beyeri complex* (Gulf Coast Waterdog) - amphibian
- *Pleurobema pyriforme* (Oval Pigtoe) [US] - mollusk
- *Procambarus gibbus* (Muckalee Crayfish) [GA] - crustacean
- *Quadrula infucata* (Sculptured Pigtoe) - mollusk
- *Utterbackia peggyae* (Florida Floater) - mollusk
- *Villosa villosa* (Downy Rainbow) - mollusk

Plant Occurrences

- *Asclepias rubra* (Red Milkweed)
- *Carex decomposita* (Cypress-knee Sedge)
- *Carex flissa* var. *aristata* (Sedge)
- *Fimbristylis perpusilla* (Harper's Fimbry) [GA]
- *Hexastylis shuttleworthii* var. *harperi* (Harper Wild Ginger)
- *Hypericum adpressum* (Bog St. Johnswort)
- *Liatris pauciflora* (Few-flower Gay-feather)
- *Linum sulcatum* var. *harperi* (Harper Grooved Flax)
- *Oxypolis canbyi* (Canby Dropwort) [US]
- *Rhexia aristosa* (Awned Meadowbeauty)
- *Rhynchospora pleiantha* (Coastal Beaksedge)
- *Sarracenia leucophylla* (Whitetop Pitcherplant) [GA]

- *Sarracenia psittacina* (Parrot Pitcherplant) [GA]  
- *Sarracenia rubra* (Sweet Pitcherplant) [GA]  
- *Sideroxylon thornei* (Swamp Buckthorn) [GA]  
- *Stylisma pickeringii* var. *pickeringii* (Pickering's Morning-glory) [GA] 

Generated from Georgia DNR's NatureServe Biotics conservation database on October 12, 2011



Eastern Tiger Salamander



Spotted Turtle



Southern Coal Skink



Gopher Tortoise



Barbour's Map Turtle



Bald Eagle



Alligator Snapping Turtle



Harper's Fimbry



Canby Dropwort



Awned Meadow Beauty



White Top Pitcher Plant



Parrot Pitcher Plant



Sweet Pitcher Plant



Swamp Buckthorn

**APPENDIX Q:
SHPO Review Documentation**

GEC

NATIONAL PARK SERVICE
**NATIONAL REGISTER
OF HISTORIC PLACES**

Guerry-Mitchell House

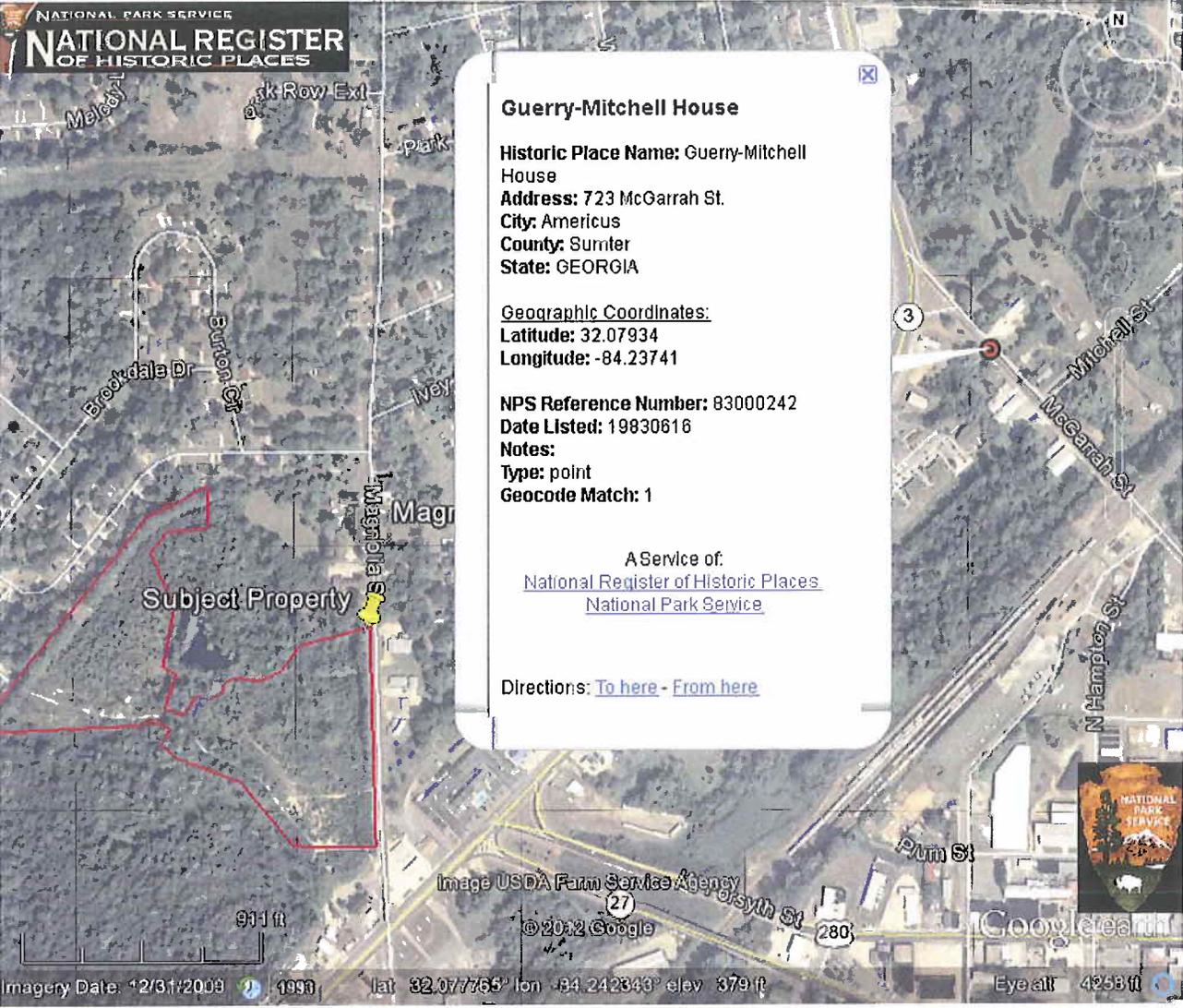
Historic Place Name: Guerry-Mitchell House
Address: 723 McGarrah St.
City: Americus
County: Sumter
State: GEORGIA

Geographic Coordinates:
Latitude: 32.07934
Longitude: -84.23741

NPS Reference Number: 83000242
Date Listed: 19830616
Notes:
Type: point
Geocode Match: 1

A Service of:
[National Register of Historic Places](#)
[National Park Service](#)

Directions: [To here](#) - [From here](#)



**Not Applicable – SHPO Review was not needed for this DCA Phase I
ESA.**

GEC

APPENDIX R:
Additional HOME Requirements

Not Applicable – HOME & HUD Environmental Questionnaire was not needed for this DCA Phase I ESA.

GEC

APPENDIX S:
Operation and Maintenance
Manual

GEC

**Not Applicable – Operation and Maintenance Manual was not needed
for this DCA Phase I ESA.**

GEC

**APPENDIX T:
Previous Reports**

GEC

Previous Phase I ESA

GEC

PHASE I ENVIRONMENTAL SITE ASSESSMENT

**PROPOSED CREEKVIEW COMMONS
MAGNOLIA STREET & MARTIN LUTHER KING JR. BOULEVARD
AMERICUS, SUMTER COUNTY, GEORGIA
GEC JOB #110277.210**

PREPARED FOR

**CREEKVIEW COMMONS, L.P.
C/O MACO CONSTRUCTION
111 NORTH MAIN STREET
CLARKSTON, MISSOURI, 63837
ATTN: MR. JASON MADDOX**

PREPARED BY

**GEOTECHNICAL & ENVIRONMENTAL CONSULTANTS, INC.
514 HILLCREST INDUSTRIAL BOULEVARD
MACON, GEORGIA 31204-3472
(478) 757-1606**

ISSUE DATE

JUNE 17, 2011

GEC

ENVIRONMENTAL CONSULTANT SIGNATURE PAGE FOR PHASE I REPORTS

June 17, 2011

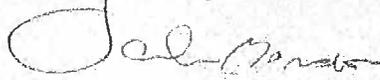
To: Georgia Department of Community Affairs
60 Executive Park South, NE
Atlanta, Georgia 30329-2231

Ladies and Gentlemen:

GEC declares that, to the best of our professional knowledge and belief, we meet the definition of *Environmental Professionals* as defined in §312.10 of 40 CFR 312.

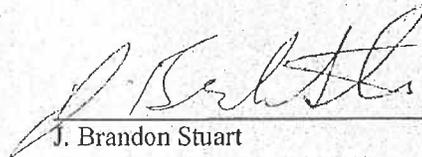
We have the specific qualifications based on education, training, and experience to assess a property of the nature, history, and setting of the subject property. We have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR Part 312.

6/17/11
Date


Tameka Gordon
Environmental Specialist

Geotechnical & Environmental Consultants, Inc. (GEC) has performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of 40 C.F.R. Part 312 and most current ASTM standard (ASTM E 1527-2005, Standard Practice for Environmental Site Assessments) of the proposed Creekview Commons development northwest of the intersection of Magnolia Street and Martin Luther King Jr. Boulevard & Martin Luther King Jr. Boulevard, in the City of Americus, Georgia, the subject *property*. Any exceptions to, or deletions from this practice are described in Section 2.0 of this report. GEC certifies that the Phase I was performed by a qualified Environmental Professional meeting the requirement set forth in 40 CFR §312.10(b).

6/17/11
Date


J. Brandon Stuart
Environmental Professional/
Environmental Specialist / Soil Scientist

6-17-11
Date



Thomas E. Driver, P.E.
President/Senior Engineer
GA Reg. #17394

GEC

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- Figure 1B: Wetland Delineation Map
- Figure 2: Flood Insurance Rate Map (FIRM)
- Figure 3: Site Map
- Figure 4: Site Plan
- Figure 5: U.S.G.S. Topographic Map
- Figure 6: 2009 Aerial Photograph

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APPENDIX C: HISTORICAL RESEARCH DOCUMENTATION

- EDR Historical Aerial Package (Years: 2006, 2005, 1993, 1988, 1975, 1968, 1962, 1953, 1941, & 1937)
- Environmental Data Resources (EDR) Sanborn Map No Coverage Letter
- EDR Historical Topographic Maps
- EDR-City Directory Abstract

APPENDIX D: TITLE COMPANY/PROFESSIONAL DOCUMENTATION

- Sumter County Property Record Card
- Sumter County Board of Tax Assessors' Parcel Maps
- Listing of the Reviewed Deed Book Records
- Copies of Selected Deed & Plat Book Records

APPENDIX E: IF APPLICABLE

- Current Phase II SCOPE OF WORK
- Current Phase II Report
- Other testing results
(lead-based paint, lead in soil, lead in water, asbestos, radon, vapor encroachment screening)

APPENDIX F: REGULATORY SEARCH INFORMATION

- Environmental Data Resources (EDR) Environmental Database Report

APPENDIX G: RECORD OF COMMUNICATIONS & INTERVIEWS

- Completed DCA User Questionnaire
- City of Americus Fire Department
- Sumter County Environmental Health Department Response
- City of Americus Planning & Zoning Letter
- City of Americus Water & Sewer Availability Letters
- Georgia Power Electric Service Availability Letter

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APPENDIX H: AUTHOR CREDENTIALS, DOCUMENTATION OF QUALIFICATIONS AS
AN ENVIRONMENTAL PROFESSIONAL

Resume: THOMAS E. DRIVER, P.E.

Resume: J. BRANDON STUART

Resume: TAMEKA GORDON

APPENDIX I: PREVIOUS PHASE I ENVIRONMENTAL REPORTS *[if applicable]*

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APPENDIX U: OTHER *[if applicable]*

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1.0 EXECUTIVE SUMMARY

Mr. Jason Maddox with MACO Construction L.L.C. on behalf of Creekview Commons, L.P. retained Geotechnical & Environmental Consultants, Inc. (GEC) to perform a Georgia Department of Community Affairs (DCA) Phase I Environmental Site Assessment (ESA) on the 57.63-acre proposed Creekview Commons site located off of Magnolia Street, northwest of the intersection of Magnolia Street and Martin Luther King Jr. Boulevard, southwest of the intersection of Magnolia Street and Brookdale Drive within the incorporated limits of the City of Americus, Sumter County, Georgia. GEC is not affiliated with either Mr. Maddox; MACO Construction; Creekview Commons, L.P., or the seller of the subject property.

The DCA Phase I ESA was performed in accordance with the American Society for Testing and Materials (ASTM) E 1527-2005, Standard Practice for Environmental Site Assessments and their updates. The ASTM E 1527-2005 is the most current ASTM standard for this work. The Phase I ESA consisted of a site reconnaissance of the subject property, review of applicable and reasonably ascertainable information about the subject property, and interviews with selected officials knowledgeable about the subject property. The Phase I ESA was intended to provide an overview of environmental conditions at the subject property resulting from current and/or past site activities.

While conducting the Phase I ESA of the subject property, GEC followed the 2011 Georgia DCA Environmental Manual, its ESA standard, which requires that the consultant follow the ASTM standard and provide some additional information that exceeds the ASTM requirements. This information addresses items referred to as "non-scope" items in the ASTM Practice, and includes wetlands, state waters, floodways/floodplains, additional public/historic records review, noise, water leaks/mold/fungi/microbial growth, radon, asbestos containing materials (ACMs), lead-based paint (LBP), lead in drinking water, and including (per DCA guidelines) polychlorinated biphenyls (PCB). Other hazards considered for the DCA ESA report include the presence of existing septic tanks or water wells on the subject property or the absence of the availability of a municipal water or sewer system to the subject site.

Interviews and review of reasonably ascertainable records by GEC during the completion of the DCA Phase I ESA did not indicate past usage or conditions which would likely result in significant environmental concerns. No recognized environmental conditions (RECs), as that term is defined in the referenced ASTM Practice, were identified on the subject property.

The user of this report is encouraged to read the entire report for detailed descriptions of the property and the observations and judgments made by GEC. The user is ultimately responsible for assessing whether the limitations of the ASTM Practice and this project's scope of work are appropriate to the level of risk the user assumes for the subject property transaction. The following summarizes general information discovered during GEC's Phase I ESA.

- The site reconnaissance and research revealed no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property.

- After review of the historical aerial photographs and the observations made during the site reconnaissance, GEC observed structures (two residential properties and four utility sheds and/or barns) that were located in the upland portions of the subject site prior to 1978. GEC conducted soil sampling around the locations of the structures during the site reconnaissance on May 16, 2011. The lead detected in the area surface soils (upper one-half inch) was below the Georgia Environmental Protection Division notification concentration for lead (400 mg/kg). Lead in soil is not considered to be a concern for the subject property.

- Based on GEC's review of the readily available historical sources, such as chain of ownership records and aerial photographs, the subject property was, historically agricultural property in the northern / upland portions and vacant wooded land in the southern / wetland portions of the site dating back to the 1937 aerial photograph. The previously agricultural, upland portion of the subject property appears as wooded land in the 1975 aerial photograph. In the 2005 aerial photograph, this same upland portion of the subject property appears as clear cut land. During the site reconnaissances performed on April 29, 2011 and May 16, 2011, GEC observed the majority of the upland portions of the subject site as a mixture of cleared vacant land or overgrown with volunteer vegetation. The two residential developments were identified as the eastern and western upland portions of the subject property near the existing pond site. The adjacent property in all directions of the subject site was either agricultural or wooded land with sparsely situated rural residential homesteads on the 1937 to 1962 aerial photographs. Higher density residential development is first observed in the northeastern vicinity of the subject property in the 1962 aerial photograph. Additionally, commercial development first appears in the 1962 aerial photograph in the southern and eastern vicinity of the subject site. Increased commercial and residential development is observed in each subsequent aerial photograph. A significant increase in residential development can be observed on the adjoining property to the north and in the northern vicinity in the 1975 aerial photograph. The subject site is an assemblage of properties made by J.H. Shumake in the late 1930's and early 1940's. The property ownership remained in the Shumake family until it was sold to Howard Johnson in the 1990's. The Johnson family currently retains ownership of the subject property.

- The Environmental Data Resources, Inc. (EDR) Report dated April 27, 2011 did not identify the subject property on any of the Federal or State databases. The EDR report identified one State Hazardous Waste Site (SHWS), four leaking underground storage tank (LUST) database sites, three Underground Storage Tank (UST) database sites, three Resource Conservation and Recovery Act Non Generators of hazardous waste (RCRA-NonGen) database sites, and one Manufactured Gas Plant database site within the prescribed radii of the subject property. The listed database sites were not considered to be a potential environmental and/or financial concern to the subject site. Refer to Section 4.1 and Appendix F for detailed information of the noted database sites.

- During GEC's site reconnaissances on April 29, 2011 and May 16, 2011, GEC observed that the subject site was undeveloped, wooded and cleared land. There were no unusual odors or signs of contamination at this location. GEC also observed a PURE gasoline station and a Danfair Express gasoline station located at the intersection of Magnolia

Street and Martin Luther King Jr. Boulevard. Further research revealed that both facilities share a common address on the tax assessor's website. The address identified, 1011 Martin Luther King Jr. Boulevard, was identified on the orphan summary sections of the EDR Report as MTD #5 Pepos Foodmart #2 (LUST and UST database) and the Calhoun Oil Co. Phillips 66 Service Station (AST database). The presumed groundwater flow direction at this site is towards the south-southeast and generally away from the subject property. While the present and past off-site activities present a potential environmental concern to the subject property, the potential area of concern on the subject site from a release of the two database sites, is down-gradient of the proposed development and located within a floodplain / wetland area. Therefore, GEC does not consider the MTD #5 Pepos Foodmart #2 Gas Station or the Calhoun Oil Co. Phillips 66 Service Station to be a potential environmental and/or financial concern to the subject property, and any liability for any release from the MTD #5 Pepos Foodmart #2 Gas Station or the Calhoun Oil Co. Phillips 66 Service Station should remain with its respective owners/operators. Also, GEC contacted the Georgia Environmental Protection Division (EPD) on June 16, 2011 concerning the MTD #5 Pepos FoodMart #2. According to a representative with EPD, a UST closure was conducted at the site. A release was detected during the sampling of the UST closure. However, the contamination was considered to be minimal, and the site subsequently received a No Further Action status without further investigation being warranted at the facility.

- Geotechnical & Environmental Consultants, Inc. (GEC) reviewed the National Wetlands Inventory (NWI) map to determine if these records indicate potential wetland concerns on the subject property. According to the National Wetlands Inventory (NWI) map, a freshwater pond is located in the northern portion of the subject property. Additionally, a large area in the southern portion of the subject site, north of Muckalee Creek is classified as Freshwater Emergent Wetlands. On April 29, 2011 and April 29, 2011 and May 16, 2011, GEC delineated approximately 325-linear feet of intermittent stream channel and 33.73-acres of wetlands including the existing pond in the northern portion of the subject property. The proposed site plan for Creekview Commons depicts the delineated wetlands and streams on the property and has incorporated a 100-foot buffer around those areas. A road crossing the stream is shown on the site plan where the existing 'dirt' roadway is currently located; therefore, GEC does not anticipate that the construction of this development will impact any wetland or stream areas. The wetlands map, shown as in Appendix A, indicates the wetland area that was delineated on the subject property by GEC.
- According to the FIRM map, the subject property is located in Zone X-white, which is defined as area determined to be outside the 500-year flood plain and therefore also the 100-year flood plain. The reviewed site plan depicts the flood plain boundary and indicates that there will be a 100-foot buffer between the floodplain boundary and development. GEC, therefore, does not anticipate that a flooding hazard will deter the development of the subject property. A copy of the FIRM is presented as Figure 4, Appendix A.

1.1 Location & Legal Description of the Property

The subject site is 57.63 acres in size and located off of Magnolia Street, northwest of the intersection of Magnolia Street and Martin Luther King Jr. Boulevard, southwest of the intersection of Magnolia Street and Brookdale Drive in the incorporated limits of the City of

Americus, Sumter County, Georgia. The subject property is currently undeveloped, wooded and cleared land. The subject property, which is included in Land Lot 154 of the 27th Land District in Sumter County, Georgia, currently contains undeveloped, wooded, and cleared land.

The subject property is legally described in the most current available deed (see Deed Book 1160, Page 60; copied from the Clerk's Office, Sumter County Superior Court, and in Appendix D).

1.2 Environmental Concerns and Conclusions

1.2.1 On-Site

The site reconnaissance and research conducted during the course of this project revealed no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property.

1.2.2 Off-Site

The site reconnaissance and research conducted during the course of this project revealed no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property from an adjacent property.

1.3 Recommendations

1.3.1 On-Site

Based on the findings presented in this report, GEC found no obvious environmental concerns or risks associated with the subject property; therefore, we recommend no further environmental study of the site at this time.

1.3.2 Off-Site

The site reconnaissance and research conducted during the course of this project revealed no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property from an adjacent property.

2.0 INTRODUCTION

2.1 Background

This report describes a Phase I Environmental Site Assessment, prepared by Geotechnical & Environmental Consultants, Inc. (GEC), for the 50-unit, proposed Creekview Commons site

situated on 57.63 acres of land and located off of Magnolia Street, northwest of the intersection of Magnolia Street and Martin Luther King Jr. Boulevard, southwest of the intersection of Magnolia Street and Brookdale Drive in the incorporated limits of the City of Americus, Sumter County, Georgia. The subject property is currently undeveloped, wooded and cleared land. A site location/U.S.G.S. topographic map, site map, site plan, and a site location/U.S.G.S. topographic map are included in Appendix A as Figures 3 through 5, respectively.

2.2 Procedures

The purpose of this Phase I ESA report is to permit the user to satisfy one of the requirements to qualify for the *innocent landowner* defense to the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) liability (also known as one of the "landowner liability protections" or "LLPs"). This practice constitutes the "all appropriate inquiry" (AAI) into the previous ownership and uses of the property consistent with good commercial or customary practice as defined at 42 USC §9601 (35) (B).

This Phase I ESA was conducted in accordance with ASTM E 1527-2005 Standard Practice for Environmental Site Assessments. GEC's scope of work for this Phase I ESA was to identify "recognized environmental conditions" to the extent feasible by the processes outlined in Practice E 1527 and in accordance with good commercial and customary practices for conducting an environmental site assessment of a parcel of land with respect to the range of contaminants within the scope of CERCLA and petroleum products.

GEC's scope of work for this Phase I ESA was to identify "recognized environmental conditions" to the extent feasible by the processes outlined in Practice E 1527 and in accordance with good commercial and customary practices for conducting an environmental site assessment.

Practice E 1527 defines "recognized environmental conditions" (RECs) as the presence or likely presence of any hazardous substances or petroleum products on a property under conditions that indicate an existing release, a past release, or a material threat of a release of any hazardous substances or petroleum products into structures on the property or into the ground, ground water, or surface water of the property, even under conditions in compliance with (environmental) laws. The term is not intended to include *de minimis* conditions that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action, if brought to the attention of appropriate governmental agencies. Conditions determined to be *de minimis* are not RECs.

The scope of Practice E 1527-2005 does not include any testing or sampling of materials (i.e., soil, water, air, or building materials). However, the DCA Phase I ESA standard requires additional elements, which exceed the ASTM requirements (referred to as "non-scope" items), namely wetlands, state waters, floodways/floodplains, additional public/historic records review, noise, water leaks/mold/fungi/microbial growth, radon, ACMs, LBP, lead in drinking water, and including (per the 2011 DCA Environmental Guide) polychlorinated biphenyls (PCBs). Other hazards considered for the DCA ESA report include the presence of existing septic tanks or water wells on the subject property. These additional requirements are addressed in the body of this report with sampling as described in the appropriate sections.

GEC's methodology for performing environmental evaluations consists of two phases. Phase I

involves four components: a records review, site reconnaissance, interviews, and the report of findings. Phase II consists of drilling operations, soil and groundwater sampling, and laboratory analysis of samples as appropriate, based on the results of the Phase I ESA or in response to the special needs of the client. The site reconnaissance included the subject property's grounds and perimeter and observance of adjacent properties from the subject site.

GEC performed each of the four components of the ASTM E 1527 Phase I ESA in accordance with Sections 6.0 through 11.0 of the Practice. The objective of the records review, site reconnaissance, and interviews is to obtain information used to identify recognized environmental conditions in connection with the property. This report generally follows the recommended ASTM format with the additional consideration given to asbestos, LBP, lead in drinking water, radon, wetlands, and polychlorinated biphenyls (PCBs), as required by the Georgia Department of Community Affairs.

2.3 Significant Assumptions

No significant assumptions were made or required while conducting this DCA Phase I ESA.

2.4 Qualifications of Personnel/Documentation of Qualifications as an EP

Thomas E. Driver, P.E., is the **President** of GEC and **Managing Senior Engineer** of all offices. Tom graduated from Auburn University with a Bachelor's degree in Civil Engineering in 1983 and has over 27 years of experience in the geotechnical, environmental and construction materials testing fields. Tom is a member of the American Society of Civil Engineers (ASCE), the Georgia Society of Professional Engineers (GSPE), and the Consulting Engineers Council of Georgia (CECG). He is a past State President of GSPE, a past board member of the Macon Economic Development Commission, and a board member of the Consulting Engineers Council of Georgia. He is a Past President of the Macon Chapter of ASCE and a past president of the GSPE Middle Georgia Branch. Tom was named the 1992 Young Engineer of the Year and the 1996 Professional Engineer of the Year in Private Practice by the Georgia Society of Professional Engineers. Tom is a registered Professional Engineer in Alabama, Florida, Georgia, Kentucky, North Carolina, South Carolina, and Tennessee.

J. Brandon Stuart is an **Environmental Specialist / Soil Scientist** with the Macon office. Brandon graduated from the University of Georgia with a bachelor's degree in Environmental Sciences in 2005. For the past five years he has worked directly in the environmental field, providing project management and environmental consulting services. His environmental field experience has included Phase I environmental site assessments, Georgia Department of Community Affairs (DCA) and Housing and Urban Development guided environmental assessments, field sampling, and site specific soil investigations for wastewater disposal. He has performed a number of Land Application of Waste design development reports for submittal to the Georgia Environmental Protection Division. Brandon has also performed wetland delineations, managed wetland restoration and clean-up projects, and assisted in the submittal of Construction Notifications to the United States Army Corps of Engineers regarding wetland disturbance and mitigation credit purchasing. Brandon is a Georgia Department of Community Health, Certified Soil Classifier and is recognized as a Certified Radon Measurement Specialist in Alabama, Georgia, North Carolina and South Carolina.

Tameka Gordon is an **Environmental Specialist** with the Macon office. Tameka has six years experience and related education in general business, research, and writing techniques. For the past six years she has worked directly in the environmental field, providing project management and environmental consulting services. Her environmental field experience has included Phase I environmental site assessments, Georgia Department of Community Affairs (DCA) and Housing and Urban Development guided environmental assessments, and field sampling. She has performed a number of Georgia Board of Education school site assessments and hazard assessments utilizing the ALOHA (Areal Locations of Hazardous Atmospheres) computer program designed especially for the use by people responding to chemical releases, as well as for emergency planning and training. Tameka has performed numerous Board of Regent's GEPA (Georgia Environmental Policy Act) / NEPA (National Environmental Policy Act) site assessments for University and College projects in surrounding counties. Tameka is a member of the Women in Affordable Housing Network and Macon's Young Professional Network. She serves on the board for Leadership Macon with the Macon-Bibb County Chamber of Commerce.

2.5 Assessment of Specialized Knowledge or Experience of User &/or EP

GEC was not provided any specialized knowledge or experience related to recognized environmental conditions in connection with the subject site, except that GEC gained specialized knowledge of the site in conducting the previous Phase I ESAs on the site.

2.6 Limitations & Exceptions

This report is intended for the use of Creekview Commons, L.P.; and their representatives and/or assigns for their use in evaluating the environmental liability associated with the subject property. Additionally, the Georgia Department of Community Affairs (DCA) and the Georgia Housing and Finance Authority (GHFA) may rely on the information in this report. GEC is not affiliated with Creekview Commons, L.P. or the seller of the subject property.

GEC is not responsible for opinions, conclusions, or recommendations made by others based on the findings in this report. This report and its findings shall not, in whole or in part, be disseminated to any other party, or used by any other party without prior written consent by Geotechnical & Environmental Consultants, Inc. The conclusions of this Phase I Environmental Site Assessment are based on conditions as observed on our site visit and on historical information about the site. Information contained in this report was obtained by means of document review, interviews, and on-site observations. Since no assessment can absolutely deny the existence of hazardous materials, especially surficial environmental assessments with limited or no subsurface sampling, existing hazardous materials can escape detection using the customary methods. Future changes in environmental conditions and site characteristics may occur with the passage of time, in which case, the conclusions of this report may have to be reevaluated.

2.7 Special or Additional Conditions or Contract Terms

There are no special terms and conditions aside from those detailed in the professional services agreement, included with GEC Proposal #ME-11-4563, under which this scope of work was authorized.

3.0 SITE SETTING

3.1 General Description of the Site & Vicinity

The proposed Creekview Commons site, which is 57.63 acres in size, is off of Magnolia Street, northwest of the intersection of Magnolia Street and Martin Luther King Jr. Boulevard, southwest of the intersection of Magnolia Street and Brookdale Drive in the incorporated limits of the City of Americus, Sumter County, Georgia. The site vicinity consists of residential, commercial, and wooded properties. A site map and a site plan are included in Appendix A as Figures 3 and 4, and site location/U.S.G.S. topographic map is presented in Appendix A as Figure 5.

3.1.1 Current Site Use & Description

The subject site is currently undeveloped, wooded and cleared land. According to Ms. Mandy R. Young, Community and Economic Development Director for the City of Americus, the zoning at the subject property is R-2 and allows for multi-family residential apartments. The area in which the subject property lies appears to have been a long-standing rural and agricultural land since the late 1930s, prior to its current residential and commercial development beginning in the early 1960's.

3.1.2 Current Uses of Adjoining Properties

The site vicinity consists of residential, commercial, and wooded properties. GEC observed a residential subdivision north and northwest of the subject property. Additional residential development is located northeast of the subject property along Magnolia Street. Commercial development is located beyond the easterly adjoining Magnolia Street right-of-way. Vacant wooded land borders the western property boundary of the subject site. Muckalee Creek borders the subject property to the southwest with undeveloped, wooded property beyond the creek. Magnolia Street borders the eastern boundary of the subject site with commercial development located beyond the right-of-way. Additional commercial properties, including two gasoline stations, are located south of the subject property near the intersection of Magnolia Street and Martin Luther King Jr. Boulevard.

3.1.3 Description of Structures, Roads, & Other Improvements

During our site reconnaissances on April 29, 2011 and May 16, 2011, GEC observed that a single, abandoned barn exists in the eastern portion of the subject property. A sanitary sewer easement was also observed traversing from west to east across the center of the subject property. The adjacent improved roadways consist of Magnolia Street along the eastern property boundary, Martin Luther King Jr. Boulevard along the southeastern portion of the subject property, and Westside Drive dead ends just prior to reaching the western boundary of the subject property. There are several dirt, access roads that traverse the upland portions of the subject property. According to various sources, municipal water and sewer are available to serve the subject site.

3.2 Hydrogeology

3.2.1 Geologic Setting

The site is located in the Coastal Plain Physiographic Province of Georgia. Soils in the Coastal Plain are the result of the deposition of sediments in a former marine environment. Coastal Plain sedimentary deposits make up about 60 percent of Georgia's surface area, and consist of a southwardly thickening wedge of sediments, which are bordered on the north by the parent rocks of the Piedmont Physiographic Province. The border between these provinces is known as the "Fall-Line." The Coastal Plain sediments range in age from the Cretaceous to the recent, with the oldest exposed along the "Fall-Line" and the youngest along the coast. Typically, the surface soils consist of complexly interbedded sands, silts, and clays of various mixtures. Sandstones, shales, and limestones comprise the characteristic lithology of the Coastal Plain. These formations are usually found at depths greater than fifty feet, but can also be found at or near the ground surface. They are not known to occur near the surface in the site area. Topography in this region of the Coastal Plain is generally flat to gently rolling.

From a hydrogeologic perspective, the Coastal Plain units in the subject site vicinity comprise a significant recharge zone for the regional Floridan/Jacksonian Aquifer system. This system can be generally described as highly permeable, with considerable hydraulic interconnection between saturation zones. Consequently, this aquifer is an important resource for drinking and agricultural water supplies in the region. Specific hydrogeologic information was not available for this assessment, and, based on the U.S.G.S. Topographic Quadrangle Map and observations made in the field, GEC anticipates the groundwater flow direction at the subject property most likely moves down gradient, generally to the south-southeast.

3.2.2 Surface Drainage

Based on our review of the U.S.G.S. Topographic Map (Figure 1, Appendix A) and observations made during the site reconnaissance, the surface drainage from the subject site (assuming the flow mimics topography) appears to travel down gradient, generally to the south towards Muckalee Creek.

3.2.3 Groundwater

Specific hydrogeologic information was not available for this assessment, but based on the U.S.G.S. Topographic Map and observations made in the field, the anticipated groundwater flow direction at this site appears to be generally to the south-southeast as noted in Section 3.2.1.

3.3 Wetlands

GEC reviewed the U.S. Department of the Interior Fish and Wildlife Division National Wetlands Inventory (NWI) Map. The National Wetlands Inventory (NWI) map is a tool used to investigate if wetlands are on a specific property. Wetlands on these maps are usually indicated from the review of aerial photographs, U.S.G.S. Topographic maps, and soils maps. Wetlands are not necessarily field delineated for inclusion on the NWI Map. According to the National Wetlands Inventory (NWI) map, a wetland area (freshwater pond) was identified in the central portion of the property.

On April 29, 2011 and April 29, 2011 and May 16, 2011, GEC delineated approximately 3.88 acres of wetlands including the pond in the northern portion of the subject property. An intermittent stream channel totaling 325 linear feet was also flagged south of the existing pond dam. Additionally, a wetland boundary line was located just south of the existing sewer easement in the center of the subject property. All land, totaling 29.85-acres located southwest of this wetland boundary and ending at the centerline of Muckalee Creek is considered wetlands. The wetlands map, shown with the NWI map, in Appendix A, indicates the wetland area that was delineated on the subject property by GEC.

3.4 Flood Plains

GEC went to the Federal Emergency Management Agency (FEMA) Map Service Center (MSC) Flood Map Store website at www.msc.fema.gov/ to review a flood map for the subject site. GEC reviewed a copy of the FEMA Flood Insurance Rate Map (FIRM) for City of Americus, Georgia. The subject property is found on Community Panel 153 (13261C0153C), dated September 11, 2009. According to the FIRM map, the northern portion of the subject property is located in Zone X-white, which is defined as area determined to be outside the 100-year and 500-year flood plain. The remainder of the subject property is identified as being in ZONE AE in a Special Flood Hazard Area subject to inundation by the 1% annual chance flood and where base flood elevations have been determined. According to the site plan, the area where the structures will be located is on the western and eastern portion of the property which is well north of the area identified as being in the floodplain. GEC, therefore, does not anticipate that a flooding hazard will deter the development of the proposed Creekview Commons development.

3.5 State Waters

During GEC's site reconnaissances on April 29, 2011 and May 16, 2011, 325 linear feet of intermittent stream channel was located and flagged flowing from the existing pond dam southward towards the large wetland/floodplain area, 29.85-acres in size, south of the existing sewer easement. The total wetland area of 33.73-acres and the 325-linear feet of intermittent stream channel located on the subject property are considered waters of the state.

3.6 Endangered Species

According to the U.S. Fish and Wildlife Services (USFWS) Listed Species for Sumter County (Updated May 2004) www.fws.gov/athens/endangered/counties, there are seven federally listed species and 17 state listed species. None of the habitats listed for these species were observed on the subject property; therefore, the USFWS was not contacted regarding the subject property. GEC does not anticipate that the protected species and critical habitats issues will factor into a project for this area. Refer to Appendix R for the list of federal and state species.

4.0 REGULATORY INFORMATION

4.1 Data Review

GEC contracted with Environmental Data Resources, Inc. (EDR) to conduct a new site specific

radius search and examination of reasonably ascertainable Federal, State, and Local regulatory files concerning the site and nearby sites which have been targeted for clean-up or investigation, sites and facilities against which complaints have been filed, or sites on which generators of hazardous waste or regulated substances are located. The EDR Report is dated April 25, 2011. The EDR search meets the requirements of the ASTM E 1527-05 standard. The following lists were included, in the records review: (FEDERAL) NPL, Proposed NPL, Delisted NPL, NPL RECOVERY, CERCLIS, CERC-NFRAP, CORRACTS, RCRA-TSD, RCRA-LQG, RCRA-SQG, ERNS, HMIRS, US ENGINEERING CONTROLS, US INSTITUTIONAL CONTROLS, DOD, FUDS, US BROWNFIELDS, CONSENT, ROD, UMTRA, ODI, TRIS, TSCA, FTTS, SSTS, ICIS, RADINFO, CDL, LUCIS, PADS, MLTS, MINES, FINDS, RAATS, (STATE) SHWS (includes HSI, the state CERCLIS equivalent), Non-HSI, STATE LANDFILL, HISTORIC LANDFILL, LUST, UST, GA SPILLS, INSTITUTIONAL CONTROL, DRYCLEANERS, BROWNFIELDS, AIRS, and TIER 2. The EDR Report also includes TRIBAL RECORDS: INDIAN RESERVATIONS, INDIAN LUST, and INDIAN UST and an EDR proprietary database record on MANUFACTURED GAS PLANTS (see attached EDR report in Appendix F for the list of databases, their currency, their definitions, and sources for these records). The radii used in the search for each of the above records are indicated on Page 4 in the EDR Environmental Database Report, and they were specifically designed by EDR to meet the search requirements of the U.S. EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E 1527-05). Neither a State Engineering Controls database nor state or tribal voluntary cleanups databases are available in Georgia.

GEC assessed the listed sites for potential environmental impacts to the subject property using the following criteria: (1) relative distance between the subject property and the regulated site, (2) topographic features and proximity of the subject property to the regulated site; GEC follows the generally accepted premise that shallow groundwater flow direction can be reasonably expected to mimic surface topography, and (3) common inferences about the nature and relevance of the regulatory listing with regard to the subject property.

4.1.1 Standard Environmental Record Sources

4.1.1.1 Sites listed in Section 8.2.1 of ASTM E 1527-05 & in Exhibit B1

The EDR Report of environmentally regulated sites did not identify the subject property on any of the federal or state databases. The EDR database report identified one State Hazardous Waste Site (SHWS), four leaking underground storage tank (LUST) database sites, three Underground Storage Tank (UST) database sites, three Resource Conservation and Recovery Act Non Generators of Hazardous Waste (RCRA-NonGen) database sites, and one Manufactured Gas Plant database site within the prescribed radii of the subject property.

The (SHWS) database site 304 N Dudley Street, (LUST) sites GA Dept Public Safety/GA State and Americus Inland Texaco # 819, and the Manufactured Gas Plant site Americus Light and Power Company are the only listed sites reported to be located at elevations equal to or higher than the subject property. These database sites are topographically located in positions that hydrologically disconnect them from the subject property. Shallow groundwater from these four listed sites would tend to flow southward towards Town Creek which joins Muckalee Creek, the southern property boundary of the subject site, approximately 1,000 feet south/downstream of

the subject property's southern boundary. Therefore, **304 N Dudley Street, GA Dept Public Safety/GA State, Americus Inland Texaco # 819, and Americus Light and Power Company** are not considered to be environmental concerns to the subject property.

The remaining listed database sites are all located at elevations lower than the subject property and at topographic positions that hydrologically disconnect them from the subject property. These sites are not judged to be REC's.

No visual evidence of recognized environmental conditions was observed at the subject property during GEC's site visit.

4.1.1.2 Orphan/Unmappable Sites

GEC reviewed the 26 listed "orphan summary" sites, which were not mapped due to poor or inadequate address information, in the EDR report. There were no unusual odors or signs of contamination at this location. During GEC's site reconnaissances on April 29, 2011 and May 16, 2011, GEC observed that the subject site was undeveloped, wooded and cleared land. There were no unusual odors or signs of contamination at this location. GEC also observed a PURE gasoline station and a Danfair Express gasoline station located at the intersection of Magnolia Street and Martin Luther King Jr. Boulevard. Further research revealed that both facilities share a common address on the tax assessor's website. The address identified, 1011 Martin Luther King Jr. Boulevard, was shown on the orphan summary sections of the EDR Report as MTD #5 Pepos Foodmart #2 (LUST and UST database) and the Calhoun Oil Co. Phillips 66 Service Station (AST database). The general expected groundwater flow direction is expected to be towards the south-southeast and generally away from the subject property. While the present and past off-site activities present a potential environmental concern to the subject property, the potential area of concern on the subject site from a release of the two database sites, is down-gradient of the proposed development and located within a floodplain / wetland area. Therefore, GEC does not consider the MTD #5 Pepos Foodmart #2 Gas Station or the Calhoun Oil Co. Phillips 66 Service Station to be a potential environmental and/or financial concern to the subject property, and any liability for any release from the MTD #5 Pepos Foodmart #2 Gas Station or the Calhoun Oil Co. Phillips 66 Service Station should remain with its respective owners/operators. Also, GEC contacted the Georgia Environmental Protection Division (EPD) on June 16, 2011 concerning the MTD #5 Pepos FoodMart #2. According to a representative with EPD, a UST closure was conducted at the site. A release was detected during the sampling of the UST closure. However, the contamination was considered to be minimal, and the site subsequently received a No Further Action status without further investigation being warranted at the facility.

GEC found that the remaining sites did not appear to be located within the ASTM search radii of the subject property. Since these sites are not within the noted ASTM radii, they are not in the vicinity of the subject site and at this distance from the subject site they are not judged to be RECs.

4.1.2 Additional Environmental Record Sources

4.1.2.1 Local Brownfield Lists

GEC is not aware of any local Brownfield lists. The Georgia Environmental Protection Division

(EPD) maintains the only known database for the state, which is provided by EDR's report in Appendix F.

4.1.2.2 Local Lists of Landfill/Solid Waste Disposal Sites

GEC is not aware of any local lists of Landfill/Solid Waste Disposal sites, other than the database maintained by the Georgia EPD, which is provided by EDR's report in Appendix F.

4.1.2.3 Local Lists of Hazardous Waste/Contaminated Sites

GEC is not aware of any local lists of Hazardous Waste/Contaminated sites, other than the database maintained by the Georgia EPD, which is provided by EDR's report in Appendix F.

4.1.2.4 Local Lists of Registered Storage Tanks

GEC is not aware of any local lists of Registered Storage Tanks, other than the database maintained by the Georgia EPD, which is provided by EDR's report in Appendix F.

4.1.2.5 Local Land Records (for activity and use limitations - AULs)

GEC contracted Mr. Frank May, a professional title researcher, for the purpose of researching and establishing a chain of ownership for environmental purposes for the subject property. Mr. May found no activity or use limitations (AULs) filed in the deed records, relating to conditions involving the subject site.

4.1.2.6 Records of Emergency Release Reports

The EDR Report did not identify the subject property or any adjacent properties on the Georgia Spills databases (see page 4 & 5 of the EDR Report), and GEC is not aware of any Records of Emergency Release Reports, other than the database maintained by the Georgia EPD, which is provided by EDR's report in Appendix F.

4.1.2.7 Records of Contaminated Public Wells

GEC reviewed the local/regional water agency records information provided on Pages A-6 through A-31 of the EDR Environmental Database Report (see Appendix F). The EDR Local/Regional Water Agency Records provide water well information to assist the environmental professional in assessing sources that may impact groundwater flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells. No federal or state U.S.G.S. wells were found on the subject property. One Federal F.R.D.S. well was identified within one mile of the subject property. Five Federal USGS wells and twenty-three state database wells were located within one mile of the subject property. According to information provided by EDR, the Federal Reporting Data System (FRDS) public water supply well has had violations for lead and copper rule and coliform. Such incidents are relatively common and should not represent any risk to the subject site. The EDR report did not indicate any wells on the subject site, and did not indicate records of any groundwater use permits for the subject site.

4.1.2.8 Planning Department Records

GEC faxed an information questionnaire to the City of Americus Planning and Zoning Department on May 13, 2011. GEC was provided with a zoning letter from our client on May 16, 2011. Ms. Mandy R. Young provided the zoning letter to our client. Ms. Young confirmed that the proposed location for the Creekview Commons development is appropriately zoned for the use. She stated that the zoning at the subject property is R-2 (Residential) for the proposed Creekview Commons site. A copy of the City of Americus zoning letter is included in Appendix G.

4.1.2.9 Local/Regional Pollution Control Agency Records

GEC is not aware of any local Pollution Control Agency records, other than the state/local databases maintained by the Georgia EPD, which is provided by EDR's report in Appendix F.

4.1.2.10 Local/Regional Water Quality Agency Records

GEC obtained a copy of the 2009 City of Americus (Annual) Water Quality Report, their most current version of the AWQR, which indicated that the City of Americus water supply was in full compliance with all drinking water regulations set forth by EPA and EPD. No wells were observed on the subject site, and no records of any groundwater use permits for the subject site were found. A copy of the Americus's AWQR is included in Appendix Q.

GEC also reviewed the state/local databases maintained by the Georgia EPD, which is provided by EDR's report and discussed in Section 4.1.2.7.

4.1.2.11 Local Electric Utility Companies (PCBs)

GEC observed eight-mounted pole mounted transformers (PMTs) along the eastern property boundary and Magnolia Street. The transformers appeared to be in good condition with no visible signs of leakage (stained soils or dead vegetation) beneath. No other suspected PCB-containing equipment was observed on the subject property. Georgia Power, the electrical utility provider for the proposed apartment complex, has informed GEC in the past that the transformers they use are mineral oil units and they will handle all leaking transformers on site as per 40 CFR 761.125 and the State of Georgia Oil and Hazardous Substance Release Act of 1991.

Mr. Jay Roberts with the Georgia Power Company stated in a letter, dated June 8, 2011, that the subject property is in Georgia Power's service territory and electrical service can be available to the project. A copy of Georgia Power's letter is presented in Appendix G.

4.1.2.12 Other

GEC contracted with EDR to conduct a site specific radius search and examination of reasonably ascertainable Federal, State, and Local regulatory files concerning the site and nearby sites which have been targeted for clean-up or investigation, sites and facilities against which complaints have been filed, or sites on which generators of hazardous waste or regulated substances are located. The additional environmental record sources (Section 8.2.2 of the ASTM E 1527-05

standard) are included in the "Additional Environmental Records" section of the EDR Report (see pages 3 & 4 of the EDR Report in Appendix F). These additional environmental record sources include local Brownfields, local landfill/solid waste disposal sites, local hazardous waste/contaminated sites, local registered storage tanks, local land records for activity and use limitations (AULs), emergency release reports (Georgia spills), and contaminated public wells. No other environmental records are believed available, and no additional environmental record sources were deemed necessary.

4.2 Agency Contacts/Records

GEC contacted or attempted to contact the following local agencies for information pertaining to the subject site and the immediate vicinity.

4.2.1 Local Fire Department Official

GEC faxed an information questionnaire to Ms. Harriet Williams with the City of Americus Fire Department on May 20, 2011. Ms. Williams indicated that she has no record of environmentally related fires, hazardous material responses, or any environmental concerns associated with the subject property. She is unaware of the past usage of the subject site and has no record of any storage tanks located on the subject property. A copy of the fire department's information questionnaire and response are presented in Appendix G.

4.2.2 State, Local, or Regional Health or Environmental Agency

GEC faxed an information questionnaire to Ms. Kathy Mitcham with the Sumter County Environmental Health Department on May 13, 2011. Ms. Jane Arnold responded indicating the health department was not aware of any environmental health responses or issues on the subject site or in the immediate vicinity. Ms. Arnold indicated that city water and sewer serve the subject property and she was unaware of any septic system on subject property. A copy of the completed information questionnaire is presented in Appendix G.

4.2.3 Local Building Permit Agency Official

See above in Section 4.1.2.8.

4.2.4 Local Groundwater Use Permit Agency Official

GEC is not aware of any local Groundwater Use Permit Agency, other than those existed in the state/local databases maintained by the Georgia EPD, which is provided by EDR.

See above Section 4.1.2.7.

4.3 Interviews

4.3.1 Current Key Site Manager, Occupants, or Owners of Property

GEC received completed DCA versions of the ASTM Questionnaire from Creekview Commons, L.P., on June 20, 2011. Mr. Ken Maddox indicated that he is not aware of any environmental

liens nor does he possess or control any title records for the subject property. He noted he was not aware of any deed restrictions, engineering or institutional controls, or other activity and use limitations for the property. He stated that he is not aware of any commonly known or reasonably ascertainable information with the local community that is material to any potential recognized environmental conditions. He indicated that the reason for having the Phase I site assessment performed is part of the proposed submittal for tax credits for development of the property. He also noted that the purchase price of the property is the same as the fair market value. A copy of the DCA version of the ASTM Questionnaire is presented in Appendix G.

Mr. Paul Johnson, current owner, completed the owner environmental questionnaire for the site. Mr. Johnson indicated that he was not aware of any adjacent properties that are used for industrial or manufacturing purposes. Mr. Johnson also indicated that no paints, plastic or metal drums, stained soil or stressed vegetation, storage tanks (above or underground), vent pipes, fill dirt that has ever been brought onto the site, or PCB containing or asbestos containing materials were on the subject property. He noted that no pesticides, herbicides, or other agricultural chemicals have ever been stored, mixed on, or applied to the property. The subject property had not ever been evaluated, investigated, notified, held responsible for, or otherwise involved with any contamination, clean-up, environmental law, or health and safety law, regulation or violation. Mr. Johnson also stated that he does not have any knowledge nor has he been informed of any environmental liens, governmental notifications, relating to violations or potential violations of environmental law or hazardous substances with respect to the subject property.

Mr. Johnson indicated that there are no structures more than 50 years old, or located in a designated historic district, and he noted that the subject property is located in a 100-year floodplain. Mr. Johnson also indicated that the site does not have the potential to be affected by any of the following: coastal areas protection and management, runway clear zones and accident potential zones, endangered species, farmland protection, compatibility with local codes, plans and zoning, wetlands designated land, thermal and explosive hazards, toxic chemicals and radioactive materials, solid waste management, and local zoning plans compatibility. Mr. Johnson noted that zoning is compatible. Mr. Johnson also stated that the subject property was not within 1,000 feet of a major road/highway/freeway. He also stated that the subject site is not within 3,000 feet of a railroad, 5 miles of a private/commercial airport and airfield, or 15 miles of a military airport. Mr. Johnson indicated that they have identified the type of property transaction to the environmental professional, and the purchase price for the subject property reflects fair market value. A copy of the completed owner environmental questionnaire is presented in Appendix L.

4.3.2 Current Owners or Occupants of Neighboring Properties

Since the subject property is not abandoned, no current owners or occupants of neighboring properties were interviewed. The lack of interviews with the neighboring properties is not considered to be a significant data gap, since significant information outside that available from other interviews and the public record is not expected.

4.3.3 Past Owners, Occupants, or Operators of the Property

Since sufficient information was available from the current interviews and public records, no past owners, occupants, or operators of the property were interviewed. In addition, the User did

not indicate or provide GEC with any previous owners, occupants, or operators of the property. The lack of interviews with the past owners, occupants, or operators is not considered to be a significant data gap, since significant information outside that available from other interviews and the public record is not expected.

4.3.4 User(s)

The User Responsibility information obtained from the User(s) of this report or from other sources is detailed in the following text. The primary User (Creekview Commons, L.P.) contracted with GEC to provide the information, except where specifically requiring a User response to information needs. The users were identified as Creekview Commons, L.P., Mr. Jason Maddox is the designated representative to whom GEC has access and he provided the User information received on behalf of all parties.

4.3.4.1 Title Records

GEC contracted Mr. Frank May, a professional title researcher, for the purpose of researching and establishing a chain of ownership for environmental purposes for the subject property. GEC found no environmental liens, activity or use limitations, or engineering controls filed in the deed records, relating to conditions involving the subject site, in the deeds and title information provided. The review of the deed records and the history of ownership did not indicate previous ownership site activities that would be expected to have created environmental concerns on the subject property (see Section 5.5.1).

4.3.4.2 Environmental Liens

The property records reviewed by GEC did not indicate any environmental liens or any activity or use limitations, and the Users and/or local public agency contacts reported none.

4.3.4.3 Specialized Knowledge of the User

GEC was not provided any specialized knowledge or experience related to recognized environmental conditions in connection with the subject site.

4.3.4.4 Commonly Known/Reasonably Ascertainable Information

GEC was not provided any commonly known or other information demonstrating recognized environmental conditions in connection with the subject site.

4.3.4.5 Reason for Performing the Phase I

GEC was asked to perform a Phase I ESA (as part of the proposed submittal for tax credits and property transaction with the subject property) in accordance with the new ASTM-E 1527-2005 standard to qualify for the innocent landowner defense to CERCLA liability and to identify RECs that could impact the property's financial liability. The reason for conducting the assessment is to provide information to support an application for tax credits to fund site development for affordable housing.

4.3.4.6 Relationship of Purchase Price to Fair Market Value

The User, Creekview Commons, L.P., indicated that there was no property valuation reduction due to environmental issues. The User is purchasing the subject property and applying for tax credits to fund site development. No environmental issues were identified while conducting this Phase I ESA, which would affect the property valuation.

4.3.4.6.1 Purchase Price

According to the client representative, the purchase price is the same as the fair market value.

4.3.4.6.2 Differential between Purchase Price & Market Value

There is no known differential between the purchase price and market value of the property.

4.3.4.6.3 Reasons for any Differential

There is no known devaluation of the property for environmental reasons.

5.0 SITE INFORMATION AND USE

5.1 Site Reconnaissances Methodology & Limiting Conditions

GEC's methodology for performing the ESA was in accordance with ASTM E 1527-05. Mr. Brandon Stuart was the GEC representative who conducted the site reconnaissance, and no significant limiting conditions were encountered during the site reconnaissances performed on April 29, 2011 and May 16, 2011. The on-site reconnaissances were accomplished by walking the perimeter of the property boundary and the interior of the site.

5.2 General Site Setting

The subject site is 57.63 acres in size and located off of Magnolia Street, northwest of the intersection of Magnolia Street and Martin Luther King Jr. Boulevard, southwest of the intersection of Magnolia Street and Brookdale Drive within the incorporated limits of the City of Americus, Sumter County, Georgia. GEC observed a residential subdivision north and northwest of the subject property. Additional residential development is located northeast of the subject property along Magnolia Street. Commercial development is located beyond the easterly adjoining Magnolia Street right-of-way. Vacant wooded land borders the western property boundary of the subject site. Muckalee Creek borders the subject property to the southwest with undeveloped, wooded property beyond the creek. Magnolia Street borders the eastern boundary of the subject site with commercial development located beyond the right-of-way. Additional commercial properties are located southeast of the subject property near the intersection of Magnolia Street and Martin Luther King Jr. Boulevard.

5.3 Assessment of Commonly Known/Reasonably Ascertainable Information

GEC's assessment of all commonly known and reasonably ascertainable information about the

proposed Creekview Commons development site indicates there are no recognized environmental conditions associated with the subject site.

5.4 Current Site Use

GEC conducted the site reconnaissances of the site on April 29, 2011 and May 16, 2011, and observed that the subject property was undeveloped, cleared and wooded land.

5.4.1 Storage Tanks

No storage tanks, or indicators of the existence of such tanks (pipes protruding from the ground, mounded earth, or concrete islands), were observed on the subject property during GEC's site reconnaissances on April 29, 2011 and May 16, 2011.

5.4.2 Hazardous & Petroleum Products Containers/Drums

No containers/drums of hazardous or petroleum products were observed on the subject property during GEC's site reconnaissances on April 29, 2011 and May 16, 2011.

5.4.3 Heating & Cooling

Electric central heating and cooling systems were present at the abandoned barn currently located on the subject site.

5.4.4 Solid Waste

Several small piles of debris including mattresses, wood building materials, household garbage, approximately 30 tires, concrete slab fragments, and scrap metal were observed along the recently pushed access roads throughout the upland portions of the subject property during GEC's site reconnaissances on April 29, 2011 and May 16, 2011.

5.4.5 Sewage Disposal/Septic Tanks

Due to previous on-site structures, GEC is of the opinion that the presence of sewage disposal/septic tanks is possible; however, during site reconnaissance, no indications of such were observed. Ms. Jane Arnold with the Sumter County Environmental Health Department indicated that she is unaware of the existence of any septic systems on the subject property. According to Mr. Bernard Kendrick, Public Works Director with the City of Americus, city water and sewer is available to serve the subject site.

5.4.6 Hydraulic Equipment

No hydraulic equipment was observed during GEC's site reconnaissances on April 29, 2011 and May 16, 2011, and, due to the undeveloped nature of the subject property, none is expected on the site.

5.4.7 Contracted Maintenance Services

Due to the undeveloped nature of the subject property, contracted maintenance services are not applicable to the site.

5.4.8 Electrical Equipment/Polychlorinated Biphenyls (PCBs)

GEC observed approximately 12 pole-mounted transformers (PMTs) along the northeastern property boundary and the Magnolia Street right-of-way. The transformers appeared to be in good condition with no visible signs of leakage (stained soils or dead vegetation) beneath. No other suspected PCB-containing equipment was observed on the subject property. Georgia Power, the electrical utility provider for the proposed apartment complex, has informed GEC in the past that the transformers they use are mineral oil units and they will handle all leaking transformers on site as per 40 CFR 761.125 and the State of Georgia Oil and Hazardous Substance Release Act of 1991.

Mr. Jay Roberts with the Georgia Power Company stated in a letter, dated June 8, 2011, that the subject property is in Georgia Power's service territory and electrical service can be available to the project. A copy of Georgia Power's letter is presented in Appendix G.

5.4.9 Water Supply & Wells

Due to previous on-site structures, GEC is of the opinion that the presence of water wells is likely; however, during the site reconnaissances, no indications of such were observed. According to Mr. Bernard Kendrick, Public Works Director with the City of Americus, city water and sewer is available to serve the subject site.

5.4.10 Drains & Sumps

No drains or sumps were observed on the property during GEC's site reconnaissances on April 29, 2011 and May 16, 2011.

5.4.11 Pits, Ponds, Lagoons, & Surface Waters

GEC observed a pond and adjoining wetlands totaling 3.88-acres centrally located north of the sanitary sewer easement and a large wetland area south of the easement on the subject property during the site reconnaissances on April 29, 2011 and May 16, 2011.

5.4.12 Stressed Vegetation

No stressed vegetation was observed on the subject property during GEC's site reconnaissances on April 29, 2011 and May 16, 2011.

5.4.13 Stained Soil or Pavement

Neither stained soil nor pavement was observed on the subject property during GEC's site reconnaissances on April 29, 2011 and May 16, 2011.

5.4.14 Odors

No unusual odors were noted on the subject property during GEC's site reconnaissances on April 29, 2011 and May 16, 2011.

5.4.15 Utilities/Roadway Easements

During GEC's site visits on April 29, 2011 and May 16, 2011 a sanitary sewer easement was observed traversing through the center of the subject property in a southeasterly direction.

5.4.16 Chemical Use

No known significant use of chemicals has occurred on the site. Due to the primarily undeveloped nature of the subject property with the exception of two residential structures and storage sheds / barns, chemical use, if any, would have been limited to agricultural purposes in its distant past, but no documentation or indication of such use was discovered. Aerial photographs show the subject property to be primarily agricultural land on the upland portions of the property and wooded property on the remaining areas of the property from 1937 and likely before until the 1962 aerial photograph when the majority of the subject property appears as wooded land, so no significant chemical use would be expected. There is no indication that the potential use of chemicals in this historic agriculture manner was anything but the use of chemicals in their intended agricultural purpose and as such does not constitute a release or a REC to the property.

5.4.17 Water Leaks/Mold/Fungi/Microbial Growth

The only structure observed on the subject site is an abandoned barn. The project plans call for demolition of any existing buildings, which will eliminate any mold conditions due to present conditions and monitor such conditions through sound construction practices to preclude moisture intrusion and mold producing environments.

5.4.18 Asbestos

During the site reconnaissances on April 29, 2011 and May 16, 2011, the only on-site structure observed was a wooden, unpainted and un-insulated barn with a dirt floor; as a result, the presence of asbestos containing materials (ACMs) is not applicable to the subject property.

5.4.19 Lead-Based Paint

During the site reconnaissances, GEC observed a single wooden barn in the eastern portion of the subject property. Using historical aerial photographs, GEC observed previously existing on-site, structures that were built prior to 1978 and have been demolished. GEC conducted lead-in-soil sampling around the areas of the previous on-site structures during our assessment on May 16, 2011. Since the on-site structure is wood sided and free of paint, lead-based paint testing was not conducted.

Eight samples were taken on April 29, 2011 and May 16, 2011; sample B-1 was taken along the perimeter of the existing wooden barn located near a cleared access road approximately 100 feet

east of the exiting pond on the subject site. Sample B-2 was taken in the northeastern corner of the subject property in the location where a small building was observed in historical aerial photographs.

Sample B-3 and B-4 were taken along the eastern property boundary in areas where previous small buildings were observed on historical aerials. Samples House-1 A&B and House-1 C&D were obtained approximately 80 feet south of sample B-2 where a residential structure was previously located. Samples House-2 A&B and House-2 C&D were collected in the western portion of the subject property where the second on-site residence was previously located. Analytical results revealed that the levels of lead detected in the area surface soils (upper one-half inch) were lower than the Georgia Environmental Protection Division action level for lead (400 mg/kg lead).

5.4.20 Lead in Drinking Water

GEC obtained a copy of the 2009 City of Americus (Annual) Water Quality Report, their most current version of the AWQR, which indicated that the City of Americus water supply was in full compliance with all drinking water regulations set forth by EPA and EPD. No wells were observed on the subject site, and no records of any groundwater use permits for the subject site were found. A copy of the Americus's AWQR is included in Appendix Q.

GEC reviewed the local/regional water agency records information provided on Pages A-6 through A-31 of the EDR Environmental Database Report (see Appendix F). The EDR Local/Regional Water Agency Records provide water well information to assist the environmental professional in assessing sources that may impact groundwater flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells. One Federal F.R.D.S. well was identified within one mile of the subject property. Five Federal USGS wells and twenty-three state database wells were located within one mile of the subject property. According to information provided by EDR, the Federal Reporting Data System (FRDS) public water supply well has had violations for lead and copper rule and coliform. Such incidents are relatively common and should not represent any risk to the subject site. The EDR report did not indicate any wells on the subject site, and did not indicate records of any groundwater use permits for the subject site.

5.4.21 Radon

GEC consulted EPA Publication 402-R-93-030: EPA's Map of Radon Zones for Georgia dated September 1993 to determine the EPA classification of the subject area for radon buildup. The U.S. EPA and the U.S. Geological Survey have evaluated the radon potential in the U.S. and have developed the map presented in Appendix A (Figure 6) to assist National, State, and local organizations to target their resources and to assist building code officials in deciding whether radon-resistant features are applicable in new construction. This map should not be used to determine if a home in a given zone should be tested for radon. Homes with elevated levels of radon have been found in all three zones. The map assigns each of the 3,141 counties in the U.S. to one of three zones based on radon potential. Each zone designation reflects the expected average short-term radon measurement that can be measured in a building without the implementation of radon control methods. According to the map, Sumter County, Georgia, is listed in Zone 3, which means "low potential, less than 2 pCi/L (picocuries per liter of air)."

According to the radon information provided on page A-31 of the EDR Report presented in Appendix F, 100% of the nine sites tested were less than 4 pCi/L. The National Radon Database has been developed by the U.S. Environmental Protection Agency (EPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986-1992, and necessary data has been supplemented by information collected at private sources such as universities and research institutions.

In accordance with the Georgia DCA Environmental Manual, all new construction of buildings must be in accordance with current EPA requirements for radon resistant construction techniques, including, but not limited to, *Radon Resistant Construction techniques for New Residential Construction: Technical Guidance*, February 1991, EPA 625-291-032 {available from NSCEP by calling (800) 490-9198}, and all new construction *Model Standards and Techniques for Control of Radon in New Residential Buildings*, March 1994, EPA402-R-94-009. Available on line at: <http://www.epa.gov/government/iaq/radon/pubs/newconst.html>, and the new buildings must be tested for radon upon completion of construction.

5.4.22 Noise

During GEC's site reconnaissances on April 29, 2011 and May 16, 2011, GEC assessed noise levels at the subject site to determine if noise levels would exceed the HUD limitations for exterior and interior locations. By use of the site visit, internet data, and mapping and in accordance with HUD guidance, GEC found two major roads, two railroads, and one civil airport to be potential contributors to noise at the subject site. No other major roads were found within 1,000 feet, no other railways were found within 3,000 feet, no other civil airports were found within five miles, and no military airfields were found within 15 miles of the subject site.

U.S. Highway 280/19 / Martin Luther King Jr. Boulevard is adjacent to a south boundary of the site. Georgia Highway 49 / W Forsyth Street / W Lamar Street is located at least 425 feet east of the site. Norfolk Southern Railroad is situated at least 1200 feet to the south, and the Heart of Georgia Railroad interchange is approximately 1300 feet to the south. Jimmy Carter Regional / Southern Airfield is located approximately 4.0 miles northeast of the site. Completion of the Noise Assessment Guidelines (NAG) worksheets, using the Site DNL Calculator available on the HUD Website for road and railway calculations, indicates an Acceptable (per the NAG) exterior day night level (DNL) of 65 decibels or less as a result of these potential noise sources. Therefore, no exterior or interior mitigations are required per HUD guidelines.

The relevant noise evaluations and other supporting documentation are presented in Appendix J. GEC found that the HUD noise limitation for exterior locations at the subject site would not be exceeded by these listed sources, therefore, GEC does not anticipate that noise issues will be a concern that would preclude the development of the subject property as a DCA-funded project. The relevant noise evaluations and other supporting documentation are attached.

5.4.23 Vapor Encroachment Screening

GEC also contracted with Environmental Data Resources, Inc. (EDR) to conduct a site specific radius search and examination of reasonably ascertainable Federal, State, and Local regulatory files concerning the site and nearby sites regarding vapor encroachment. The following lists

were included, in the records review: (FEDERAL) NPL, CERCLIS, RCRA-CORRACTS, RCRA-TSD, RCRA generators, and INSTITUTION CONTROLS / ENGINEERING CONTROLS, (STATE and TRIBAL) CERCLIS, LANDFILL / SOLID WASTE DISPOSAL, LUST, UST, INSTITUTION CONTROLS / ENGINEERING CONTROLS, VOLUNTARY CLEANUP, BROWNFIELDS, and OTHER STANDARD ENVIRONMENTAL RECORDS. The report includes HISTORICAL USE RECORDS: FORMER MANUFACTURED GAS PLANTS (see attached EDR report in Appendix E for the list of databases, their currency, their definitions, and sources for these records). The radii used in the search for each of the above records are indicated on Page 3 in the EDR Environmental Database Report, and they were specifically designed by EDR to meet the search requirements of the ASTM Standard Guide for Vapor Encroachment Screening on Property Involved in Real Estate Transactions (E 2600). Neither a State Engineering Controls database, nor state or tribal voluntary cleanups database is available in Georgia.

GEC's methodology for performing this vapor encroachment screening consisted of assessing all the information collected in the Phase I investigation, including information collected in site reconnaissances, interviews, and actual or probable chemical usage on the target property or nearby property.

Tier 1 of the ASTM E 2600-10 Standard Practice for Assessment of Vapor Encroachment Screening on Property Involved in Real Estate Transactions in accordance with Sections 8.1.3.1 through 8.1.3.9 of the Practice was performed during this assessment.

The Vapor Encroachment (VE) Screen report identified three UST database sites, one LUST database site and seven Other Standard Environmental Records within the ASTM E 2600 prescribed search radii of the subject property.

GEC assessed the noted site for a potential vapor concern to the subject property. The reviewed listed sites does not appear to present a potential concern for vapor encroachment to the subject property. Based on site topography, distances, and site listings and/or status, GEC is of the opinion that vapor encroachment is unlikely to be an issue of concern in connection with planned structures on the subject property. Refer to Appendix E (EDR Vapor Encroachment Screen) for further details.

5.4.24 Other Site Reconnaissances Issues

GEC did not identify any other site reconnaissances issues regarding the subject site.

5.5 Past Site Use

5.5.1 Recorded Land Title Records

GEC contracted Mr. Frank May, a professional title researcher, for the purpose of researching and establishing a chain of ownership for environmental purposes for the subject property. Mr. May provided the chain of ownership information for GEC's review on June 6, 2011. The title research indicated the subject property is an assemblage of properties made by J.H. Shumake in the late 1930's and early 1940's. The property ownership remained in the Shumake family until it was sold to Howard Johnson in the 1990's. The Johnson family currently retains ownership of

the subject property.

This review seeks to screen the data for evidence of possible environmental impacts to the property and in no way legally binds or limits the scope of the environmental assessment. The property reviewed by GEC encompasses the area physically located northwest of the intersection of Magnolia Street and Martin Luther King Jr. Boulevard, southwest of the intersection of Magnolia Street and Brookdale Drive within the incorporated limits of the City of Americus, Sumter County, Georgia. A copy of the chain of ownership information prepared by Mr. May is presented in Appendix D. Copies of the deeds and tax maps are also presented in Appendix D.

The review of the deed records and the history of ownership did not indicate previous ownership site activities that would be expected to have created environmental concerns on the subject property.

5.5.2 Environmental Liens

The property records reviewed by GEC did not indicate any environmental liens, and the Users and/or local public agency contacts reported none.

5.5.3 Activity & Use Limitations

The property records reviewed by GEC did not indicate any activity or use limitations, and the Users and/or local public agency contacts reported none.

5.5.4 Aerial Photographs & Topographic Maps

GEC reviewed readily available aerial photographs of the subject property to assist in developing the historic usage of the site. Based on interviews and readily available historical aerial photographs and U.S.G.S. Topographic Maps, the subject property currently appears to be undeveloped wooded land. Aerial photographs were obtained through a commercial database search firm, Environmental Data Resources, Inc. The 2009 aerial photograph was obtained off the Internet at the Google Earth™ web page. A copy of the 2009 aerial photograph appears in Appendix A (Maps/Figures as Figure 6), and additional aerial photographs appear in Appendix C.

Based on GEC's review of the readily available historical sources, such as chain of ownership records and aerial photographs, the subject property was, historically, agricultural property in the northern / upland portions and vacant wooded land in the southern / wetland portions of the site dating back to the 1937 aerial photograph. The previously agricultural, upland portion of the subject property appears as wooded land in the 1975 aerial photograph. In the 2005 aerial photograph, this same upland portion of the subject property appears as clear cut land. The two residential developments were identified on the eastern and western upland portions of the subject property near the existing pond site. The adjacent property in all directions of the subject site was either agricultural or wooded land with sparsely situated rural residential homesteads on the 1937 to 1962 aerial photographs. Higher density residential development is first observed in the northeastern vicinity of the subject property in the 1962 aerial photograph. Additionally, commercial development first appears in the 1962 aerial photograph in the southern and eastern vicinity of the subject site. Increased commercial and residential development is observed in

each subsequent aerial photograph. A significant increase in residential development can be observed on the adjoining property to the north and in the northern vicinity in the 1975 aerial photograph.

The subject property can be found on the Americus, Georgia Quadrangle of the U.S.G.S. 7.5-minute series Topographic Map with contour intervals of 10 feet, printed in 1985. A copy of the pertinent portions of this topographic map, showing the subject property and the surrounding area, is presented as Figure 1 in Appendix A. The Environmental Data Resources, Inc. (EDR) Historical Topographic Map Report, which provided additional U.S.G.S. Topographic Maps (1985 and 1973), is presented in Appendix C. Two structures are shown to exist on the site.

The site elevation, as shown on the topographic map, ranges between approximately 370 and 320 feet above mean sea level, and the down slope of on-site surface drainage features currently appears to be to the southwest. Based on review of the topographic map and observations made during the site reconnaissances, the approximate direction of surface drainage flow at the subject property (assuming the flow mimics topography) should generally be to the south.

5.5.5 Sanborn Fire Insurance Maps

GEC contacted Environmental Data Resources, Inc. (EDR) to search for Sanborn Fire Insurance Maps, which were devised by insurance adjusters as early as the 1800s to show the use of properties at specified dates for the purpose of determining the risk of fire. The maps also identify businesses and activities, as well as some construction details, for those properties they cover. The Sanborn Maps are helpful in identifying historical environmental concerns that may have otherwise been unrecorded or left no evidence of their existence. No Sanborn Map coverage exists for the target property, which is further evidence for the lack of any significant, early development on the property or nearby. A copy of the no coverage letter can be found in Appendix C.

5.5.6 City Directories

GEC contracted with EDR, Inc. to search for city directories, which have been published for cities and towns across the U.S. since the 1700s. Originally a list of residents, the city directory developed into a sophisticated tool for locating individuals and businesses in a particular urban or suburban area. Twentieth century directories are generally divided into three sections; a business index, a list of resident names and addresses, and a street index. With each address, the directory lists the name of the resident or, if a business is operated from this address, the name and type of business (if unclear from the name). While city directory coverage is comprehensive in major cities, it may be spotty for rural areas and small towns. City directory coverage does not exist for the target property or any of the adjoining properties. A copy of the EDR - City Directory Abstract is presented in Appendix C.

The research summary ranges from 1966-1990 for Johnson's, and Mullin-Kille's City Directories. Due to the fact that the site is currently undeveloped, EDR used an address, 100 Martin Luther King Jr. Boulevard, Americus, GA, 31719, close to the subject site in order to list the adjoining property details. No adjoining property addresses were listed in the Polk's and Johnson's City Directories.

Examination of the EDR – City Directory Abstract did not reveal any indications of environmental concerns for the subject property or the surrounding area.

5.5.7 Previous Environmental Studies

No previous environmental studies were available or reviewed during the course of conducting the Phase I ESA.

5.5.8 Other

No additional environmental historical sources, not designated in Sections 8.3.4.1 through 8.3.4.8 of the ASTM E 1527-05 standard, were sought nor deemed necessary to identify past uses of the subject property.

5.6 Current Surrounding Land Use

5.6.1 North

Residential development appeared north of the subject property.

5.6.2 East

The Magnolia Street right-of-way borders the subject property to the east with commercial development located further east.

5.6.3 South

Muckalee Creek borders the subject property to the southwest. Commercial development along Martin Luther King Jr. Boulevard is located southeast of the subject property.

5.6.4 West

Undeveloped, wooded, and residential property appear west of the subject property.

5.7 Past Surrounding Land Use

5.7.1 North

The surrounding land to the north appears to have been primarily agricultural, and undeveloped, wooded land on the 1937 to 1968 aerial photographs. Significant single family residential development first appears north of the subject property in the 1975 aerial photograph. Additional residential development can be observed in each subsequent aerial photograph.

5.7.2 East

The surrounding land to the east appears to have been undeveloped, wooded or agricultural land with scattered residential properties in the 1937 to 1948 aerial photographs. Residential development appears in the eastern vicinity in the 1953 aerial photograph. Commercial

development appears to the east in the 1962. A significant increase in commercial development appears in the 1988 aerial photograph.

5.7.3 South

The surrounding land to the south appears to have been undeveloped, wooded property with Martin Luther King Jr. Boulevard located in the southern vicinity of the subject site dating back to the oldest available aerial photograph taken in 1937. The adjoining property to the south has remained virtually unchanged. Commercial development first appears along Martin Luther King Jr. Boulevard in the 1953 aerial photograph. A significant increase in commercial development appears in the 1962 aerial photograph with additional commercial development observed in the subsequent aerial photographs reviewed.

5.7.4 West

The surrounding land to the west appears to have been primarily agricultural, and undeveloped, wooded land on the 1937 to 1968 aerial photographs. Significant single family residential development first appears west of the subject property in the 1975 aerial photograph. Additional residential development can be observed in each subsequent aerial photograph.

5.8 Historic Preservation

Historic Preservation Environmental Review Record – In compliance with 24 C.F.R. Part 58, Section 106 documentation is included showing a public resolution of support from the City of Americus.

GEC reviewed information provided on the National Register of Historic Places website in May 2011. According to the reviewed information, two historic sites were found on the National Register list. The Guerry-Mitchell House, located at 723 McGarrah Street, was identified 0.49 miles northeast of the subject property. The second historical site, Dismuke Storehouse at 505 N. Lee Street, is located 0.74 miles east of the subject property. GEC is of the opinion that the development of the proposed apartment complex will not have a negative impact on any other historic property in the area. Refer to Appendix S for a copy of the National Register map.

6.0 DATA GAPS

6.1 Identification of Data Gaps

The only data gaps experienced during the course of this DCA Phase I ESA were in intervals between aerial photographs longer than five years. Additional knowledge of the area, interviews, research of Sanborn maps, tax records, and interpolation between aerials indicates no significant development other than the established residential and commercial use took place in the intervals.

6.2 Sources of Information Consulted to Address Data Gaps

No significant data gaps were experienced during the course of this DCA Phase I ESA.

6.3 Significance of Data Gaps

No significant data gaps were experienced during the course of this DCA Phase I ESA.

7.0 ENVIRONMENTAL CONCERNS

7.1 On-Site

The site reconnaissances and research revealed no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property. Therefore, based on the findings presented in this report, GEC found no recognized environmental conditions associated with the subject property.

7.2 Off-Site

The site reconnaissances and research conducted during the course of this project revealed no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property from an adjacent property.

8.0 CONCLUSIONS AND RECOMMENDATIONS

GEC has completed a Phase I Environmental Site Assessment Update in conformance with the scope and limitations of ASTM Practice E 1527 and the Georgia DCA Environmental Site Assessment Standard on the 57.63-acre proposed Creekview Commons development northwest of the intersection of Magnolia Street and Martin Luther King Jr. Boulevard, north of Martin Luther King Jr. Boulevard. and south of Brookdale Drive, in the incorporated limits of the city of Americus, Sumter County, Georgia. GEC is not affiliated with either Creekview Commons, L.P.; Mr. Jason Maddox, or the seller of the subject property.

We have performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527 of the proposed Creekview Commons development northwest of the intersection of Magnolia Street and Martin Luther King Jr. Boulevard & Martin Luther King Jr. Boulevard, Americus, Georgia, and legally described as contained in Land Lot 154 of the 27th Land District of Sumter County, Georgia the *property*. Any exceptions to, or deletions from this practice are described in Section 2.0 of this report. This assessment has revealed no evidence of *recognized environmental conditions (RECs)* in connection with the *property*.

The DCA Phase I ESA was performed in accordance with the American Society for Testing and Materials (ASTM) E 1527-2005, Standard Practice for Environmental Site Assessments and their updates. The ASTM E 1527-2005 is the most current ASTM standard for this work. The Phase I ESA consisted of a site reconnaissance of the subject property, review of applicable and

reasonably ascertainable information about the subject property, and interviews with selected officials knowledgeable about the subject property. The Phase I ESA was intended to provide an overview of environmental conditions at the subject property resulting from current and/or past site activities.

While conducting the Phase I ESA of the subject property, GEC followed the 2011 Georgia DCA Environmental Manual, its ESA standard, which requires that the consultant follow the ASTM standard and provide some additional information that exceeds the ASTM requirements. This information addresses items referred to as "non-scope" items in the ASTM Practice, and includes wetlands, state waters, floodways/floodplains, additional public/historic records review, noise, water leaks/mold/fungi/microbial growth, radon, asbestos containing materials (ACMs), lead-based paint (LBP), lead in drinking water, and including (per DCA guidelines) polychlorinated biphenyls (PCB). Other hazards considered for the DCA ESA report include the presence of existing septic tanks or water wells on the subject property or the absence of the availability of a municipal water or sewer system to the subject site.

Interviews and review of reasonably ascertainable records by GEC during the completion of the DCA Phase I ESA did not indicate past usage or conditions which would likely result in significant environmental concerns. No recognized environmental conditions (RECs), as that term is defined in the referenced ASTM Practice, were identified on the subject property.

The user of this report is encouraged to read the entire report for detailed descriptions of the property and the observations and judgments made by GEC. The user is ultimately responsible for assessing whether the limitations of the ASTM Practice and this project's scope of work are appropriate to the level of risk the user assumes for the subject property transaction. The following summarizes general information discovered during GEC's Phase I ESA.

- The site reconnaissances and research revealed no evidence of recognized environmental conditions that would indicate an existing release, a past release or a material threat of a release of hazardous substances or petroleum products on the property or into the ground, groundwater or surface water of the property.
- After review of the historical aerial photographs and the observations made during the site reconnaissances, GEC observed structures (two residential properties and four utility sheds and/or barns) that were located in the upland portions of the subject site prior to 1978. GEC conducted soil sampling around the locations of the structures during the site reconnaissance on May 16, 2011. The lead detected in the area surface soils (upper one-half inch) was below the Georgia Environmental Protection Division notification concentration for lead (400 mg/kg). Lead in soil is not considered to be a concern for the subject property.
- Based on GEC's review of the readily available historical sources, such as chain of ownership records and aerial photographs, the subject property was, historically agricultural property in the northern / upland portions and vacant wooded land in the southern / wetland portions of the site dating back to the 1937 aerial photograph. The previously agricultural, upland portion of the subject property appears as wooded land in the 1975 aerial photograph. In the 2005 aerial photograph, this same upland portion of the subject property appears as clear cut land. During the site reconnaissances performed

on April 29, 2011 and May 16, 2011, GEC observed the majority of the upland portions of the subject site as a mixture of cleared vacant land or overgrown with volunteer vegetation. The two residential developments were identified as the eastern and western upland portions of the subject property near the existing pond site. The adjacent property in all directions of the subject site was either agricultural or wooded land with sparsely situated rural residential homesteads on the 1937 to 1962 aerial photographs. Higher density residential development is first observed in the northeastern vicinity of the subject property in the 1962 aerial photograph. Additionally, commercial development first appears in the 1962 aerial photograph in the southern and eastern vicinity of the subject site. Increased commercial and residential development is observed in each subsequent aerial photograph. A significant increase in residential development can be observed on the adjoining property to the north and in the northern vicinity in the 1975 aerial photograph. The subject site is an assemblage of properties made by J.H. Shumake in the late 1930's and early 1940's. The property ownership remained in the Shumake family until it was sold to Howard Johnson in the 1990's. The Johnson family currently retains ownership of the subject property.

- The Environmental Data Resources, Inc. (EDR) Report dated April 27, 2011 did not identify the subject property on any of the Federal or State databases. The EDR report identified one State Hazardous Waste Site (SHWS), four leaking underground storage tank (LUST) database sites, three Underground Storage Tank (UST) database sites, three Resource Conservation and Recovery Act Non Generators of hazardous waste (RCRA-NonGen) database sites, and one Manufactured Gas Plant database site within the prescribed radii of the subject property. The listed database sites were not considered to be a potential environmental and/or financial concern to the subject site. Refer to Section 4.1 and Appendix F for detailed information of the noted database sites.
- During GEC's site reconnaissances on April 29, 2011 and May 16, 2011, GEC observed that the subject site was undeveloped, wooded and cleared land. There were no unusual odors or signs of contamination at this location. GEC also observed a PURE gasoline station and a Danfair Express gasoline station located at the intersection of Magnolia Street and Martin Luther King Jr. Boulevard. Further research revealed that both facilities share a common address on the tax assessor's website. The address identified, 1011 Martin Luther King Jr. Boulevard, was identified on the orphan summary sections of the EDR Report as MTD #5 Pepos Foodmart #2 (LUST and UST database) and the Calhoun Oil Co. Phillips 66 Service Station (AST database). The presumed groundwater flow direction at this site is towards the south-southeast and generally away from the subject property. While the present and past off-site activities present a potential environmental concern to the subject property, the potential area of concern on the subject site from a release of the two database sites, is down-gradient of the proposed development and located within a floodplain / wetland area. Therefore, GEC does not consider the MTD #5 Pepos Foodmart #2 Gas Station or the Calhoun Oil Co. Phillips 66 Service Station to be a potential environmental and/or financial concern to the subject property, and any liability for any release from the MTD #5 Pepos Foodmart #2 Gas Station or the Calhoun Oil Co. Phillips 66 Service Station should remain with its respective owners/operators. Also, GEC contacted the Georgia Environmental Protection Division (EPD) on June 16, 2011 concerning the MTD #5 Pepos FoodMart #2. According to a representative with EPD, a UST closure was conducted at the site. A release was detected during the sampling of the

UST closure. However, the contamination was considered to be minimal, and the site subsequently received a No Further Action status without further investigation being warranted at the facility.

- Geotechnical & Environmental Consultants, Inc. (GEC) reviewed the National Wetlands Inventory (NWI) map to determine if these records indicate potential wetland concerns on the subject property. According to the National Wetlands Inventory (NWI) map, a freshwater pond is located in the northern portion of the subject property. Additionally, a large area in the southern portion of the subject site, north of Muckalee Creek is classified as Freshwater Emergent Wetlands. On April 29, 2011 and April 29, 2011 and May 16, 2011, GEC delineated approximately 325-linear feet of intermittent stream channel and 33.73-acres of wetlands including the existing pond in the northern portion of the subject property. The proposed site plan for Creekview Commons depicts the delineated wetlands and streams on the property and has incorporated a 100-foot buffer around those areas. A road crossing the stream is shown on the site plan where the existing 'dirt' roadway is currently located; therefore, GEC does not anticipate that the construction of this development will impact any wetland or stream areas. The wetlands map, shown as in Appendix A, indicates the wetland area that was delineated on the subject property by GEC.
- According to the FIRM map, the subject property is located in Zone X-white, which is defined as area determined to be outside the 500-year flood plain and therefore also the 100-year flood plain. The reviewed site plan depicts the flood plain boundary and indicates that there will be a 100-foot buffer between the floodplain boundary and development. GEC, therefore, does not anticipate that a flooding hazard will deter the development of the subject property. A copy of the FIRM is presented as Figure 4, Appendix A.

8.1 On-Site

Based on the findings presented in this report, GEC found no obvious environmental concerns or risks associated with the subject property; therefore, we recommend no further study of the site at this time.

8.2 Off-Site

Based on the findings presented in this report, GEC found no obvious environmental concerns regarding off-site properties within the ASTM search radii; therefore, we recommend no further study of potential off-site impacts at this time.

9.0 DATA REFERENCES

GDCA 2011 Environmental Manual
American Society for Testing and Materials (ASTM) E 1527-2005, Standard Practice for
Environmental Site Assessments
Creekview Commons, L.P. – client
Mr. Jason Maddox – Creekview Commons, L.P.
Mr. James Harper, Harper-Bluestein, Inc. (agent – Owner Environmental Questionnaire)
City of Americus, Georgia
City of Americus Utilities Department
2009 City of Americus Annual Water Quality Report
Georgia Power
Sumter County Environmental Health Department
City of Americus Fire Department
City of Americus Planning & Zoning Department
Sumter County Board of Assessor's office & website
Sumter County Clerk of Superior Court (Deed & Plat Copies)
McKean & Associates Architects, LLC (site plan)
Environmental Data Resources, Inc. (EDR)
1. environmental database report, 2. sanborn map no coverage letter, 3. historical aerial
photographs, 4. historical topographic maps, & 5. city directory abstract
Google Earth (2009 aerial photo)
United States Geological Survey (U.S.G.S.)
Georgia Geologic Survey
Federal Emergency Management Agency (FEMA) Map Service Center (MSC) website (FIRM)
U.S. Dept. of the Interior Fish & Wildlife Service's National Wetlands Inventory (NWI) Map
United States Environmental Protection Agency (EPA) Publication 402-R-93-030:
EPA's Map of Radon Zones for Georgia, dated September 1993
Georgia Central Railway
Previous Phase I Environmental Site Assessment (ESA)

10.0 VALUATION REDUCTION

10.1 Purchase Price

According to our client, Creekview Commons, L.P, the purchase price of the subject site is the same as the fair market value.

10.2 Interview of Broker regarding Market Value

GEC understands that no broker is involved in the sale of the subject property.

10.3 Differential between Purchase Price & Market Value

According to our client, the purchase price of the subject site is the same as the fair market value.

10.4 Environmental Reasons for any Differential

Since no differential between the purchase price and market value of the property exists, there is no known devaluation of the property for environmental reasons.

APPENDIX U:
Other

GEC

U.S. Environmental Protection Agency
4301 International Parkway, Suite 100
Atlanta, Georgia 30346

May 1, 1996

Mr. S. D. Dennis
Environmental Affairs
Georgia Power Company
P.O. Box 4345
Atlanta, GA 30302

SUBJECT: Underground Storage Tank (UST) Environmental Assessment &
Groundwater Monitoring Reports
No Further Action Required
Georgia Power Company - Brunswick District Operating Headquarters
5520 Community Road
Brunswick, GA; Glynn County
Facility ID: 0650134

Dear Mr. Dennis:

This is in reply to your letter, dated March 8, 1996, that forwarded revisions to the Environmental Assessment and Groundwater Monitoring Reports for the subject site, prepared by the Georgia Power Company, for our review.

Based on current requirements of the Georgia Underground Storage Tank Act and the Georgia Rules for Underground Storage Tank Management (GUST Rules) and the data contained in your Quarterly Groundwater Monitoring Report, dated February 28, 1996, no further action is required for the release referenced in the subject report at this time.

However, further action for this release may be required in the future if mandated through more stringent State or Federal statutory or regulatory changes, or if drinking water systems are identified or installed within two miles of the site, or if surface water bodies are impacted by the dissolved contaminant plume, or if additional total contamination, or if free product on and/or additional dissolved contaminants in groundwater are identified as originating from this site.

If you have any questions, please contact Nancy Troup at (404)363-2887.

Sincerely,



Chifeng Gu
Senior Geologist
Corrective Action Unit

U.S. Environmental Protection Agency
4301 International Parkway, Suite 100
Atlanta, Georgia 30346

May 27, 1997

MEMORANDUM

TO: Lisa Lewis
FROM: Robert Ravagni
SUBJECT: Review Information Leading to Determination of
"No Further Action Required" (NPAR)
Calhoun Oil Products, Inc.
1011 Martin Luther King Boulevard
Americus, GA; Sumter County
Facility ID: 1290083

- Gasoline USTs closed on or after August 31, 1995.
- Used oil UST closed in 1984.

Tank size and contents: 2-3,000 gallon gasoline; 1-4,000 gallon gasoline; 1-550 gallon used oil.

Soil analytical methods: TPH-GRO "8015"; BTEX "8020".

Soil analytical results: 1) Ethylbenzene concentrations ranged from ND to 9 ug/kg.
2) Xylenes concentrations ranged from ND to 95 ug/kg.
3) TPH concentrations ranged from ND to 2.8mg/kg.

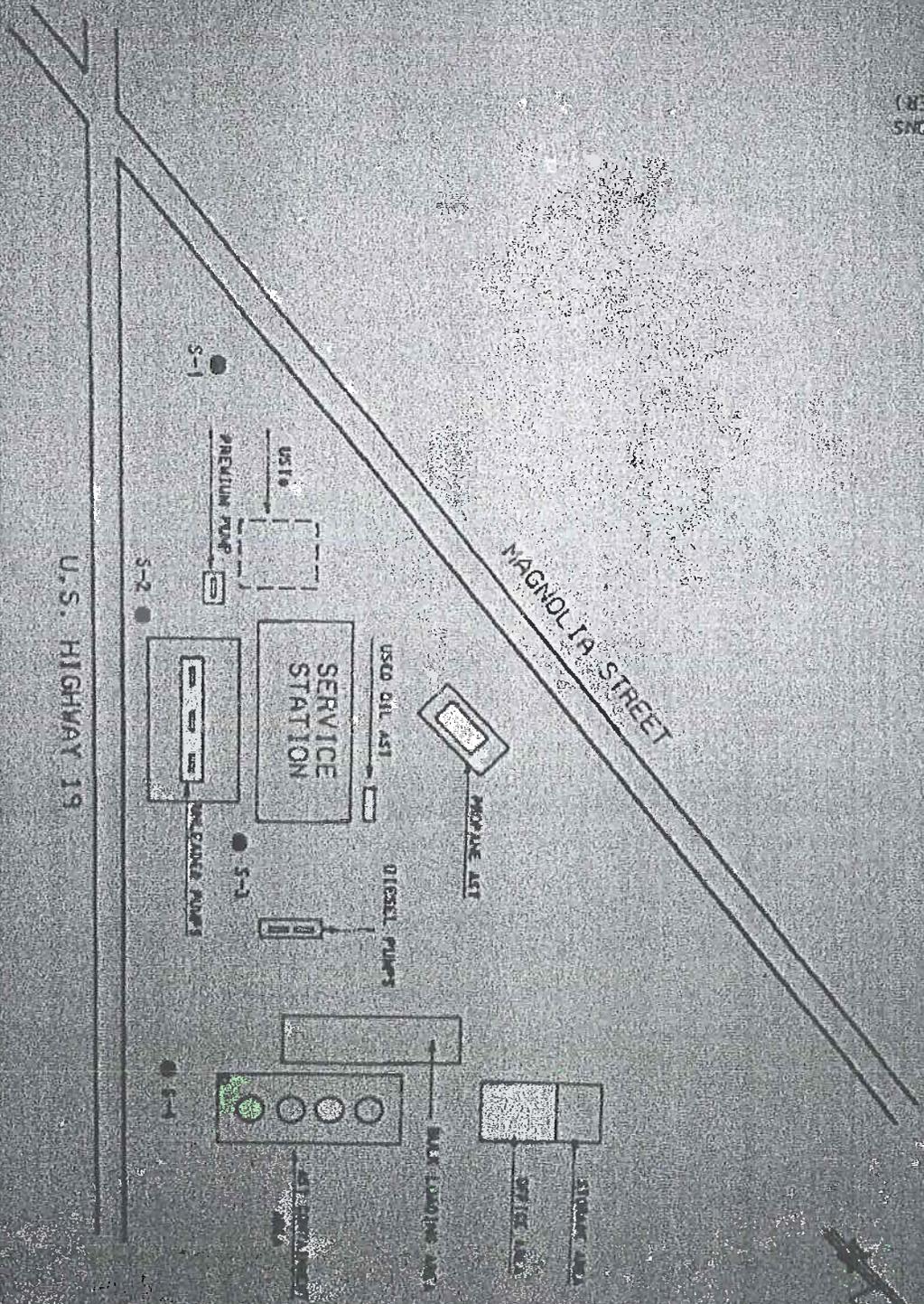
Soil concentrations were all below Table B Threshold Values, however, PAHs were not analyzed.

Soil has been excavated and hauled off.

Groundwater was not detected during excavation.

POINTS DRAWING NOT TO SCALE
LOCATIONS ARE APPROXIMATE

● SAMPLE LOCATIONS
(SOIL AND WATER)



U.S. HIGHWAY 19

MAGNOLIA STREET

SERVICE STATION

S-1

S-2

S-3

S-4

PREMIUM PUMP

SERVICE STATION

USCO OIL AST

MOTOR OIL AST

DIESEL PUMPS

PREMIUM PUMP

WATER TANK

WATER TANK

STORAGE TANK

SERVICE TANK

Client: Petroleum Environmental Services, Inc.

Site: Calhoun Oil-Americus, PES Job No. AA94085

Date Sampled: October 26, 1994

Date Received: October 28, 1994

Date of Report: October 29, 1994

Diana M. Faulkner

Diana M. Faulkner, Ph.D.

Client ID	Matrix	Complex ID	Procedure	Results
S1-6	S	4-10-063	TPH	52 ppm
S2-9	S	4-10-064	TPH	84 ppm
S3-9	S	4-10-065	TPH	53 ppm
S4-9	S	4-10-066	TPH	95 ppm
TW1-1	L	4-10-067	BTEX	Benzene 156.0 ppb Toluene 186.5 ppb Ethylbenzene 46.1 ppb Xylenes 212.8 ppb
TW2-1	L	4-10-068	BTEX	Benzene 262.9 ppb Toluene 250.1 ppb Ethylbenzene 211.1 ppb Xylenes 601.1 ppb
TW3-1	L	4-10-069	BTEX	Benzene 13.8 ppb Toluene 8.4 ppb Ethylbenzene 123.0 ppb Xylenes 170.6 ppb
TW4-1	L	4-10-070	BTEX	Benzene 2.7 ppb Toluene 79.3 ppb Ethylbenzene 135.3 ppb Xylenes 167.8 ppb

TPH Method: EPA 418.1, Detection Limit 0.1 ppm

BTEX Method: EPA 821-1, Detection Limit 0.1 ppb

Matrix: Soil

Matrix: Liquid

Matrix: Ethylbenzene and Xylenes

Matrix: Liquid

**Not Applicable –Phase II ESA was not needed for this DCA Phase I
ESA**

GEC